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## 2. HAZARDOUS MATERIALS

IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING, THEN WAIT FOR DIRECTION FROM

OTHER MATERIALS AND WASTE IN ANY FORM AT THE PROJECT SITE MAY BE LOCATED ON THE PROJECT SITE, WHICH MAY INCLUDE, BUT NOT BE LIMITED TO ACBM, PCB'S OR OTHER TOXIC SUBSTANCES.

## 3. DAMAGES

PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK AT NO ADDITIONAL COST TO OWNER.

## 4. TRAFFIC

CONDUCT SELECTIVE DEMOLITION OPERATIONS AND DEBRIS REMOVAL IN A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.

## 5. UTILITY SERVICES

MAINTAIN EXISTING FIRE PROTECTION SYSTEM AND UTILITIES TO REMAIN, KEEP IN SERVICE, IDENTITY, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. PROVIDE TEMPORARY LIGHT AND POWER AS REQUIRED, REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES SERVICE OWNER OR TENANT DATA/COMMUNICATIONS REPRESENTATIVE AS REQUIRED TO PREVENT NEW CONSTRUCTION DELAYS. REMOVE TO SOURCE ALL PIPES, VENTS, APPLIANCES, OR DRAINS NOT BEING RE-

## 6. ENVIRONMENTAL CONTROLS

USE TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO ISOLATE DUST AND DIRT RISING AND SCATTERING. COMPLY WITH BUILDING MANAGEMENT REGULATIONS AND GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

## 7. INSPECTION

PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK, INSPECT AREAS IN WHICH WORK WILL BE PERFORMED IF NECESSARY. PHOTOGRAPH EXISTING CONDITIONS TO STRUCTURE SURFACES, EQUIPMENT, OR TO SURROUNDING PROPERTIES WHICH COULD BE MISCONSTRUCTED AS DAMAGE RESULTING FROM DEMOLITION WORK. FILE WITH OWNER PRIOR TO STARTING WORK.

## 8. PREPARATION

CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY INTERIOR AND EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES TO REMAIN. WORK SHALL BE DONE UNDER THE SUPERVISION OF A LICENSED STRUCTURAL ENGINEER PROVIDED BY THE CONTRACTOR AT THE PROJECT SITE. CONTRACTOR SHALL CEASE OPERATIONS AT HIS/HER DISCRETION AND NOTIFY OWNER AND BUILDING MANAGEMENT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AS DIRECTED BY THE CONTRACTORS LICENSED STRUCTURAL ENGINEER TO SAFELY SUPPORT THE STRUCTURE UNTIL A DETERMINATION IS MADE FOR CONTINUING THE WORK AS DIRECTED BY THE CONTRACTOR'S LICENSED STRUCTURAL ENGINEER. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE FOR CONTINUING OPERATIONS. CONTRACTOR IS SOLELY RESPONSIBLE FOR DEMOLITION MEANS AND METHODS.

## 9. COVER AND PROTECT

COVER AND PROTECT FURNITURE, EQUIPMENT AND FIXTURES, AND OTHER ITEMS TO REMAIN FROM SOILING OR DAMAGE WHEN DEMOLITION WORK IS PERFORMED IN ROOMS OR AREAS FROM WHICH SUCH ITEMS HAVE BEEN REMOVED.

## 10. CLEAN UP

AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREAS SHALL BE LEFT IN BROOMED AND CLEAN CONDITION. CARPETED AREAS TO BE LEFT IN A VACUUM CLEAN DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED AT THE END OF EACH WORK

## 11. EXISTING ELECTRICAL

IN PARTITIONS TO BE REMOVED, REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. TO THEIR SOURCE AS REQUIRED. ALL EXISTING FLOOR MOUNTED OUTLETS, WHERE NOTED TO BE REMOVED OR RELOCATED, SHALL BE CAPPED OFF TO THE NEAREST JUNCTION BOX. FILL AND LEVEL FLOOR TO ACCEPT NEW FLOOR COVERING. REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES, SERVICE OWNER, OR TENANT DATA/COMMUNICATIONS REPRESENTATIVE AS REQUIRED TO PREVENT NEW CONSTRUCTION DELAYS.

## 12. PATCHING

CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION OUTSIDE THE SCOPE OF WORK IN ELEVATOR LOBBY, PUBLIC CORRIDORS, RESTROOMS, OR TENANT SPACES. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.

## 13. FLOORING

REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES AND DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.

## 14. WALL COVERING

SHOULD PAPER LAYER OF EXISTING GYP BD BE DAMAGED, REMOVE AND REPLACE EXISTING GYP BD AT SCHEDULED WALL COVERING REMOVAL, LOCATIONS.

## 15. DEMOLITION

DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK HEREIN. IF QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.

## 16. FIRE AND LIFE SAFETY SYSTEM

NO EXISTING SMOKE DETECTOR, PUBLIC ADDRESS SPEAKER, FIRE ALARM BOX, OR SIMILAR DEVICE, INCLUDING THE ASSOCIATED WIRING, SHALL BE DAMAGED DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS, AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS. NO ACTIVE SMOKE DETECTOR SHALL BE COVERED OR OTHERWISE REMOVED OR USED FOR OTHER THAN ITS INTENDED PURPOSE.

## 17. CONSTRUCTION WASTE MANAGEMENT:

WHERE LOCAL GREEN BUILDING ORDINANCE DOES NOT DICTATE TO THE CONTRARY AND LEED CERTIFICATION IS NOT REQUIRED BY THE OWNER; · REDIRECT CONSTRUCTION, DEMOLITION & PACKAGING DEBRIS TO SOURCES OTHER THAN

LANDFILL. · STRATEGIES MAY INCLUDE:

REDIRECT PACKAGING DEBRIS BACK TO THE MANUFACTURER. DONATE SALVAGEABLE MATERIALS TO A RECLAMATION SITE OR NON-PROFIT CHARITY

SUCH AS HABITAT FOR HUMANITY. DESIGNATE RECYCLING AREAS DURING DEMOLITION AND CONSTRUCTION. IDENTIFY CONSTRUCTION HAULERS & RECYCLERS TO HANDLE THE DESIGNATED

 $\cdot$  CONTACT A REGIONAL CARPET RECLAMATION FACILITY FOR SALVAGE OF CARPETING.

IN PARTITIONS TO BE REMOVED, ALL THERMOSTATS CONTROLS TO BE TAGGED FOE RELOCATION. GENERAL CONTRACTOR TO REQUEST IN WRITING FOR REVISED CONTROL LOCATIONS PRIOR TO COMPLETION OF CONSTRUCTION

## CONTRACT DOCUMENT

## **NOTES**

1. REVIEW OF CONTRACT DOCUMENTS AND FIELD CONDITIONS BY CONTRACTOR THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND WITH AS-BUILT DRAWINGS PROVIDED BY THE OWNER AND SHALL AT ONCE REPORT TO THE ARCHITECT ERRORS, INCONSISTENCIES, OR OMISSIONS. THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR AND HAS CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK.

## 2.INTENT OF CONTRACT DOCUMENTS

THE INTENT OF THE CONTRACT DOCUMENTS IS TO ALLOW FOR THE PERFORMANCE OF THE WORK. EVERY ITEM NECESSARILY REQUIRED MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN. UNLESS EXPRESSLY STATED, ALL SYSTEMS AND EQUIPMENT SHALL BE COMPLETED AND APPROPRIATELY OPERABLE. FURNISH AND INSTALL ALL SPECIFIED AND APPROPRIATE ITEMS, AND ALL INCIDENTAL, ACCESSORY, AND OTHER ITEMS NOT SPECIFIED BUT REQUIRED FOR A COMPLETE AND FINISHED ASSEMBLY

NON-COMPLIANT DEFECTIVE WORKMANSHIP OR QUALITY WILL BE REJECTED DESPITE THE ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

### 4.FIREPROOFING

PATCH AND REPAIR ALL SPRAY FIREPROOFING DAMAGE INCURRED DURING DEMOLITION AND/OR CONSTRUCTION. FIRESAFE AS REQUIRED PER APPLICABLE CODE ALL NEW PENETRATIONS AT EXISTING AND NEW UL RATED ASSEMBLIES.

CONTRACTOR SHALL PREPARE AS-BUILT DRAWINGS BASED ON THE ARCHITECTS RECORD DRAWINGS AND DISTRIBUTE ELECTRONICALLY TO THE OWNER AT THE CONCLUSION OF THE PROJECT.

## 6.CONTRACTOR'S RESPONSIBILITY

IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB IN COMPLIANCE WITH THE DESIGN INTENT AND ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY SCOPE OF WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED OR DETAILED.

SHOULD ANY PORTION OF THE CONTRACT DOCUMENTS PROVE TO BE, FOR WHATEVER REASONS, UNENFORCEABLE, SUCH UNENFORCEABILITY SHALL NOT EXTEND TO THE REMAINDER OF THE CONTRACT NOR SHALL IT VOID ANY OTHER PROVISIONS OF THE CONTRACT.

## 8.<u>LIENS</u>

THROUGHOUT THE DURATION OF THE PROJECT, THE CONTRACTOR SHALL REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF CLAIMS OF LIEN BY SUBCONTRACTORS, SUPPLIERS OF MATERIALS, LABOR, SERVICE, EQUIPMENT, OR ANY OTHER INDIVIDUAL OR COMPANY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS, UNLESS REASONABLE AND JUSTIFIABLE CAUSE CAN BE SHOWN. APPROVAL FOR PAYMENT SHALL BE CONTINGENT UPON THE CONTRACTOR'S OBTAINING AND FURNISHING TO THE ARCHITECT SIGNED RELEASES FROM SUCH INDIVIDUALS OR COMPANIES.

## 9.COORDINATION OF THE WORK

THE CONTRACTOR IS RESPONSIBLE FOR REVIEW AND VERIFICATION OF CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, INCLUDING CONCEALED CONDITIONS, THE CONTRACTOR SHALL SUBMIT THEM IN WRITING TO THE ARCHITECT AND IS RESPONSIBLE FOR OBTAINING A WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION, OR RELATED WORK.

## 10.WORK SHALL COMPLY WITH APPLICABLE CODES

EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, MANUFACTURER'S RECOMMENDATIONS, AND TRADE AND REFERENCED STANDARDS, INCLUDING BUT NOT LIMITED TO: CBC, IBC, NEC AND NFPA (LATEST APPLICABLE ENFORCED EDITIONS REFERENCED).

DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. WRITTEN SPECIFICATIONS SHALL GOVERN OVER ALL

## 12.CLARIFICATIONS

CLARIFY ALL DISCREPANCIES RELATIVE TO CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND FIELD CONDITIONS PRIOR TO SUBMITTING BIDS AND COMMENCING WORK.

## 13.SUBSTITUTIONS

THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR EQUAL" IS USED, THE ARCHITECT ALONE SHALL DETERMINE EQUALITY BASED UPON INFORMATION SUBMITTED BY THE CONTRACTOR, INCLUDING THE ARCHITECTS SUBSTITUTION FORM CLEARLY IDENTIFIED AS A "REQUEST FOR SUBSTITUTION". CONTRACTOR SHALL ALSO LIST CREDIT TO THE CLIENT FOR USE OF SUBSTITUTION.

### 14.DRAWING DISTRIBUTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL

TRADES UNDER THEIR JURISDICTION.

15.CHANGES IN THE WORK DO NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.

ALL INSTALLED PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE OF VIBRATION.

## 17.PUNCH LIST

UPON COMPLETION OF THE WORK BY THE CONTRACTOR, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF SUCH COMPLETION. THE ARCHITECT SHALL ATTEND THE PUNCH LIST WALK THROUGH CONDUCTED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL PREPARE AND DISTRIBUTE A LIST OF ITEMS TO BE FINISHED OR COMPLETED PRIOR TO THIS WALK THROUGH. THE GENERAL CONTRACTOR SHALL TAKE NOTES AND PREPARE A LIST OF FINAL PUNCH ITEMS TO BE COMPLETED OR CORRECTED AS A RESULT OF THIS WALK THROUGH. THIS PUNCH LIST IS TO BE PROMPTLY DISTRIBUTED BY THE GENERAL CONTRACTOR TO THE TENANT, OWNER AND ARCHITECT.

ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT, U.O.N. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, U.O.N.

## 19.INSURANCE

THE CONTRACTOR AND SUBCONTRACTORS SHALL PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY, AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW, IN ADDITION TO THE TERMS OF THE OWNER'S CONTRACT, WHICHEVER IS GREATER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.

COORDINATE ALL WORK WITH BUILDING OWNER SO AS NOT TO DISTURB OR CAUSE DAMAGE TO ANY TENANT IN THE BUILDING. AVOID CONFLICT AND INTERFERENCE WITH NORMAL BUILDING OPERATIONS BY COMPLYING WITH THE BUILDING'S REGULATIONS REGARDING SCHEDULING AND USE OF ELEVATORS AND LOADING DOCKS FOR DELIVERIES, HANDLING OF MATERIALS, EQUIPMENT, AND DEBRIS.

## 21.COORDINATION

VERIFY IN THE FIELD THAT NO CONFLICTS EXIST WHICH WOULD PROHIBIT THE LOCATION OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT (TO INCLUDE ALL REQUIRED PIPING, DUCTWORK, AND CONDUIT), AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE

### 22.PROTECTION OF EXISTING WORK PROVIDE PROTECTION TO ALL EXISTING FINISHES IN ALL SPACES WITHIN OR ADJACENT TO

THE SCOPE OF WORK AND THE TENANT'S SPACE. THE CONTRACTOR SHALL PATCH, REFINISH, AND REPAIR ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS. MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.

## 23.EXISTING DEFECTS

CORRECT ANY DEFECTS FOUND IN EXISTING BUILDING CONSTRUCTION WHICH AFFECTS THE SCOPE OF WORK. THIS INCLUDES BUT IS NOT LIMITED TO UNEVEN SURFACES AND FINISHES AT GYPSUM BOARD UL FIRE RATED ASSEMBLIES OR DAMAGED FIREPROOFING. PATCH AND REPAIR SURFACES TO MATCH ADJACENT, ADJOINING SURFACES MATERIALS AND FINISHES.

"TYPICAL" OR "TYP." MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, U.O.N. "SIMILAR" OR

"SIM." MEANS COMPARABLE CHARACTERISTICS TO THE CONDITION NOTED. VERIFY

### DIMENSIONS AND ORIENTATION ON PLAN. "VERIFY" OR "VER." MEANS TO ASCERTAIN AND CONFIRM APPLICATION WITH ARCHITECT.

VENDOR.

27.CLEANING

25.FURNITURE FURNITURE SHOWN IS FOR REFERENCE ONLY AND INSTALLED BY OTHERS, U.O.N. FINAL DIMENSIONS LOCATIONS AND ASSEMBLIES ARE THE RESPONSIBILITY OF THE FURNITURE

FILE CABINETS, AS SHOWN ON DRAWINGS, ARE SUPPLIED BY OTHERS. COORDINATE FILE SIZE(S) WITH FURNITURE INSTALLER FOR REQUIRED CLEARANCES.

PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM

## MIGRATING FROM CONSTRUCTION AREA.

28.ADJACENT SPACES CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING OF ACCESS INTO ADJACENT TENANT SPACES INCLUDING CONCEALED CONDITIONS, WITH THE BUILDING MANAGEMENT AS REQUIRED FOR PRICING AND EXECUTION OF THE WORK.

## 29.EXISTING CONDITIONS

CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT INDICATED ON THE CONTRACT DOCUMENTS. WHERE FIELD CONDITIONS WARRANT, PROVIDE AND IDENTIFY LUMP SUM ALLOWANCE FOR WORK REQUIRED BUT NOT CLEAR BASED ON THE INFORMATION AVAILABLE PRIOR TO BID.

ALL CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ANY WILL BE AS BINDING AS IF CALLED FOR BY ALL. ALL WORK SHOWN OR REFERRED TO ON ANY CONTRACT DOCUMENT SHALL BE PROVIDED AS THOUGH THEY ARE ON ALL RELATED DOCUMENTS.

## 31. DUPLICATION OF DOCUMENTS

ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/OWNER AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/OWNER.

## CONDITIONS OF PENETRATION THROUGH FIRE RATED ASSEMBLIES AND ACOUSTICAL PARTITIONS.

AT UL FIRE RATED AND ACOUSTICAL LOCATIONS. MAINTAIN INTEGRITY OF EXISTING ASSEMBLY WHEN IMPACTED BY NEW WORK

REFER TO A-8 SHEETS SERIES FOR DETAILS NOT CROSS REFERENCED FOR ALL THE

## 34.SHOP DRAWINGS AND SUBMITTALS

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW ALL SUBMITTALS AND SHOP DRAWINGS FOR APPROPRIATENESS AND COMPLIANCE WITH THE CONTRACT DOCUMENTS PRIOR TO SENDING SHOP DRAWINGS TO THE ARCHITECT OR ENGINEER FOR REVIEW. A STAMP OR STATEMENT TESTIFYING THE CONTRACTOR HAS REVIEWED THE SHOP DRAWINGS, INCLUDING THE DATE REVIEWED, MUST BE AFFIXED TO THE FIRST PAGE OF EACH SUBMITTAL.

### 35. DEFECTIVE WORK - AT EXISTING CONSTRUCTION TO REMAIN CORRECT ANY DEFECTS FOUND IN CONSTRUCTION RELATING TO INTERIOR FINISHES IN AREAS AFFECTED BY THIS SCOPE OF WORK, THIS INCLUDES BUT NOT LIMITED TO WALL BASE - CEILING GRID AND ACOUSTICAL CEILING TILE - DOORS/FRAMES/HARDWARE - FLOORING SUBSTRATES - GENERAL CONTRACTOR TO INSPECT SITE CONDITIONS PRIOR TO COMPLETING BID DOCUMENTS.

### 36. CONTRACT DOCUMENT COORDINATION THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL CONTRACT DOCUMENTS WITH EACH OTHER FOR ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DOCUMENTS. THE CONTRACTOR TO NOTIFY ARCHITECT, IN WRITING, OF ANY

DISCREPANCIES FOR APPROVAL PRIOR TO START OF CONSTRUCTION IN THAT AREA

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS HEREIN - EITHER APPARENT OR OBVIOUS - PRIOR TO THE START OF NEW WORK ON THAT ITEM, OR BEAR THE RESPONSIBILITY OF CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT.

THE WORK TO BE DONE UNDER THIS CONTRACT SHALL BE EXECUTED IN A WORKMANLIKE MANNER, TO THE SATISFACTION OF THE ARCHITECT. IF THESE DOCUMENTS OR JOB CONDITIONS MAKE IT IMPOSSIBLE TO PRODUCE FIRST CLASS WORK OR TO WARRANTY THE WORK OR ITS PERFORMANCE, OR SHOULD DISCREPANCIES APPEAR AMONG THE CONTRACT DOCUMENTS, REQUEST INTERPRETATION, CORRECTION OR CLARIFICATION FROM THE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION. IF THE CONTRACTOR FAILS TO MAKE SUCH REQUEST, WORK MUST BE PERFORMED IN A SATISFACTORY MANNER AND NO REQUEST FOR ADDED COST OR EXTENSION OF TIME WILL BE CONSIDERED. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, CONTRACTOR IS DEEMED TO HAVE ESTIMATED ON THE MORE EXPENSIVE WAY OF DOING WORK UNLESS HE SHALL HAVE ASKED FOR AND OBTAINED WRITTEN DECISION BEFORE SUBMISSION OF BID AS

## HAZARDOUS MATERIALS

TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.

NURACE SWLEDGES THAT INTERIOR ARCHITECTS SHALL HAVE NO RESPONSIBILITY OVERY, REMOVAL, PRESENCE HANDLING, DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS SUBSTANCES, MATERIALS, AND WASTES IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO: ASBESTOS, ASBESTOS PRODUCTS, PCB MOLD, OR OTHER TOXIC SUBSTANCES.

- 2. THE OWNER ACKNOWLEDGES THAT IT ACCEPTS RESPONSIBILITY FOR NOTIFYING THE APPROPRIATE FEDERAL, STATE, AND LOCAL GOVERNING AGENCIES FOR ANY DEMOLITION, CONSTRUCTION, OR REPAIR WORK.
- 3. ANY QUESTIONS THAT ARISE RELATED TO ASBESTOS SHALL BE REFERRED TO THE OWNER FOR RESOLUTION. INTERIOR ARCHITECTS SHALL NOT BE REQUIRED TO DO ANY WORK NOR RENDER ANY OPINIONS RELATED TO ASBESTOS.

4. THE OWNER SHALL RETAIN AN INDEPENDENT CONSULTANT WHO IS TRAINED AND

EXPERIENCED IN IDENTIFICATION AND SURVEY OF EXISTING SITES PRIOR TO START OF

DEMOLITION CONSTRUCTION. 5. ALL CONTRACTORS AND SUBCONTRACTORS SHALL REPORT THE PRESENCE OF ANY MATERIAL OR ASSEMBLY SUSPECTED TO CONTAIN ASBESTOS UPON DISCOVERY. THE WORK SHALL BE CARRIED OUT PER THE CONSULTANTS' RECOMMENDATIONS.

**GENERAL NOTES** 

ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL WORKMANLIKE MANNER BY A LICENSED CONTRACTOR AND SHALL COMPLY WITH THE FOLLOWING:

LINE TYPE

---- OVERHEAD

— · — · — CENTER LINE

GRADE LINE

ANOTATION

- 1. THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS.
- 2. THIS PROJECT SHALL COMPLY WITH: COVER SHEET CODES SEE COVER SHEET
- 3. ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND PROTECTIVE COVENANTS GOVERNING THE SITE OF WORK.
- 4. STANDARD SPECIFICATIONS OF CSI MASTERSPEC 1995 EDITION (16-DIVISIONS).
- 5. IN CASE OF CONFLICTS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN. 6. "OR EQUAL": THE CONTRACTOR SHALL SUBMIT FOR THE DESIGNER'S AND BUILDER'S APPROVAL ALL MATERIALS OR EQUIPMENT WHICH IS CONSIDERED "OR EQUAL" TO
- 7. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE
- RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS. 8. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. EACH CONTRACTOR AND SUB-CONTRACOR SHALL REPORT TO DESIGNER AND PROJECT SUPERINTENDENT ALL CONDITIONS WHICH PREVENT THE PROPER EXECUTION OF THEIR WORK
- 9. CLIENT'S DESIGNER AND PROJECT SUPERINTENDENT TO BE NOTIFIED IMMEDIATELY BY CONTRACTOR AND SUB-CONTRACTORSHOULD ANY DISCREPANCY, ERROR, OMISSION, ADDITION, OR OTHER QUESTION ARISE PERTAINING TO THE WORKING DRAWINGS AND/OR SPECIFICATIONS.
- 10. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK
- 11. SUB- CONTRACTOR SHALL: INSURE THAT ALL WORK IS DONE IN A PROFESSIONAL WORKMANLIKE MANNER BY SKILLED MECHANICS AND SHALL REPLACE ANY MATERIALS OR ITEMS DAMAGED BY SUB-CONTRACTOR PERFORMANCE.
- CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHER'S WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK. 13. ALL SUB-CONTRACTOR WORKMANSHIP WILL BE OF QUALITY TO PASS INSPECTIONS BY

12. SUB- CONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO

TIME, AND ANY CORRECTIONS NEEDED TO ENHANCE THE QUALITY OF BUILDING WILL BE DONE IMMEDIATELY 14. THE CONTRACTOR SHALL, AT ALL TIMES, PROVIDE PROTECTION AGAINST WEATHER,

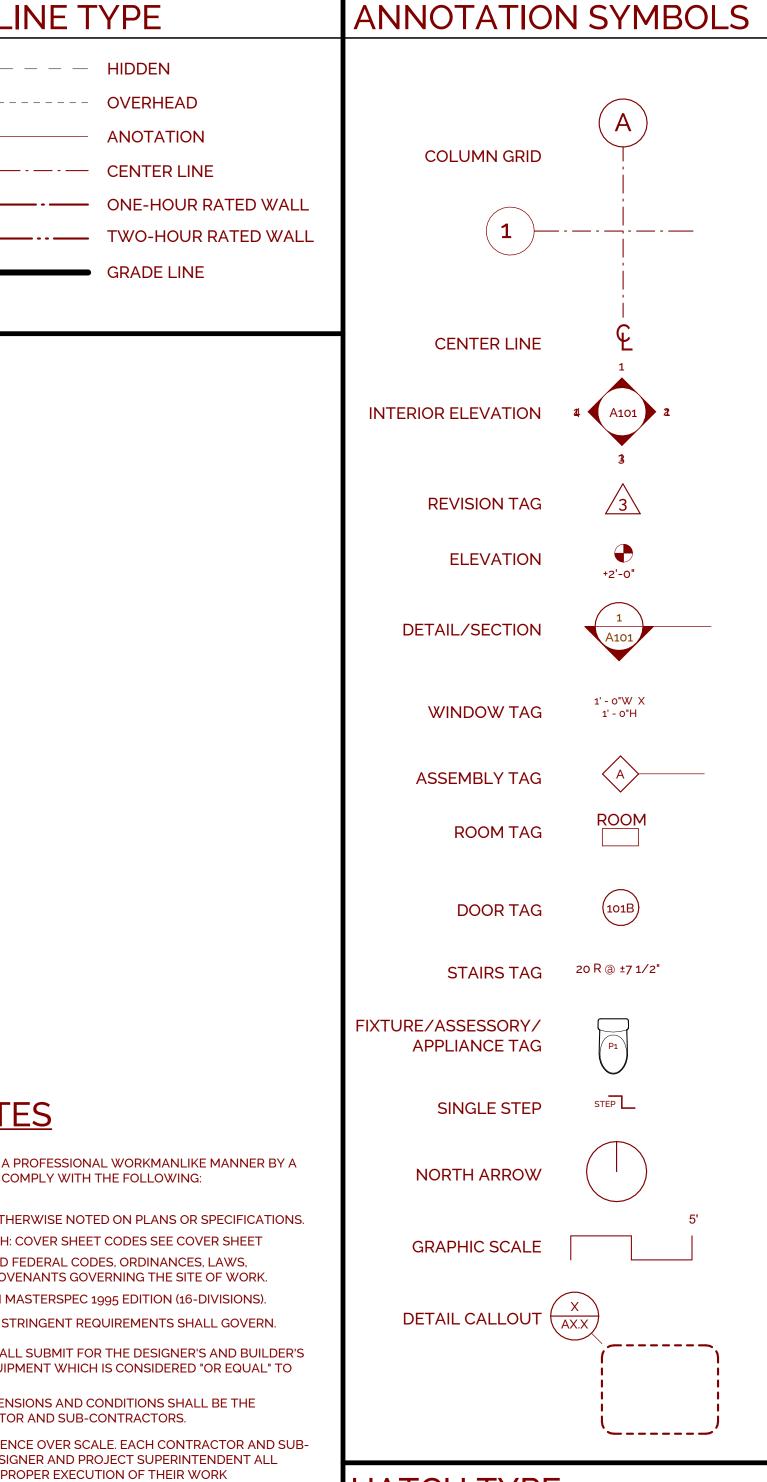
RAIN, WIND, STORMS, FROST, HEAT OR BREAKAGE SO AS TO MAINTAIN ALL WORK,

MATERIALS, APPARATUS, AND FIXTURES FREE FROM INJURY OR DAMAGE.

LOCAL AUTHORITIES, LENDING INSTITUTIONS, DESIGNER OR BUILDER. ANY ONE OR

ALL OF THE ABOVE MENTIONED INSPECTORS MAY INSPECT WORKMANSHIP AT ANY

- 15. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ALL ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY HIS EMPLOYEES, AND AT THE COMPLETION OF THE WORK SHALL REMOVE ALL RUBBISH, DEBRIS, EQUIPMENT AND SURPLUS MATERIALS BELONGING TO HIM FROM IN AND ABOUT THE BUILDING AND LEAVE WORK SITE "BROOM CLEAN".
- ABOVE SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE. SUB-CONTRACT AGREEMENT, SHALL BE RESPONSIBLE FOR CLEANING UP AND
- 18. BUILDER WILL DETERMINE HOW SOON AFTER SUB-CONTRACTOR COMPLETES EACH PHASE OF HIS WORK THAT TRASH AND DEBRIS WILL BE REMOVED FROM THE SITE.



## HATCH TYPE



**CONCRETE MASONARY** 

RIGID INSULATION

**BATT INSULATION** 



CERAMIC TILE PLASTER OR GYPSUM

16. AT THE END OF THE DAY'S WORK, ALL WORK LIKELY TO BE DAMAGED SHALL BE COVERED. ANY WORK DAMAGED DUE TO FAILURE OF PROTECTION AS DEFINED

17. EACH SUB-CONTRACTOR, UNLESS SPECIFICALLY EXEMPTED BY THE TERMS OF HIS REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS NOT LEFT BY OTHER SUB-CONTRACTORS.

REVISION

## **DIVISION 1 - GENERAL REQUIREMENTS:**

- 1.1 The work to be done by each contractor includes the furnishings of all labor, material, services, and equipment necessary for the construction and completion of this project, including site work. All work performed and materials supplied shall comply with the following: 1.1.1 These notes and drawings.
  - 1.1.2 All applicable local, state and federal codes, ordinances, and regulations listed in these documents. 1.1.3 Workmanship shall meet normal professional standards of the trade and shall meet the architect's and owners' satisfaction within the standards normally provided by various trades.

1.1.4 Installation of equipment and material shall be in strict conformance with manufacturer's instructions and/or applicable association standards. 1.1.5 All materials shall be new unless otherwise noted, & shall be equal to or superior to those items

specified, if a substitute is approved. No substitutions shall be made without architect's prior

- 1.2 <u>Site Verification:</u> Each contractor and subcontractor shall carefully examine the site and make all inspections necessary in order to determine the full extent of the work required to make the completed work conform to the drawings and specifications. The contractor shall satisfy himself as to the nature and location of the work, conditions, the conformation and condition of the existing ground surface, and the character of equipment and facilities needed prior to and during prosecution of the work. The contractor is responsible for all unusual conditions encountered on the site during the course of construction except those below existing slabs or grade of which the contractor may not have knowledge. All such existing conditions shall be incorporated into the contractor's bid proposal, whether shown on the drawings or not. Any inaccuracies or discrepancies between the actual field conditions and the drawings and specifications must be brought to the attention of the owner and architect in order to clarify the exact nature of the work performed. 1.3 <u>Construction Documents:</u>
- 1.3.1 These drawings are intended as a guide only for construction. Deviations from the drawings must be approved by architect.
- 1.3.2 Contractor is fully responsible for observation of construction & proper execution of work shown on drawings, as well as for performance of work on the project. architect is not responsible for methods used, safety on, or about the jobsite, or for timeliness of performance of construction work. 1.3.3 The contractor is responsible for the accuracy of all material take-offs from these documents. Contractor must verify dimensions of all existing or built-in items. 1.3.4 The architect is not responsible for any deviation from, or interpretation of, construction documents
- made by the contractor without obtaining written direction from the architect first. 1.3.5 These drawings are not approved for construction until they are reviewed by a qualified plan check examiner and stamped approved by the building department and a building permit issued.
- 1.4 The contractor shall be responsible for the accuracy of the building lines and levels. The contractor shall compare carefully the lines and levels shown on the drawings with existing levels for location and construction of the work, and shall call the architect's attention to any discrepancies before proceeding with the work.
- 1.5 All trades shall do their own cutting, fitting, patching, etc. to make the several parts come together properly and fit it to receive or be received by work of other trades. 1.6 New and repair work in this project which encompasses similar items in existing work such as stucco, drywall,
- eaves and fascia, trim, gutters and downspouts, electrical switching and receptacle plates, and other items, shall match existing material, installation, finish, and color, unless otherwise noted. 1.7 All trades shall, at all times, keep the premises free from accumulation of waste materials or rubbish caused by their work. At the completion of the work they shall remove all rubbish, tools, scaffolding, and surplus
- material and leave the job in a broom clean condition. Contractor shall perform final clean up. 1.8 The contractor shall coordinate and schedule all work with the approval of the owner and with minimum disruption. The owner shall be consulted before any building services are temporarily cut off. Temporarily re-route any utilities required by the owner for continuous service.
- 1.9 The contractor shall provide all shoring and bracing required to adequately protect persons, existing construction, and adjacent property, and to ensure the safety of the structure throughout the construction period, including any shoring design drawings which may be required. The contractor shall provide, at his own expense, erection bracing & drawings required by law, OSHA, & general safe construction practices.
- 1.10 The architect reserves the right to have any work not done correctly as per drawings, specifications, contract, or any other means of communication corrected at no additional cost to owner.
- 1.11 The contractor shall carry in force all needed insurance, licenses, fees, permits, taxes as required by law for the duration of the project.

## **DIVISION 2 - SITEWORK:**

- 2.1 Efforts have been made to define the location of underground facilities within the job site. However, the contractor shall recognize that all existing utility installations and other underground structures and facilities may or may not be shown on the drawings and that their location where shown is approximate. The contractor shall assume sole and complete responsibility for locating or having located all underground utilities, structures, and other facilities and for protecting same during the course of construction of this project. Contact utility provider for exact locations of utilities.
- 2.2.1 Remove all portions of building, equipment, paving, foundations, etc. as shown or as required to
- 2.2.2 Disconnect all utility lines from all equipment, fixtures, and appliances to be removed. 2.2.3 Remove all abandoned above or below ground utility lines, pipe, cable, wire, conduit, ducts, etc. to as close to the source as possible. All abandoned electrical cable and wires shall be removed from conduits if conduits must remain in place.
- 2.2.4 Remove all electrical outlets and switches as required to complete the work. 2.2.5 Remove all debris from the site and legally dispose, unless otherwise noted.
- 2.2.6 Protect adjacent property and structures from damage during the progress of the work.
- 2.2.7 Provide control of dust as required. 2.2.8 Provide protection for the portion of the structure exposed during construction from damage
- from the elements.
- 2.2.9 Coordinate with owner any items they may wish to retain. 2.3 Direct surface drainage away from the structure (1% minimum).
- 2.4 In the event that unsuitable soil is encountered at the required depth, the architect and geologist shall be notified so that they may determine how to provide proper bearing for the structure. 2.5 All stumps and roots are to be removed from the soil to a depth of at least 12" below the surface of the
- ground in the area to be occupied by the building or proposed structure. 2.6 Refer to soils report for all bearing capacities and specific requirements. In the absence of a soils report verify with the architect & engineer and/or local building authority/inspectors regarding specific earthwork,
- 2.7 Excavations for footings shall be made to the width, length, and depth required. Finish with level bottoms. All foundations to extend to undisturbed soil. Excavations shall be kept free of standing water. All crawl
- spaces to be minimum 18" clear. 2.8 In the building area, soft spongy or porous materials shall be removed to a depth of three feet below the bottom of the footing and recompacted. Unless otherwise noted, footings shall be carried to a depth of at least 18" below the top of the lowest existing adjacent grade (24" in areas with expansive soil).
- 2.9 Protect all trees and landscaping not to be removed. 2.10 Fill materials shall be free from debris, vegetable matter, and other foreign substances. 2.11 Backfilling for trenches shall be compacted to 90 percent density. Backfill for pipe trenches shall be compacted on both sides of pipe in six inch (6") layers.

## **DIVISION 3 - CONCRETE:**

- 3.1 For structural concrete design and construction requirements see structural plans. 3.2 Concrete flatwork shall be true to within 1/8 inch in ten feet in all directions, or sloped to drain as
- indicated on the drawings allowing no puddling to occur in the direction of flow. 3.3 Location of construction joints shall be reviewed by the architect and structural engineer prior to
- pouring if not specifically shown on the drawings.
- Interior and garage slabs: Provide steel trowel finish; slope to drain where indicated on drawings.

## **DIVISION 4 - MASONRY:**

- 4.1 For structural design and construction requirements for concrete masonry units see structural plans. 4.2 When incorporated into the design of the project, furnish and install all masonry work complete,
- including masonry veneer, masonry reinforcing and waterproofing.
- Masonry veneer shall comply with CRC §R703. Fireplaces & chimneys shall conform to CRC Ch.10. 4.4 Fill all concrete masonry units with solid grout.
- 4.5 Work shall be plumb, level, and true to line.

## **DIVISION 5 - METALS:**

- 5.1 For structural design, fabrication, and construction requirements for structural steel see structural plans. 5.2 All structural steel delivered on site shall be primed with two coats of the appropriate primer.
- 5.3 All welds shall comply with the specifications of the "American Welding Society". All welds shall be ground smooth and all welding splatter shall be removed. All exposed welds are to be continous welds. 5.4 Furnish all metal supports, angles, plates, attachments, bolts, gates, railings, welding, shop-priming and include installation as required to complete the work.

## **DIVISION 6 - WOOD AND PLASTIC:**

- 6.1 Framing shall be done in a workmanlike manner by skilled mechanics in accordance with applicable building codes.
- 6.2 Dimensions are to face of stud, unless otherwise noted.
- Verify all built-in equipment dimensions prior to fabrication. All lumber in contact with concrete or masonry and within 18" of grade to be pressure-treated West Coast Douglas fir or foundation grade redwood.
- Provide double trimmers each side of openings 6'-0" wide or greater at bearing walls.
- Provide fire-stopping in stud spaces at all floor and ceiling levels and stud spaces over ten feet. All beam, joists, and rafters shall be installed with the crown side up. Contractor shall provide safe and adequate temporary erection bracing on all beams, walls, etc.

to provide full structural stability. Bracing shall not be removed until the element supported is

capable of supporting its design loading. 6.9 Block all edges of plywood floor sheathing.

- 6.10 Rough Carpentry: 6.10.1 For structural design requirements of rough carpentry see structural plans. 6.10.2 All framing lumber shall be grade marked and confirm with the standard grading and dressing rules (No. 16) of the West Coast Lumber Inspection Bureau, Douglas Fir/Larch. Grade framing member as follows, unless otherwise noted:
- a. Vertical members: No. 2 b. Posts: No. 1
- c. Horizontal framing 2x Joists: No. 2
- d. 4x beams or larger: No. 1 6.10.3 Plywood shall be Structural II as covered in USDC PS-1; CDX; Exterior glue, or equal, unless otherwise noted face grain to run perpendicular to supports with edges staggered. Provide one-ply clip between each set of rafters at unblocked edges unless tongue and groove is used. 6.10.4 Framing contractor to provide backing for wall and ceiling-mounted items including, but not limited to poles and shelves, toilet-paper holders, towel bars, medicine cabinet, and drapery rods.
- 6.10.5 Provide wood blocking at all hot-mopped curbs, cant strips, fixtures, lights, built-in cabinets, shelves, etc. 6.10.6 Where wood is exposed vertical grain appearance grade or better is to be used. 6.10.7 Where a partition containing heating or other systems runs parallel to floor joists provide double
- joists spaced and bridged to permit passage of such systems. 6.10.8 Fire-block all spaces greater than ten feet and at drywall joints. Draftstop all floor construction where heat or exhaust ducts pass through as per CRC §R302.11. 6.10.9 All bolts and lag screws shall have washers under heads and nuts. All nuts and screws shall be
- tightened when installed and re-tightened before covering. 6.10.10No structural member shall be cut or drilled through without prior review by the structural engineer.
- 6.11.2 Furnish & install all finish carpentry complete including trim, door frames, paneling, weatherstripping. 6.11.3 All joints shall be tight, true and securely fastened. Corners shall be neatly metered, buffed, or coped with nails set and surfaces free of tool marks.

6.11.1 Adjust framing furr-outs and shear walls as required to maintain a flat and flush surface for interior

- 6.11.4 All work shall be machined- or hand-sanded, with sharp edges and splinters removed. Full-length boards shall be used whenever applicable or noted. 6.11.5 Align all pieces and grain when installing finish lumber, unless otherwise shown.
- 6.12 <u>Cabinetry:</u> 6.12.1 All cabinets shall meet the requirements of the Architectural Woodworking Institute (AWI). 6.12.2 All joints to be tight and true and securely fastened. Corners shall be butted, coped, or metered, nails and screws set and surfaces free of tool marks.
- 6.12.3 Use concealed fasteners, unless otherwise shown. 6.12.4 Shelves to be 1x, unless otherwise noted. Shelves wider than 12" shall be 3/4" plywood with matching veneer and edge-band let into case ends. 6.12.5 Provide vents and holes for wiring connections for all shoe, entertainment centers, freezer,
- refrigerator, and other equipment in built-in cabinets. Coordinate size, location, and operation of all appliances in advance of fabrication. Provide access for appliance service and replacement without damaging cabinets. 6.12.6 All cabinet doors up to five feet in height to be 3/4" hardwood, 1-1/8" thick if taller. Maximum
- hinging distance to be 36". Adjust door faces to be flush. Doors are to close straight and flush. Provide stiffeners as required for over-sized doors. 6.12.7 Drawers are to be 18" deep unless otherwise noted. Fronts to be 3/4" hardwood. Use full
- extension drawer rollers. Drawer handles as selected by architect. 6.12.8 Furnish and install magnetic catches. 6.12.9 Notify architect of any changes required due to operation of built-in appliance, dimension
- discrepancy, owner alteration, etc. 6.12.10 Submit shop-drawings for all cabinet work to be done to architect for approval prior to fabrication. 6.13 For ceramic tile installations on countertops, install all ceramic tile on insulation membrane on solid particle
- particle board and mortar bed. 6.14 Provide draft-stop within attics, mansard, overhangs and similar concealed spaces in excess of 1,000 sf or 60'-0" in length formed of combustible material per CRC §R302.12.

board or pine-faced plywood with exterior waterproof glue. Provide waterproof membrane between

## DIVISION 7 - THERMAL AND MOISTURE PROTECTION:

- 7.1.1 Sheet Metal: Sheet metal work shall conform to published standards of Sheet Metal and Air Conditioning Contractors' National Association, Inc. (SMACNA). 7.1.2 Install roofing and wall flashing per manufacturer's recommendations carefully establishing a
- continuous seal with scuppers, jacks, drains, etc. 7.1.3 Flashing and counter-flashing is required at roof/wall junctions, and at all exterior openings. 7.1.4 Flash all roof penetrations to provide waterproof conditions. 7.1.5 All work to be accurately fabricated to detail and fitted to job conditions. Folded and break
- forward pieces shall be finished true and straight, with warp lines and angles. 7.1.6 Lock seams flat and true, 1/2" wide sweated full with solder. 7.1.7 Provide continuous 6" high flashing and counter-flashing at all roof to wall joints.
- 7.1.8 In flashing and waterproofing provide for differential movement of materials due to wind, seismic, loading, temperature and shrinkage. 7.1.9 Flashing shall be 26 gauge g.i. minimum, unless otherwise noted.
- 7.1.10 All galvanized metal to be primed and painted.
- 7.2 <u>Insulation:</u>
  - 7.2.1 Insulation shall comply with the requirements for energy insulation standards of applicable codes. 7.2.2 A certificate of compliance for insulation requirements, when required by code, shall be signed by insulation contractor and general contractor and prominently posted at site as required. 7.2.3 All cavities, attic and spaces made accessible during remodel work shall be insulated to meet code energy requirements.
  - 7.2.4 Contractor to use "Icynene" spray foam insulation for all exterior walls, interior walls, roof rafter framing bays and framed floors, per Title 24 Energy requirements, U.N.O. 7.3 Provide double-bead caulking at sole-plates, joints around window and door frames, and plumbing
  - and electrical penetrations in exterior walls. 7.4 Apply roofing in strict accordance with manufacturer's specifications and applicable codes. Do not nail through waterproof membrane for furring strips. Do not puncture waterproof membrane in any way.

## **DIVISION 8 - DOORS AND WINDOWS:**

- 8.1 Glazing shall conform to standards of glazing manual of Flat Glass Jobbers Association, and as recommended by manufacturer.
- Provide safety-glazing as required. Safety Glass must be labeled. Do not cut safety glass.
- Weatherstrip all windows and exterior doors. Flash and caulk perimeter of all exterior openings. Exterior Doors: Per Schedule on sheet G2.02. Provide three hinges for all solid-core doors and
- Interior Doors: Per Schedule on sheet G2.02. Provide two hinge slab doors. Painted doors to have hard-board faces.
- 8.6 Provide 1/2" clear to floor for return air unless a return air duct or bypass duct is provided in a
- room or if doors are acoustic doors. Provide door vent sized as required for FAU and water-heater closets. Locate vents 12" from floor
- and 12" from head. 8.8 All doors to have waterproof glue.
- 8.9 Verify all door selections, hardware, colors and finishes with the architect prior to purchasing or hanging. Verify hardware compatibility with doors selected prior to purchase.
- 8.10 Contractor is to prime all exterior doors within 24 hours of installation even if contractor is not handling the contractor for painting.

- 8.11.1 Door stops of all in-swing doors shall be of one-piece construction with the jamb or joined by rabbet to the jamb.
- 8.11.2 All pin-type hinges which are accessible from outside the secured area when the door is closed shall have non-removable hinge pins.
- 8.11.3 The strike-plate for latches and the holding device for projecting dead-bolts in wood construction shall be secured to the jamb and the wall framing with screws not less than 2-1/2" in length.
- 8.11.4 Straight dead-bolts shall have a minimum throw of 1" and an embedment of not less than 5/8". 8.11.5 Window and door lights within 18" of the ground are to be fully tempered or laminated per CBC. 8.12 Aluminum thresholds at exterior conditions to have integral weather-stripping.
- 8.13 Provide aluminum threshold and self-closing device at all doors leading from garage to living space.

## **DIVISION 9 - FINISHES:**

- 9.1 <u>Drywall:</u>
  - 9.1.1 Furnish and install all gypsum wallboard, trim, and surfacing paint ready. 9.1.2 Drywall shall be installed in accordance w/the standards of the Drywall Information Trust Fund. 9.1.3 Gypsum wallboard by U.S. Gypsum or approved equal to be 5/8" thick, unless otherwise noted.
- 9.1.4 Nail in accordance w/CRC, or these drawings, whichever strictest, annd inspected prior to taping. 9.1.5 Baths, kitchen, sauna, hot tub rooms, showers, laundries, and other damp environments are to have waterproof drywall (Type "X" greenboard). Ceilings to have Type "X", but not greenboard. 9.1.6 Case all corners, openings, ends, and exposed edges, with galvanized trim. Trim shall be tight to wall, plumb, level and true to plan securely attached.
- 9.1.7 Tape and compound all joints with materials recommended by manufacturer. Finish all joints smooth and true, sanded, and ready for painting. Conceal all exposed nails with sanded joint compound. At angled situations such as hips, valleys, and ridges, bevel edges of drywall to
- achieve a clean crisp line at the joint. 9.1.8 For renovation and addition work, texture to match existing interior plaster, unless otherwise noted. 9.1.9 Protect all exposed wood beams, posts, ceramic, metals, etc. from drywall and compound stain.
- Stucco / Smooth Adobe Finish: 9.2.1 Furnish and install all plastering work complete including grounds, drips, screeds, casing beads at all edges, openings, penetrations, and corner beads at all corners.
- 9.2.2 Provide a three coat cement plaster application over paper backed metal lath (7/8" thickness total). Apply per manufacturer's recommendation and/or as follows: 9.2.2.1 First (scratch) coat fully embedded 3/8". Keep moist for two days.
- 9.2.2.2 Second (brown) coat screen true 3/8". Do not apply sooner than 48 hours after installation of the scratch coat. Dampen, but do not saturate the scratch coat. Keep brown coat moist for two days. 9.2.2.3 Third (finish) coat with integral color 1/8". Do not apply finish coat sooner than
- seven days after the installation of brown coat. 9.2.3 For renovation and addition work, texture to match existing building finish unless otherwise noted.
- 9.2.4 Protect adjacent properties, finishes, and vegetation from overspray and splattering. 9.3 Resilient Flooring: 9.3.1 All installation to be by skilled applicators per manufacturer's directions.
- 9.3.2 Prior to installation, underfloor to be clean, level, dry, dust-free, and all nails set. 9.3.3 Use waterproof adhesive per manufacturer's specifications.
- 9.4 <u>Carpet:</u> 9.4.1 Furnish and install carpet and padding selected by architect or owner.
- 9.4.2 Lay carpet securely anchored free of wrinkles and stress lines. 9.4.3 Provide reducer strip at line of material change between carpet and other finishes.
- Color to be approved by architect or owner. 9.4.4 Floor to be free of any debris or dirt prior to laying carpet.
- 9.4.5 Protect carpet from damage by subsequent trades. **DIVISION 9 - FINISHES:**

## 9.5 Painting and Finishing:

- 9.5.1 All materials shall be delivered to the site in sealed original manufacturer's containers. 9.5.2 Colors as noted on plans or as selected by architect. Any substitutions must be approved by architect. 9.5.3 Surface preparation: All surfaces to be dry, clean, smooth, and in suitable condition for finish specified. Remove all oil, grease, bond breaking agents, dust, mill scale, and efflorescence. 9.5.4 Cracks, holes, and knots, shall be filled, sanded smooth and sealed. Wood surfaces except resawn wood shall be sanded perfectly smooth and sanding dust shall be removed prior to painting. 9.5.5 Hardware shall be masked or removed prior to painting. Trim and other finish work shall be back
- painted prior to installation. 9.5.6 Each coat of paint shall be uniformly applied, well brushed out and free of runs, sags, skips, brush marks and thickness variations. 9.5.7 All paint finishes shall be cut sharply to line. Protect all adjacent surfaces. Unless otherwise specified, paint all exposed unfinished surfaces. Unless otherwise specified, do not paint sash finishes, exterior
- concrete, concrete masonry, brick, rough sawn wood, aluminum, chrome, brass, stainless steel, and wood to be stained. Protect all existing finishes, carpets, furniture, drapes, etc. in remodel and touch-up work. Contractor to remove and/or protect all "to remain" items. 9.5.8 All paint, stains, and sealers to be applied exactly per manufacturer's specifications with adjustments for temperature, exposure, and moisture when required
- 9.6 <u>Ceramic Tile:</u>
- 9.6.1 All work to conform to the Tile Council of America's latest installation guide handbook. 9.6.2 Center tile to each section to avoid small cuts.
- 9.6.3 All pointing to be non-staining, with color specified by architect.
- 9.6.4 Install each section to all for thermal expansion and movement. 9.6.5 Provide galvanized metal mesh in mortar on all tiles set in mortar 1" or more thick. 9.6.6 All floor tiles in showers, baths, saunas, kitchens, and laundry to be installed over wood shall have that wood hot-mopped entirely with the mopping extending 9" up sides of base. All joints, corners,
- and edges of hot-mopping to have reinforced fiber-glass mesh. 9.6.7 Use epoxy mortar Type I for all thin-set tiles. 9.6.8 architect to specify colors, grout color, joint directions unless otherwise shown. 9.6.9 Wipe tiles clean after grouting using water and soft cloths. Do not use acid. No traffic is allowed
- on tiles for 3 7 days after installation. Provide paper, cardboard, or wood planking protection in place to protect tiles from other trades. 9.6.10 Seal tile & grout w/manufacturer recommended sealer as soon as mfr.'s specifications allow.

## **DIVISION 10 - SPECIALTIES:**

10.1 See drawings for special requirements.

## **DIVISION 11 - EQUIPMENT:**

11.1 See drawings for special requirements

## **DIVISION 12 - FURNISHINGS**

12.1 See drawings for special requirements.

## **DIVISION 13 - SPECIAL CONSTRUCTION:**

13.1 See drawings for special

## requirements.

**DIVISION 14 - CONVEYING SYSTEMS:** 14.1 See drawings for special requirements.

## **DIVISION 15 - MECHANICAL:**

- 15.1 For mechanical & plumbing design & construction requirements see mech. & plumbing plans. The following mech. & plumbing requirements are intended to serve as basis for mech. & plumbing system design in conjunction w/mech. & plumbing plans. Any conflict in these specifications w/mech. & plumbing
- plans should be brought to the attention of the architect. 15.2 Heating and Air Conditioning: 15.2.1 Furnish and install heating and air conditioning system complete and operable, not including structure, electrical power and plumbing. 15.2.2 All HVAC shall be installed in compliance with the latest edition of the California Mechanical Code and any other governing mechanical codes.
- 15.2.3 Unless provided by the architect or engineer, contractor shall provide load calculations for approval by architect and building department prior to commencing work. 15.2.4 Ducts shall comply with the standards of the Sheet Metal and Air-conditioning Contractor's National Association (SMACNA).
- 15.2.5 All equipment installed per manufacturer's specifications and clearance requirements. 15.2.6 All gas-fired equipment to have electrical ignition and flue backdraft preventer. 15.2.7 Interior ducts above grade shall be minimum 24 gauge galvanized sheet metal or insulated flexible duct. All joints to be double-sealed with pressure-sensitive tape or glued with mastic to prevent leakage. All ducts strapped or blocked to prevent movement during operation or earthquake. All return ducts to be of non-combustible materials. Use galvanized metal return ducts with insulation for rectangular ducts and transitions which return air when the FAU is within six feet of the return air register.

## **DIVISION 15 - MECHANICAL:**

15.2.18 Vent all FAUs through roof.

15.2 <u>Heating and Air Conditioning: (cont.)</u> 15.2.8 All concealed supply & return ductwork to be insulated w/1-1/2" fiberglass blanket insulation w/foil-skrim Kraft jacket. Insulation conductivity (K) to be 0.29 BTU-in/hr. SF F rated at mean temperature of 75 deg.F. Insulation to be U.L. listed & have fire hazard classification flame/fuel/smoke max. 25/50/50. Insulation to be firmly wrapped around duct w/all joints lapped a min. of 2". Securely fasten insulation in place w/16 gauge soft-annealed galvanized wire or staples spaced no more than 12"o.c. for straight runs & 3"o.c. for elbows & fittings. Insulation joints to be taped w/foil reinforced Kraft tape. 15.2.9 Ducts exposed to elements are to be 23 ga.alum. or 24 ga. galv.sht.mtl.(primed & painted) w/insulated 1" R-5 lining inside. 15.2.10 Grilles, registers, dampers & ducts to be sized to provide balanced, adjustable, noise free, draft free conditions throughout the building. System to be zoned for balance, draft & noise free performance. All bathrm. & laundry registers to be wall or ceiling mounted. "Reggio Registers", typ., U.N.O.

15.2.11Register locations are approx.& final locations are to be approved by architect prior to ducting. Provide transitions from duct to register & plenums as required to connect sized ducts to FAU, ea. other, and to registers. 15.2.12 Test, balance and adjust system prior to final acceptance.

15.2.13 In addition to equipment warranties, furnish one year guarantee for all materials, workmanship, equipment & operation. 15.2.14 Strap FAU or bolt HVAC units to deck with straps and bolts capable of resisting a 1 G load based on equipment weight. 15.2.15 FAU closet or alcove must be a minimum of 12" wider than the furnace or furnaces being installed. 15.2.16 Provide approved chimney spark-arrestor for fireplace, stove, BBQ devices using fuel burning materials. 15.2.17 Provide combustion air to FAU compartment: 200 sq.in.min. or 2 sq.in./1000 BTU, whichever greater. Air source to be divided top/bottom. Combustion air drawn from outside source & openings to be covered w/corrosion-resistant 1/4"screen.

15.2.19 Hanger supports for ducts to be spaced 6 feet o.c. max. 15.2.20 Attic FAU: Provide 2'-0"w. walkway access. FAU located w/in 20'-0" of attic access. Provide 30" x 30" workspace in front. 15.2.21 Provide 30" x 30" attic or floor access panels for FAUs, where applicable. 15.2.22 Provide weatherstrip or seal for all attic access panels to prevent drafts.

15.2.24 Masonry, factory-built fireplaces have closable metal or glass doors covering entire opening of firebox. Provide outside combustion air intake directly into firebox a min. 6 sq.in. area & equipped w/accessible, operable, tight-fitting damper. 15.2.25 Chimneys shall terminate at least 3 feet above the roof and 2 feet above any part of the building within a horizontal distance of 10 feet.

15.3 <u>Plumbing:</u> 15.3.1 All fixtures, outlets, equipment, or devices operating w/gas, water or requiring sewer connection to be sized, furnished & installed complete & operable including trenching & backfilling which are coordinated w/foundation, grading, utility trades.

- 15.3.2 All work shall conform to current Uniform Plumbing Code and any applicable governing codes. 15.3.3 Rough in to be completed, tested and approved, before closing in with other work. 15.3.4 Keep all pipes, drains, and fittings covered during construction.
- 15.3.5 Contractor to provide continuous solid backing for securing fixtures. 15.3.6 Support all pipes at these minimum spacings: 1" dia. less = 6 feet; 2" dia. = 10 ft; 3" dia. = 12 ft; 4" dia. = 14 ft; 5" dia. = 16 feet. Also, support pipes at all direction changes and point loads.

15.3.7 Install all equipment according to manufacturer's specifications and clearances.

15.2.23 Provide AC unit with seismic strapping on min. 4" concrete pad 3" min. above grade.

- 15.3.8 Provide clean-outs sized to fit at each line end and where required by code. 15.3.9 Waterheaters to have external R-12 insulation blanket. Waterheaters in unheated spaces to have first 5'-0" of piping covered w/R-3 insulation. Strap WH vertically & horizontally to resist load of 10 lb/gallon of WH capacity. Provide temperature & pressure-relief & drain into galv. base pan w/1/2" dia.drain from pan to non-hazardous exterior location. 15.3.10 Clothes dryer moisture exhaust ducts to terminate outside building & equipped w/a back-draft damper. Ducts to be no less
- than 4"dia., smooth & not be connected w/sheet metal screws or fasteners that will obstruct air flow. Duct length not exceed 14' w/2 elbows, reduced 2'-0" for every additional elbow. Ducts are not connected to gas vent, connector or chimney. 15.3.11 In addition to equipment warranties, provide 1-year guarantee for all material, workmanship & operation. 15.3.12 Cooling equipment located in attic or furred space: an additional water-tight corrosion-resistant metal pan to be installed beneath cooling coil to catch overflow condensate due to clogged primary condensate drain. Pan to be provided
- with drainpipe, 3/4" nominal pipe size, discharging at readily observable point. 15.3.13 Earthquake gas shut-off valve to be installed on any building containing fuel gas piping 15.3.14 Roof vents 2" dia. & smaller to be std.wt.galv. steel conforming to ASTM A120. Roof vents larger than 2" dia. to be std. wt. cast iron. All vent flashing sized to fit vents to be 26 gauge GI. Combine vents & exit through the least visible location. Avoid all roof valleys & scupper throughs. No exposed ABS/PVC vents. Verify vent routing options with architect.
- 15.3.15 Plumbing fixtures w/following max. water usages to be installed, in baths, washrooms, kitchen, laundry, etc.: a. Tank type toilets shall have a maximum flush of 1.28 gallons. b. Water saving showerheads shall have a maximum flow of 1.8 gallons per minute. c. Water saving sink and lavatory faucets shall have a maximum flow of 1.2 gallons per minute.
- 15.3.16 Bathtub and shower spaces: Bathtub and shower floors and walls above bathtubs with installed showerheads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor. (CRC Section R307.2). 15.3.17 Maximum hot water temperature discharging from bathtub & whirlpool bathtub filler to be limited to 120 deg.F.
- Waterheater thermostat shall not be considered a control meeting this provision (CPC 414.5). 15.3.18 Copper water lines shall be Type "L", minimum. Do not run under slab. 15.3.19 Showers & shower/tub combinations to be provided w/individual valves of the pressure balance or thermostatic mixing
- valve type. Also, deliver maximum of 120 degree Fahrenheit temperature. 15.3.20Provide WH expansion tank if a pressure regulator or device that prevents pressure relief thru bldg. supply line is installed 15.3.21 Provide temperature and pressure relief valve with drain to outside for waterheater.
- 15.3.22 Provide WH seismic strapping at top & bottom 1/3 of tank. If WH in garage, install on 18"h. platform. Provide min.100 sq.in.combustion air for WH compartment: 50% within 12" of ceiling, 50% within 6" of floor. 15.3.23 Sprinklers under separate permit, if required.
- 15.3.24 Hose bibbs to have non-removable anti-siphon devices (back-flow prevention device). Water pressure exceeding 80 psi requir
- 15.3.26 Provide access panel (12" x 12") or utility space for all tubs with concealed slip-joint fittings. 15.3.27 Hot water lines insulated per Title 24.

16.6 Electrician to connect all hard-wired equipment and fixtures.

from a receptacle within that space.

15.3.28 Gas piping shall not be installed under slab. 15.3.29 Venting for island fixtures (vegetable sink) to be designed per §909 of 2019 Cal. Plumbing Code (CPC).

## **DIVISION 16 - ELECTRICAL**

- 16.1 For electrical design & construction reqs., see electrical plans. The following electrical requirements are intended to serve as basis for electrical system design in conjunction w/electrical plans. Alert architect of any conflict in specifications with plans.
- 16.2 Furnish/install electrical work complete/operable. Connect & coordinate functioning with electrical systems in renovation work. 16.3 All work to be performed in conformance w/current edition of National Electrical Code and any governing codes.
- 16.4 All materials and equipment to be U.L. approved. 16.5 Provide separate circuits for all equipment, garage door openers, pumps, dishwasher, garbage disposal, etc.
- 16.7 Lamp all fixtures. 16.8 Switch-plates are to be located 48" above floor. 16.9 Power, TV & phone outlets are to be 12" above floor, typically. All counter jacks, outlets & switches are to be a
- 16.10 All switches in bathrooms, kitchens, saunas, hot tubs & laundry to have ground-fault circuit interruptors. Locate GFCI reset button in accessible location. 16.11 Provide electrical ignition for all gas powered equipment.
- 16.12 Provide bath, shower & laundry exhaust fans sized to provide 5 air changes/hr. Switch fans separately. 16.13 120 volt hard-wired, interconnected smoke detectors w/battery back-up to be mounted on ceiling or wall of each room used for sleeping at point centrally located on wall or ceiling of halls, stairs, areas giving access to rooms.
- have no other outlets. This circuit may serve more than one bathroom. 16.15 All elec./communication equip. & outlets installed outdoors or damp locations to be ground-fault interrupter type. 16.16 Phone wiring by phone co. w/contractor's coord. Phone wiring concealed. Provide phone panel in protected accessible location. 16.17 Prior to installation, contractor & subcontractors are to coordinate w/ea. other & utility companies to provide conduit, junction

16.14 Bathroom receptacle outlets shall be supplied by a minimum of one 20-ampere branch circuit. Such circuits shall

minimum of 8" above counter, UNO. Verify all heights of counters, cabinets, etc. for clearance prior to installation.

- boxes, outlet boxes, communication & cable jacks where outlets occur in masonry walls. 16.18 All electrical receptacles within 6 feet of water use areas shall be GFCI protected. 16.19 Receptacles at kitchen counters to be installed so that no point along wall line is more than 24" (48" o.c.) measured horizontally
- 16.20 Receptacles in garage to be GFCI protected, if undedicated circuits. 16.21 General lighting source in kitchens, bathrooms, and water closets shall be 40 lumens/watt or greater.
- 16.22 Lighting fixtures in shower & w/in 3'-0"of bathtub & less than 8'-0"above rim of tub to be recessed, waterproof, GFCI protected, and have non-metallic trim.
- 16.23 Recessed ceiling fixtures shall be IC (insulation cover) approved, if applicable. 16.24 Verify electrical locations, dimmer switches, audio-speaker locations, outlet & switch types in field with owner during framing.
- 16.25 Low voltage wiring exposed to weather to be installed in a manner to prevent physical damage. 16.26 Provide permanent receptacle & light fixture at furnaces. Provide light switch located near attic access panel.
- 16.27 All bathroom receptacles must be on a 20-AMP dedicated circuit. 16.28 All kitchen receptacles to be GFCI protected. 16.29 General bathroom lighting to be fluorescent or approved equal. Exterior lighting to be photocell, Title 24.
- living rms, parlors, libraries, dens, bedrms, sunrms, recreation rms, closets, halls or similar areas to be protected by arc-fault circuit interrupter(s), combination type, installed to provide protection of the branch circuit.
- 16.31 Provide a UFER ground within the foundation. 16.32 Provide GFI/WP outlet within 20' feet of AC unit with disconnect switch at unit. 16.33 Lighting fixtures in clothes closets to be either surface-mounted or recessed fixture with completely enclosed incandescent or fluorescent lamp. 12" min.clr. req. horizontally & vertically from combustible materials for incand. fixture & 6" min.req. for fluor.

16.30 All branch circuits that supply 120-volt, single phase, 15 & 20 ampere outlets installed in dwelling unit family rms, dining rms,

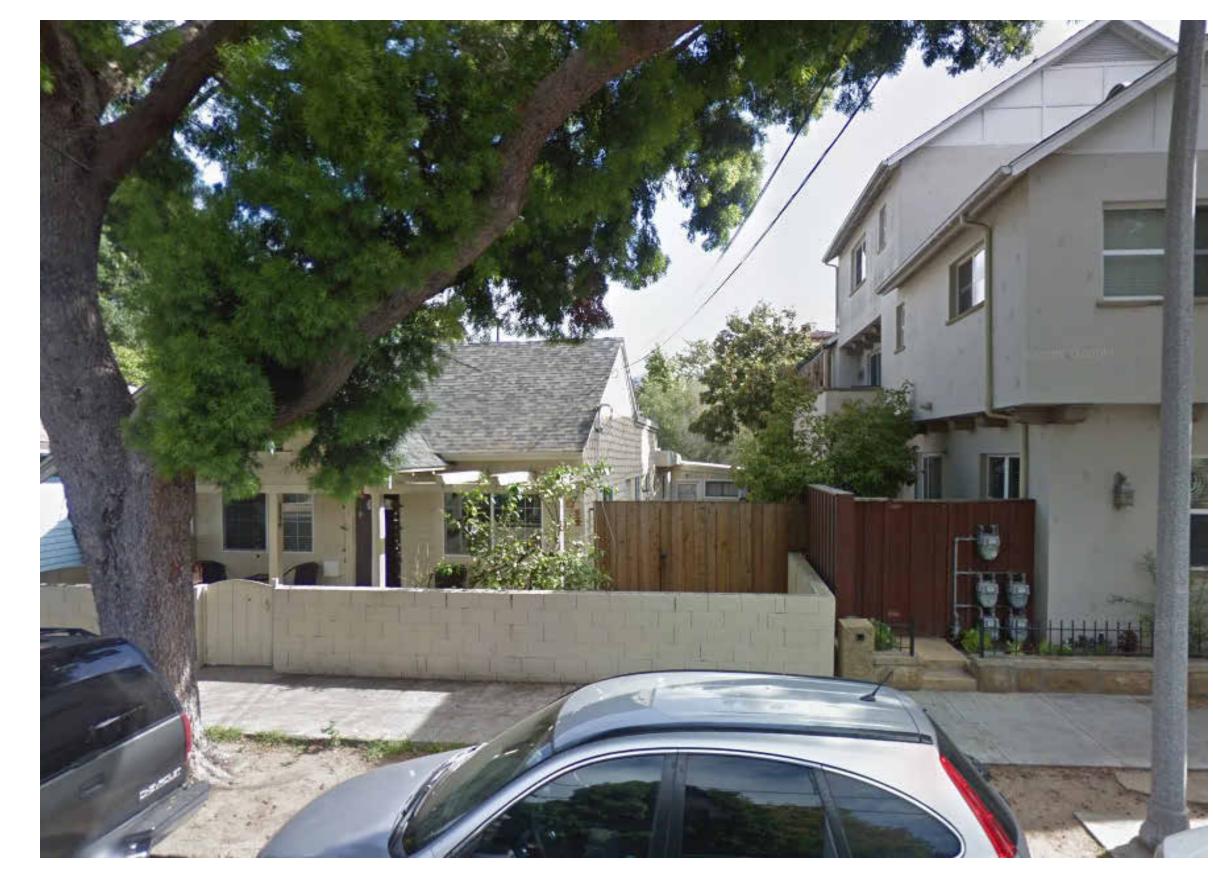
16.34 All branch circuits that supply outlets (incl. luminaries) installed in bedrooms to be protected by an arc-fault circuit interrupter listed to provide protection of the entire branch circuit. 16.35 A min. of (2)20 AMP sm.appliance branch circuits to be provided for receptacle outlets in kitchen, dining, pantry, or similar areas.

16.36 At least one 20 AMP circuit shall be provided to supply laundry receptical outlets. Such circuits shall have no other outlets.

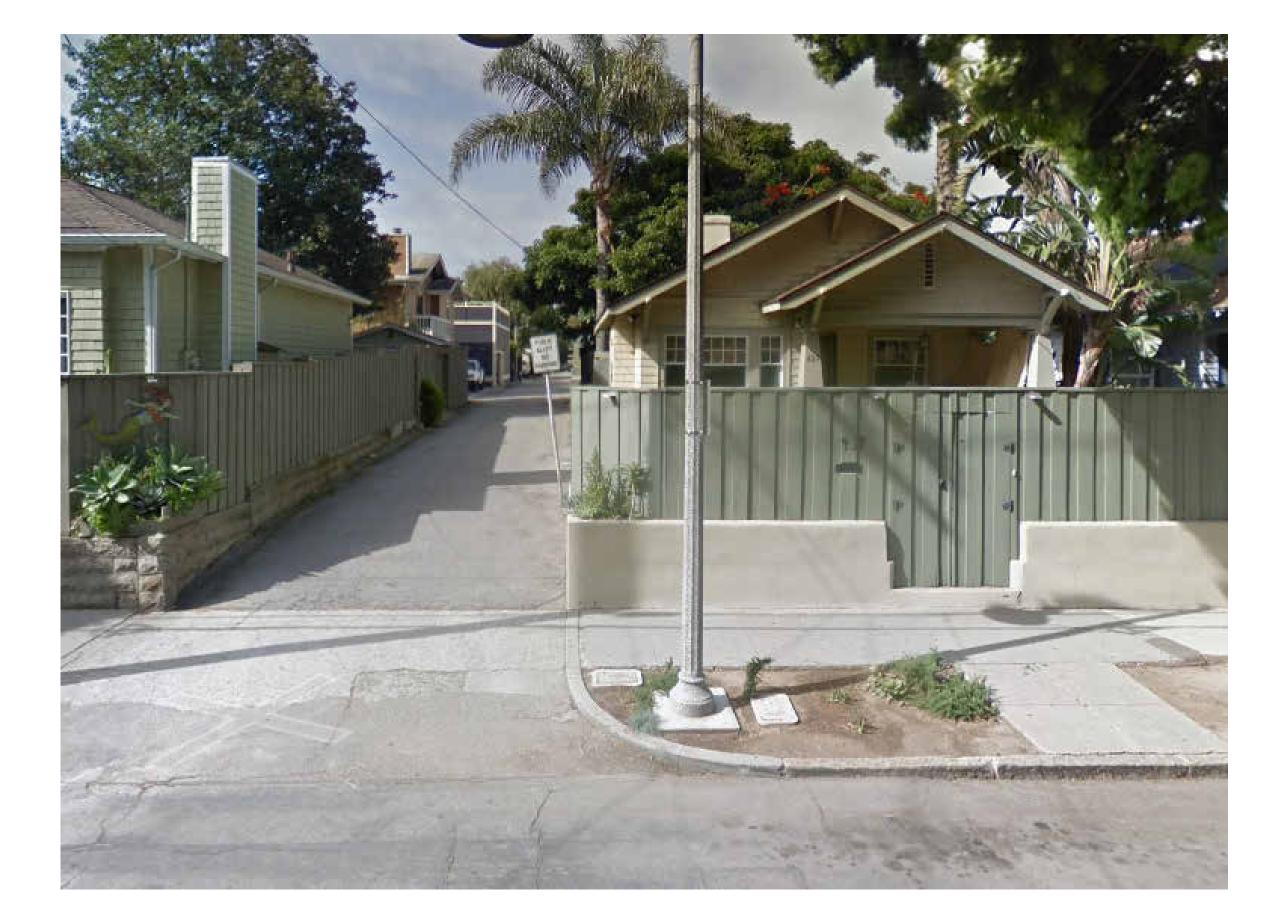
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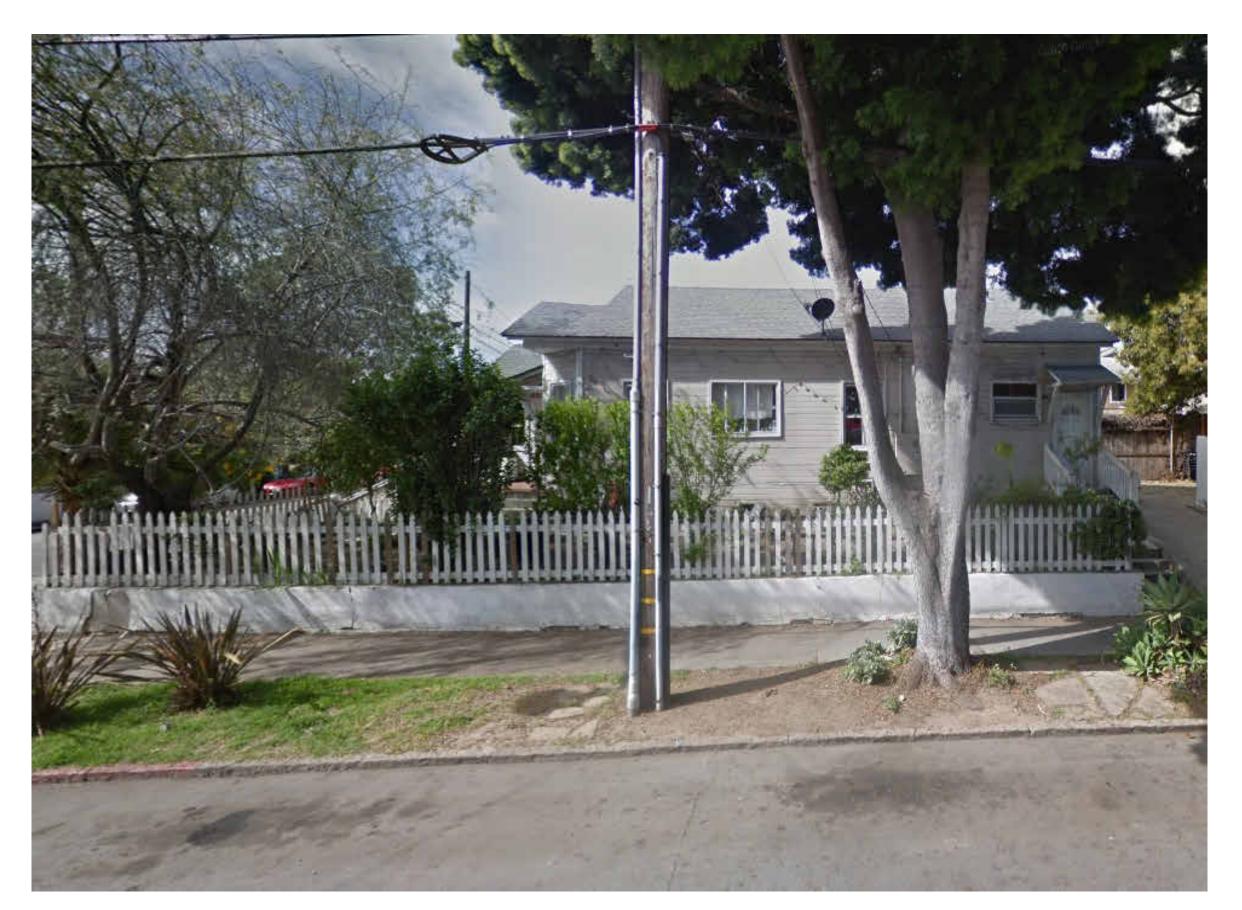
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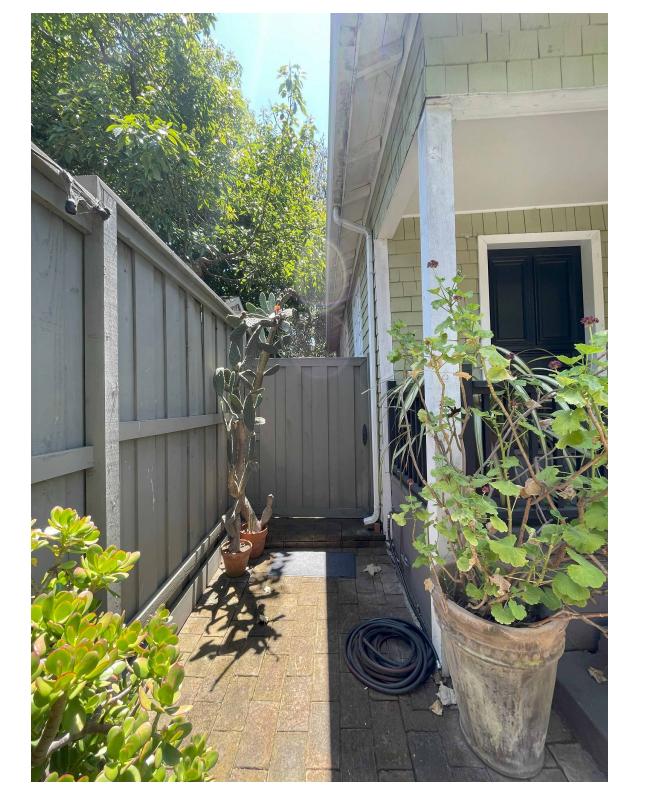


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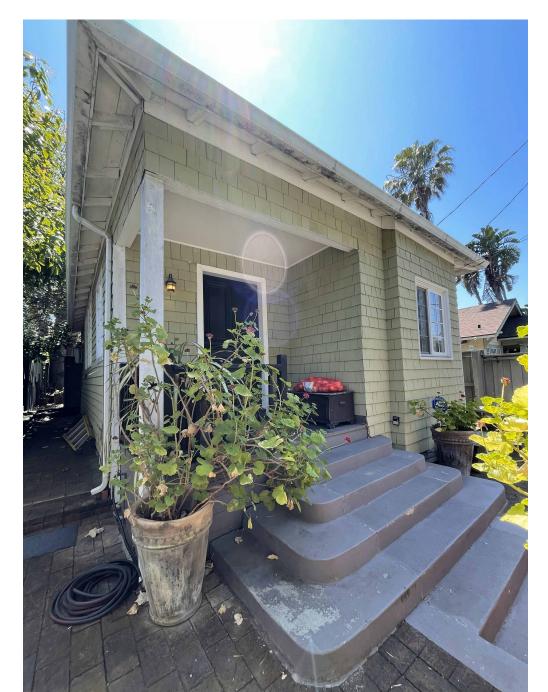
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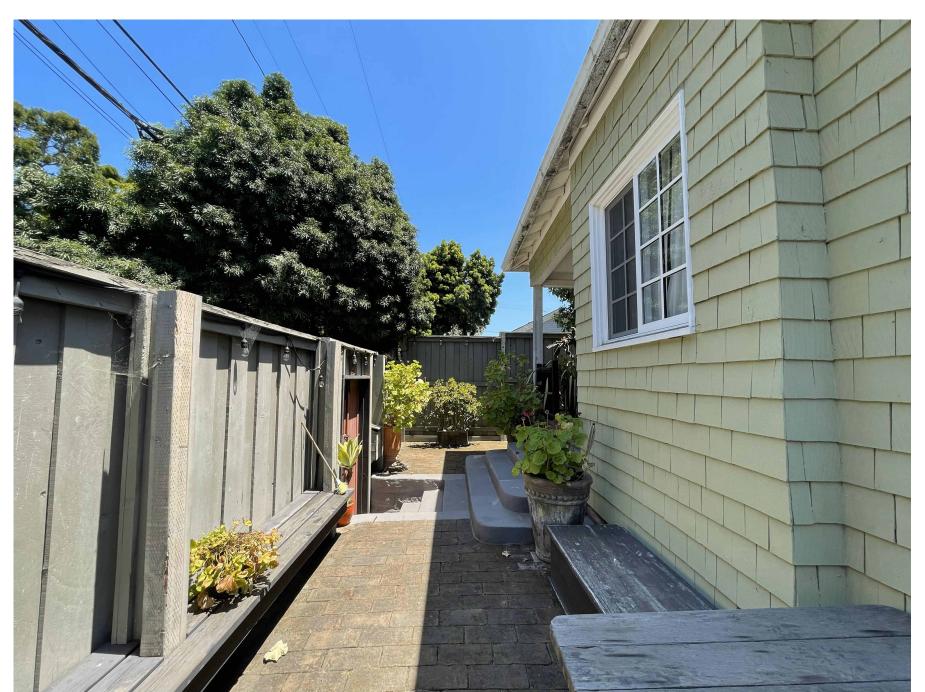




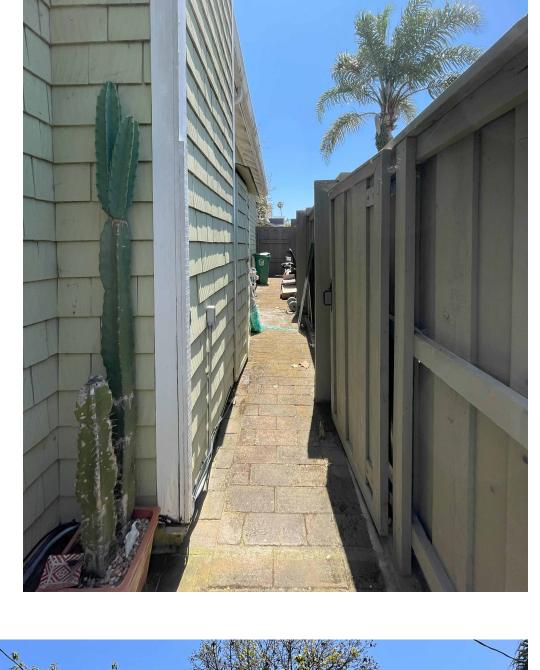


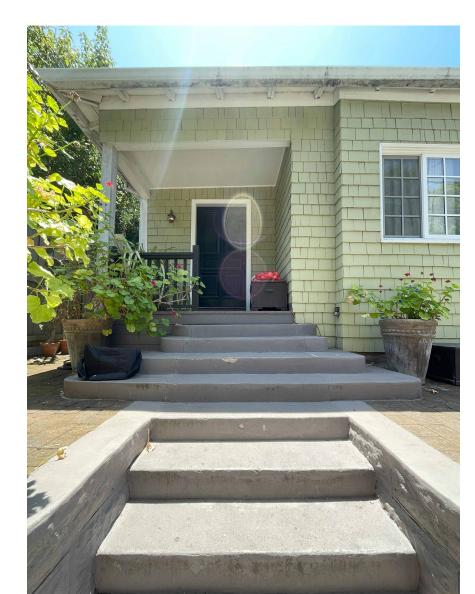








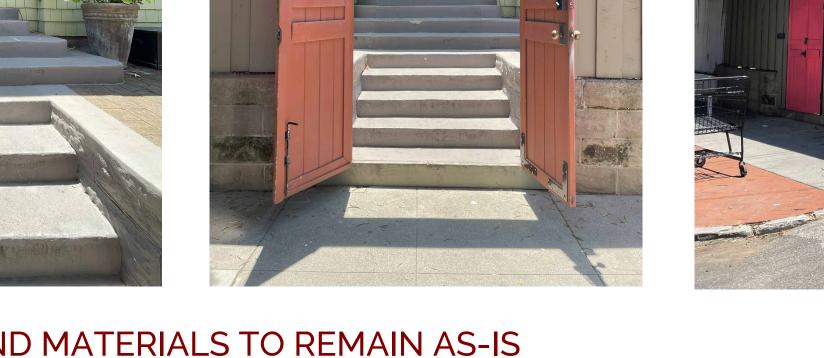














**GREEN BUILDING** 

SECTION 301 GENERAL

**REVISION** 

4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are

## DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE **EFFICIENCY**

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste

## Exceptions:

- . Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably
- 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
- 1.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.
- reuse on the project or salvage for future use or sale. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).

Identify the construction and demolition waste materials to be diverted from disposal by recycling.

- 3. Identify diversion facilities where the construction and demolition waste material collected will be 4. Identify construction methods employed to reduce the amount of construction and demolition waste
- 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.
- .408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1
- Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.
- .408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in
- 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1
- 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4...
- 1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in
- documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

### 4.410 BUILDING MAINTENANCE AND OPERATION 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact

- disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:
- 1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure. Operation and maintenance instructions for the following:
- a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major
- appliances and equipment. b. Roof and yard drainage, including gutters and downspouts.
   c. Space conditioning systems, including condensers and air filters.
- Landscape irrigation systems. e. Waterreuse systems.
- 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. Public transportation and/or carpool options available in the area.
- Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. Information about water-conserving landscape and irrigation design and controllers which conserve
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
- 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. Information about state solar energy and incentive programs available.
- A copy of all special inspections verifications required by the enforcing agency or this code. 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures. 12. Information and/or drawings identifying the location of grab bar reinforcements.
- 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.
- Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of

## DIVISION 4.5 ENVIRONMENTAL QUALITY

## SECTION 4.501 GENERAL

The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

## SECTION 4.502 DEFINITIONS

5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

**CHAPTER 3** 

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1 et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

## SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

 [HCD] Accessory structures and accessory occupancies serving residential buildings shall. comply with Chapter 4 and Appendix A4, as applicable. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. LiveWork units shall comply with

## Chapter 4 and Appendix A4, as applicable. DIVISION 4.1 PLANNING AND DESIGN

## ABBREVIATION DEFINITIONS:

Department of Housing and Community Development California Building Standards Commission Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development Low Rise Additions and Alterations

## **CHAPTER 4**

## RESIDENTIAL MANDATORY MEASURES

SECTION 4.102 DEFINITIONS

4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

## 4.106 SITE DEVELOPMENT

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

I.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency

Compliance with a lawfully enacted storm water management ordinance. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or

are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water\_issues/programs/stormwater/construction.html)

.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

- Water collection and disposal systems French drains
- Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater

Exception: Additions and alterations not altering the drainage path.

1.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

overcurrent protective device.

1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:

1.1 Where there is no local utility power supply or the local utility is unable to supply adequate 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.

2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.

4.106 A.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE". 4.106.4.2 New multifamily dwellings , hotels and motels and new residential parking facilities.

When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.3

4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to

this section. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

1. When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number

2. When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.

a Construction documents are intended to demonstrate the project's capability and capacity for facilitating

b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or quest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPÁBLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

a. Construction documents shall show locations of future EV spaces.

b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS).

Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1 Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels

shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable

4.106.4.2.2.1.1 Location. EVCS shall comply with at least one of the following options:

 The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.

The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section

4.106 A.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions.

The charging spaces shall be designed to comply with the following: 1. The minimum length of each EV space shall be 18 feet (5486 mm).

2. The minimum width of each EV space shall be 9 feet (2743 mm).

4.106 A.2.2.1.3 Accessible EV spaces.

3. One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is

a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11 B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section

installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

4.106 4.2.3 EV space requirements. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch. circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the E√ space, at the time of original construction in accordance with the California Electrical Code.

2. Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction

1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the

Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January

installed in close proximity to the location or the proposed location of the EV space at the time of original

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for

Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its

When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or

altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or

Construction documents are intended to demonstrate the project's capability and capacity for facilitating future

2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and

urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving

completion, certificate of occupancy, or final permit approval by the local building department. See Civil

Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one

showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by

a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall

not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory

faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons

to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve

When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance

Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607

Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

FOR REFERENCE ONLY: The following table and code section have been reprinted from the California

MAXIMUM FLOW RATE (gpm)

1.00

1.20

per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not

4.303.12 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush.

plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per

flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing

altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

construction in accordance with the California Electrical Code.

4.106 A.2.5 Electric Vehicle Ready Space Signage.

DIVISION 4.2 ENERGY EFFICIENCY

Commission will continue to adopt mandatory standards.

of two reduced flushes and one full flush.

WaterSense Specification for Showerheads

allow one shower outlet to be in operation at a time.

not be less than 0.8 gallons per minute at 20 psi.

more than 0.2 gallons per cycle.

4.303.1.4.5 Pre-rinse spray valves.

[spray force in ounce force (ozf)]

Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)

Product Class 1 (≤ 5.0 ozt)

Product Class 3 (> 8.0 ozf)

TABLE H-2

buildings shall not exceed 0.5 gallons per minute at 60 psi.

(d)(7) and shall be equipped with an integral automatic shutoff.

Specification for Tank-type Toilets.

4.303.1.4 Faucets.

buildings affected and other important enactment dates.

The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

Note: A hand-held shower shall be considered a showerhead.

multifamily buildings.

4.201 GENERAL

California Plumbing Code. 4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table

STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY

VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019

1701.1 of the California Plumbing Code. THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX, 1.2 GPM @ 60 PSI MIN, 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING VERIFICATION WITH THE FULL CODE.

**INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS** 

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or

certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O3/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

- 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:
- 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
- 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

### Manufacturer's product specification. Field verification of on-site product containers.

(Less Water and Less Exempt Compounds in Grams pe	er Liter)
ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

(Less Water and Less Exempt Compounds in Grams per Liter)		
SEALANTS	VOC LIMIT	
ARCHITECTURAL	250	
MARINE DECK	760	
NONMEMBRANE ROOF	300	
ROADWAY	250	
SINGLE-PLY ROOF MEMBRANE	450	
OTHER	420	
SEALANT PRIMERS		
ARCHITECTURAL		
NON-POROUS	250	
POROUS	775	
MODIFIED BITUMINOUS	500	
MARINE DECK	760	
OTHER	750	

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

ARCHITECTURAL COATINGS23

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

 GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE L	IMITS <sub>1</sub>
MAXIMUM FORMALDEHYDE EMISSIONS IN PA	RTS PER MILLION
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD2	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS. TITLE 17. SECTIONS 93120 THROUGH

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

Other methods acceptable to the enforcing agency.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications. Chain of custody certifications.
- 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.

## 1.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code. 4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

- 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,
- Other equivalent methods approved by the enforcing agency.
   A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

- Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements
- found in Section 101.8 of this code. 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end
- At least three random moisture readings shall be performed on wall and floor framing with documentation

acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying

4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the

Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a

- Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of
- A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

recommendations prior to enclosure.

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

## 4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),
- ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

State certified apprenticeship programs. Public utility training programs. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency. 702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector: 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors. Successful completion of a third party apprentice training program in the appropriate trade. Other programs acceptable to the enforcing agency. Special inspectors shall be independent entities with no financial interest in the materials or the

project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

## 703 VERIFICATIONS

**CHAPTER 7** 

702 QUALIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

REVISION

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www.SantaBarbaraCA.gov

## NOTICE OF VIOLATION WARNING LETTER

BUILDING AND SAFETY

Director's Office

Fax: 805,564,5500 4/19/2

Building & Safety Mas Ui 81 LLC

Tel: 805.554.3485 1401 21st St. Suite R

Fine: 805.554.5485 Sacramento, CA 95811

VIA CERTIFIED MAIL 9171 9690 0935 0299 1789 75

Housing &

SUBJECT: 421 De La Vina St. Santa Barbara CA. 93101
APN: 037-201-013
ENFORCEMENT CASE NUMBER: ENF2021-00426

Planning Tall 805.584.5470

Dear Property Owner/Tenant:

Property records indicate that you are the owner(s) and/or tenants of the above referenced parcel. On 8/31/2022,

I inspected the subject property in response to a complaint received by our office and discovered a/several violation(s) of the Santa Barbara Municipal Code, described below.

Reintal Housing
Mediation Task Force
Tel: 805.564.5478
Fax: 805.864.5477

The purpose of this notice is to inform you of the violation(s) on the subject property, to give you a reasonable timeframe to abate the violation(s), and to inform you of the consequences of not abating the violation(s) or repeating the violation(s).

630 Sarden Street PO Best 1990 Sante Berhare, CA 93102-1990

DESCRIPTION, REMEDY & FINAL ABATEMENT DATE OF VIOLATION(S):

Please be advised that the below items are in violation of the Santa Barbara Municipal Code and/or the California Code(s). SBMC 22.04.010, SBMC 22.04.020 105.2, CRC R105.1, CPC 104.1, CMC 104.1, CEC Article 89.108.4.1, CEnergyC 100.0 (a-f)

1. Violation: Installation of an on-demand water heater without a permit.

Corrective Actions and Abatement Date: Obtain a building permit to legalize the water heater. Submit plans and an application for a building permit by <u>May 19, 2023</u>. Once the permit is issued, an approved final inspection by the City's Building Department is required.

Violation: Bathroom reconfigured including converting shower stall to bathtub/shower combo (Archived building plans from 1985 do not match current configuration).

Corrective Actions and Abatement Date: Obtain a building permit to legalize the reconfiguration of the bathroom. Submit plans and an application for a building permit by <u>May 19, 2023</u>. Once the permit is issued, an approved final inspection by the City's Building Department is required.

Violation: Accessory structure in setback area. Electrical installed in accessory structure.

Corrective Actions and Abatement Date: Obtain a building permit to legalize or remove the accessory structure. Obtain a building permit to legalize or demo the electrical.) Submit plans and an application for a building permit by <a href="May 19">May 19</a>, 2023. Once the permit is issued, an approved final inspection by the City's Building Department is required.

4. Violation: Exterior electrical outlet(s) installed without a permit.

Corrective Action and Abatement date: Obtain a permit to legalize or remove the exterior electrical outlet(s). Submit plans and an application for a building permit by <a href="May 19">May 19</a>, 2023. Once the permit is issued, an approved final inspection by the City's Building Department is required.

5. Violation: Fencing built without a permit.

Corrective Actions and Abatement date: Obtain a permit to legalize the current fencing, or to lower to permit exempt height. Submit plans and an application for a building permit by <a href="May 19">May 19</a>, 2023. Once the permit is issued, an approved final inspection by the City's Building Department is

6. Violation: Exterior shower installed without a permit.

Corrective Actions and Abatement date: Obtain a permit to legalize or demo the shower. Submit plans and an application for a building permit by <a href="May 19">May 19</a>, 2023. Once the permit is issued, an approved final inspection by the City's Building Department is required.

7. Violation: Deck at rear yard expanded without a permit.

Corrective Action and Abatement date: Obtain a permit to legalize the expansion of the deck. Submit plans and an application for a building permit by <u>May 19, 2023</u>. Once the permit is issued, an approved final inspection by the City's Building Department is required.

A building permit for the above listed violations shall be applied for under one permit application by May 19, 2023.

Should you find the final abatement date unreasonable, please contact me to discuss the dates.

CONSEQUENCE FOR NOT ABATING THE VIOLATIONS

If the violation(s) are not corrected by the Abatement Date(s), the First Administrative Citation will be imposed. The amount of the Citation will be \$100 per violation that still exists after the abatement date. If the violation(s) continue, additional Administrative Citations will be imposed, with the fine amount increasing to a maximum of \$250 per violation per day, for as long as the violation(s) continue, with the possibility of referral to the City Attorney's Office for criminal prosecution.

VIOLATION ABATEMENT AND CASE CLOSURE

Please advise me once you have abated the violation(s). Once we have verified that the violation(s) have been abated, we will close this enforcement case.

### **QUESTIONS & CONCERNS**

The City's intent with enforcement is to achieve compliance with the Municipal Codes and Building Codes. As the Compliance Officer assigned to this case, I would like to assist you in resolving this matter. Please email me at <a href="mailto:Clennon@SantaBarbaraCA.gov">Clennon@SantaBarbaraCA.gov</a>, or call me directly at (805) 564-5470, Ext 4549 (between the hours of 8:30 and 4:30 p.m., Monday through Thursday and every other Friday. The City appreciates your cooperation.

Si usted tiene preguntas respecto a la notificación y prefiere hablar con alguien en español, por favor llame la línea de investigaciones al (805) 897-2676 Deje su número de teléfono, la dirección del domicilió respecto a la notificación, el número ENF en la notificación, y un mensaje corto.

## ADDITIONAL CONTACT INFORMATION

Our offices are closed every other Friday, Please go to www.SantaBarbaraCa.gov for further information

For plan submittal and permit issuance requirements please call (805) 564-5485 between the hours of 7:30 and 4:30 p.m., Monday through Friday (except on closed Fridays). The Community Development public counters are located at 630 Garden Street.

Sincerely,

Celia Lennon
Code Compliance Officer

For violations that require a building permit, please see below:

- Consult with the Planning and Zoning to verify that alterations do not trigger design review of any kind. Contact Planning and Zoning Department by email at <a href="http://www.PlanningCounter@SantaBarbaraCA.gov">http://www.PlanningCounter@SantaBarbaraCA.gov</a> or by phone at (805) 564-5578.
- When approved by the Planning and Zoning to proceed, prepare and submit a complete
  application for the building permit(s) that are required to legalize the violations found
  during the inspection. Applications for a building permit can be made online at
  <a href="http://www.SantaBarbaraCA.gov/OnlineBuildingPermits">http://www.SantaBarbaraCA.gov/OnlineBuildingPermits</a>

## Tax Implications

Pursuant of California Revenue and Taxation Code sections 17274 and 24436.5, the City may forward information regarding you and any other owners of the above-referenced property to the State Franchise Tax Board for violation of State and City laws related to the health, safety, and building if the above listed property constitutes substandard housing. This action will prevent you, any other owners, or subsequent owners from

deducting interest, taxes, depreciation, or anortization for the above-referenced property on the state income taxes. In order to prevent this, you must immediately comply with all State and City laws to abate all violations.

## Appeal Rights

Any party aggricved by this decision of the City's Chief Building Official including but not limited to decisions or determinations made relative to the application and interpretations of the technical codes, and the refusal, suspension, voiding, or revocation of a license or permit, may appeal such decision to the Building and Fire Code Board of Appeals by obtaining an appeal form on the internet at <a href="http://www.suntabarbare.a.gov/nervices/planning form-hubbing.aap">http://www.suntabarbare.a.gov/nervices/planning form-hubbing.aap</a> or from the City Building & Safety office. You are required to submit the appeal form within ten (10) days from the date of this notice in order for your appeal to be heard by the Building and Fire Code Board of Appeals. The completed appeal form must be delivered, by hand or postage mail, to the City's Building & Safety office located at 630 Garden St., Santa Burbara, CA 93101. The completed appeal form may also be emailed to CDBuilding Codes SantaBarbara Ca.gov
For information regarding the appeals process, please refer to Santa Barbara Municipal Code Section 22.04.020 or contact the Community Development Department at (805) 564-5502. For information on the Building and Fire Code Board of Appeals, please visit the following website trap of www.suntabarbareaca.gov/pro/huborom/sac/bl/sac/befoult.asp

NOT FOR CONSTRUCTION

TION MAS UI 81 LLC
421 DE LA VINA ST
SANTA BARBARA, CA
93101

MG 55:15:1/202/01/5

ALL EXISTING OR PROPOSED FIXTURE TO COMPLY WITH THE FOLLOWING MAX FLOW RATES

TABLE - MAXIMUM FIXTURE WATER USE		
FIXTURE TYPE	FLOW RATE	
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI	
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI	
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI	
KITCHEN FAUCETS	1.8 GPM @ 60 PSI	
METERING FAUCETS	0.2 GAL/CYCLE	
WATER CLOSET	1.28 GAL/FLUSH	
URINALS	0.125 GAL/FLUSH	

FLOOR PLAN LEGEND

**NEW CONSTRUCTION** FLOOR TO CEILING WINDOW PARTIAL HEIGHT WINDOW (WITH SILL) DOOR TAG (DOOR NUMBER &

DEMO CONSTRUCTION MILLWORK WITH OVERHEAD \_ \_ \_ \_ \_ \_ \_ \_ \_ CABINETS

EXISTING CONSTRUCTION

 SMOKE DETECTOR, W/10-YEAR BATTERY CARBON MONOXIDE DETECTOR, W/10-YEAR BATTERY

## SHEET NOTES:

ALL DIMENSION ON THIS SHEET ARE TO FINISH FACE.

THE PROPERTY IS IN THE C-G ZONE AND HAS A 0-FOOT FRONT SETBACK AND A 0-FOOT INTERIOR SETBACK IF NONRESIDENTIAL OR MIXED USED DEVELOPMENT. FOR RESIDENTIAL USE, THE SITE WOULD HAVE A 10-FOOT FRONT AND 6-FOOT INTERIOR SETBACK. UPDATE THE SETBACKS, YOU ONLY NEED TO SHOW THE 10' AND 6' SETBACKS ON THE EXISTING SITE PLAN SINCE IT WAS RESIDENTIAL USE, BUT PROPOSED IS A NON-RESIDENTIAL USE AND OBSERVES A o' FRONT AND INTERIOR SETBACK.

## **BATHROOM NOTES:**

INC SETTING METHODS AND STANDARDS. THE FOLLOWING LIST OF SETTING METHODS MAY BE SUBSTITUTED FOR EQUAL SETTING METHODS AND STANDARDS PER TCNA

ALL TILE INSTALLATION SHALL FOLLOW TILE COUNCIL OF NORTH AMERICA,

412-16 - BATH TUB INSTALLATION. B415-16 - SHOWER FLOOR AND WALL INSTALLATION

**ALLEY** 

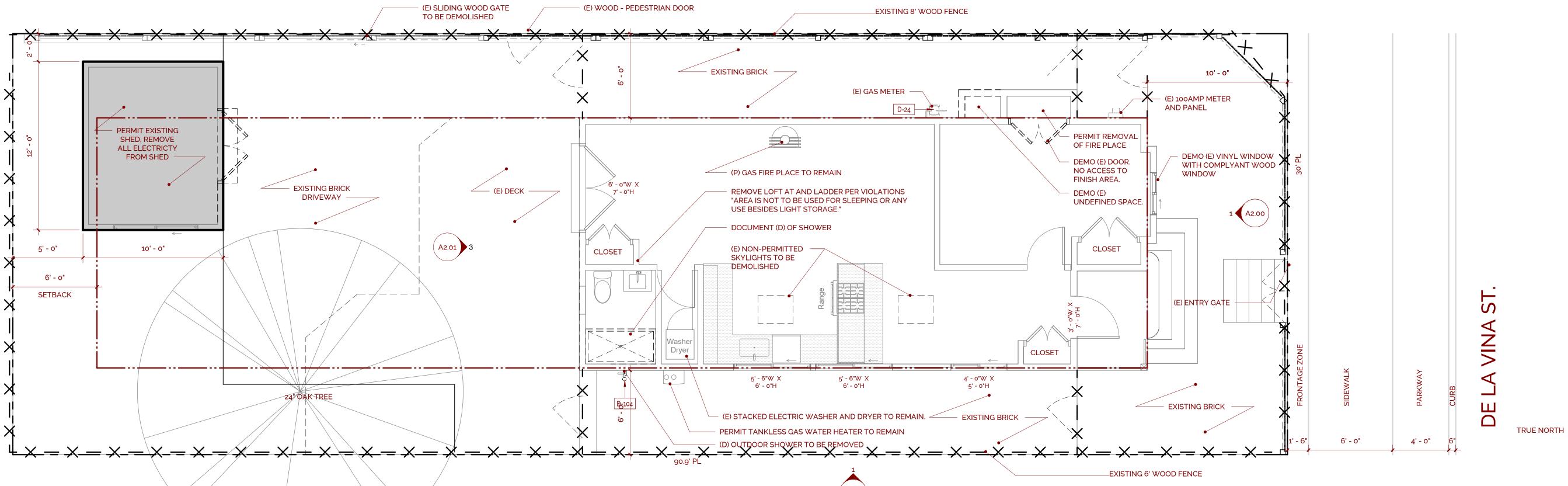
D-24

4' - 0"W X 5' - 0"H

5' - 6"W X 6' - o"H

5' - 6"W X 6' - o"H

PREVIOUSLY PERMITTED



01/16/24 03/19/24

03/19/24 REV 3 EXISTING SITE PLAN

**EXISTING CONDITIONS/SITE** 

SCALE: 1/4" = 1'-0"

6' - 0"W X

SCALE: 1/4" = 1'-0"

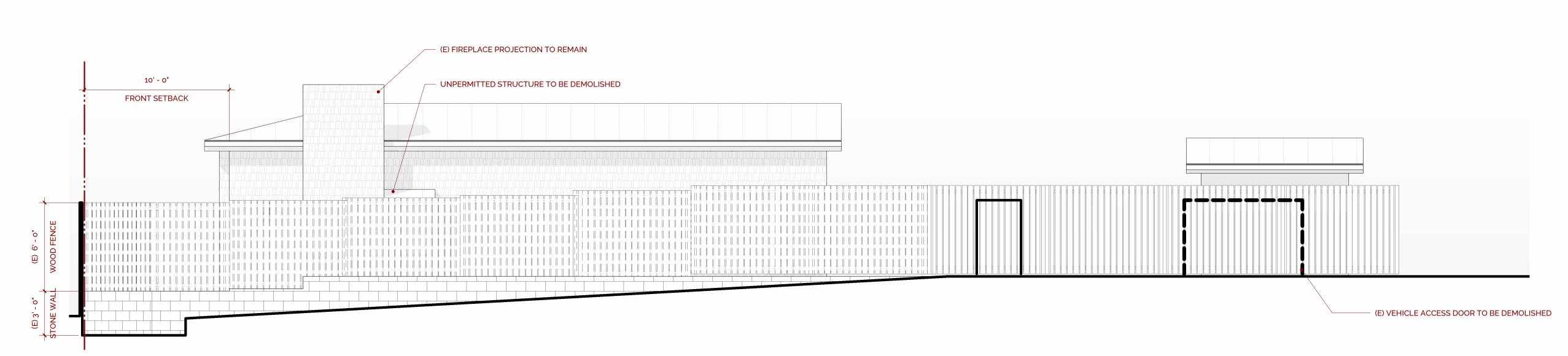
03/19/24 REV 3

EXTERIOR ELEVATIONS

# (E) FIREPLACE PROJECTION TO REMAIN 10' - 0" FRONT SETBACK (E) PEDESTRIAN ACCESS DOOR TO REMAIN WOOD FENCE TO BE REMODELED (E) WOOD FENCE TO REMAIN 6' HEIGHT MAX FROM GRADE (INFILL WHERE SLIDING DOOR IS BEING DEMOLISHED)

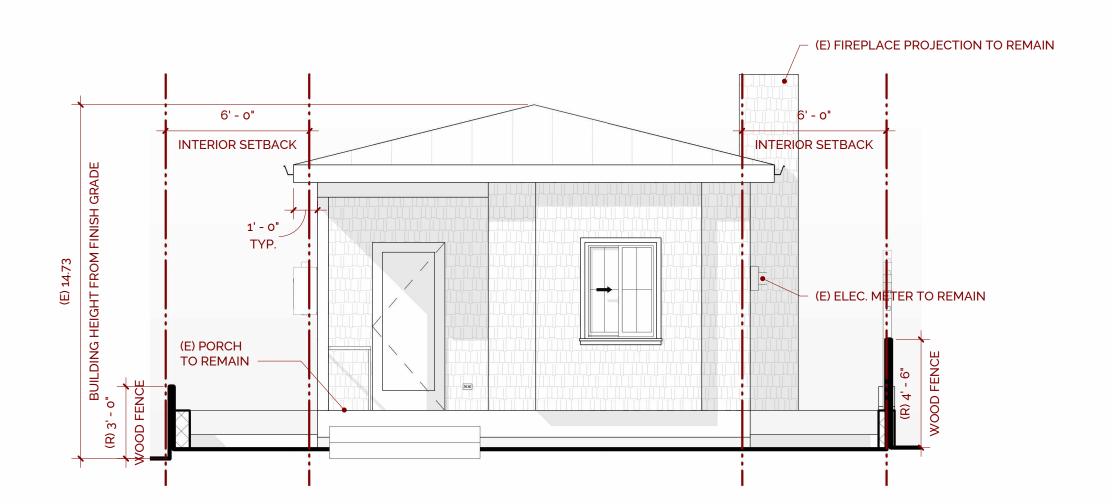
## PROPOSED NORTHWEST ELEVATION

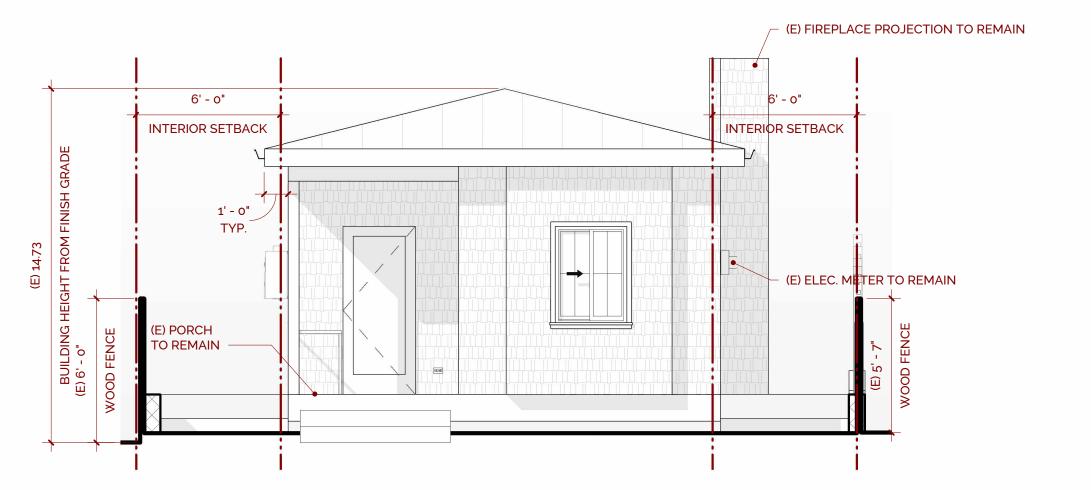
SCALE: 1/4" = 1'-0"



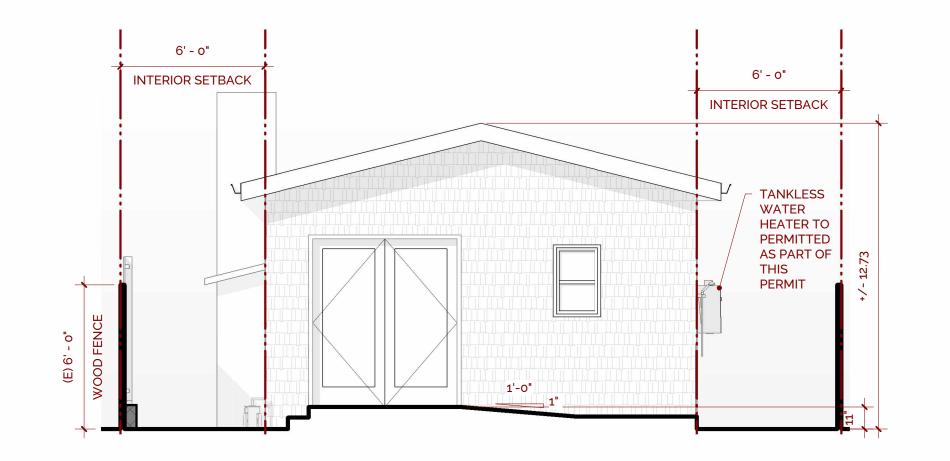
## **EXISTING NORTHWEST ELEVATION**

SCALE: 1/4" = 1'-0"







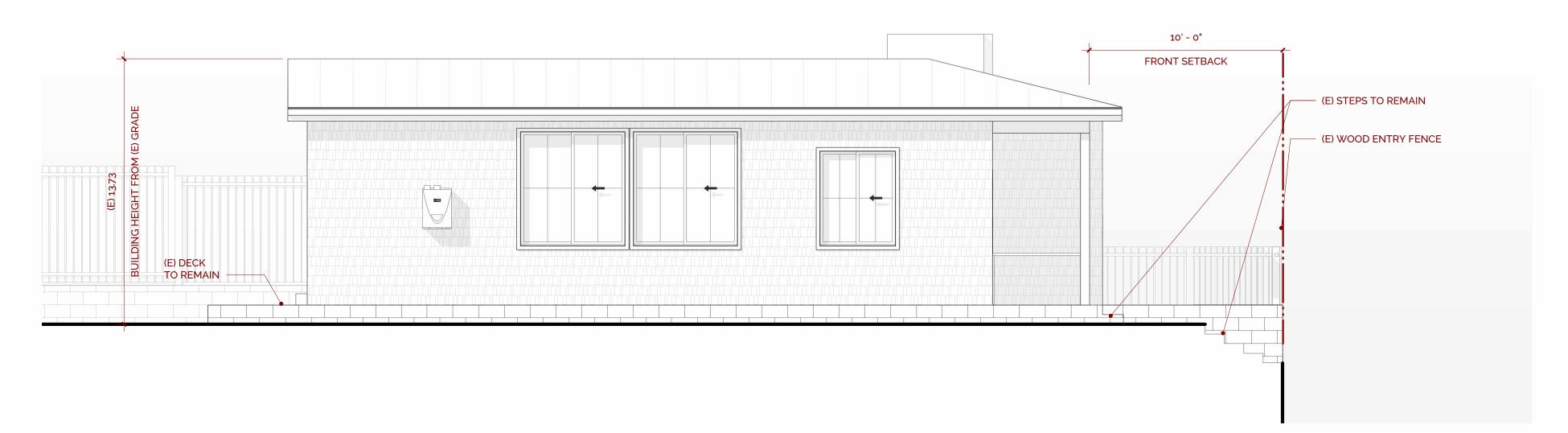


# 4

## PROPOSED SOUTHWEST ELEVATION

SCALE: 1/4" = 1'-0"

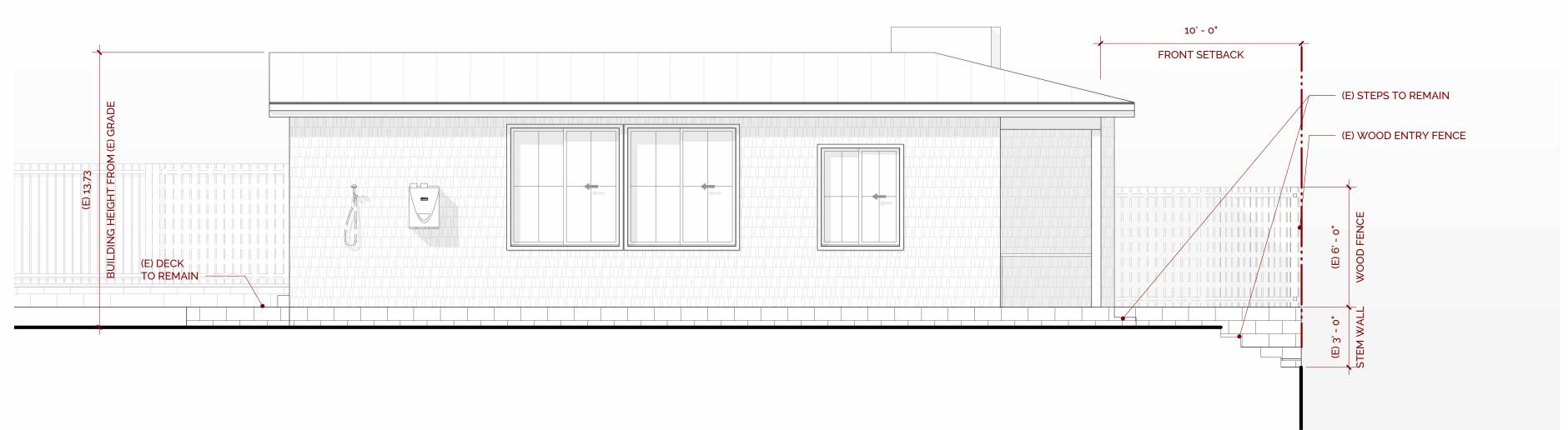




# 2

## PROPOSED SOUTHEAST ELEVATION

SCALE: 1/4" = 1'-0"



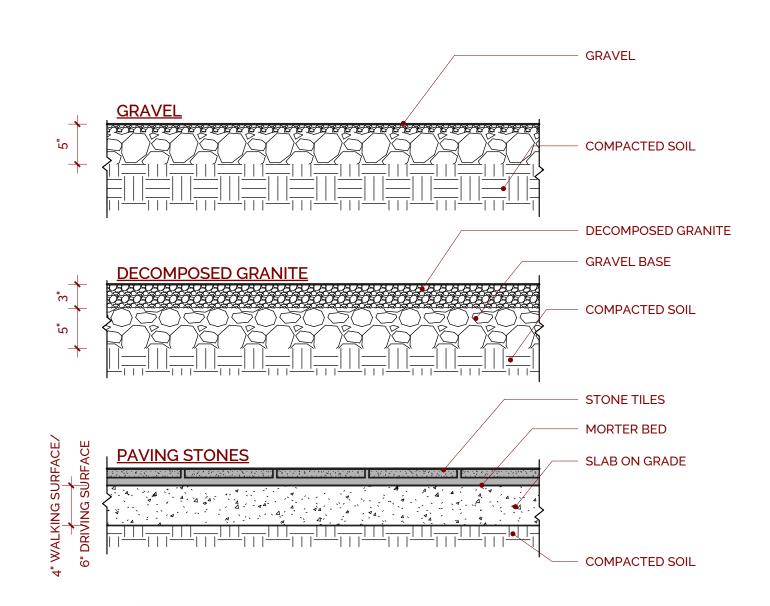


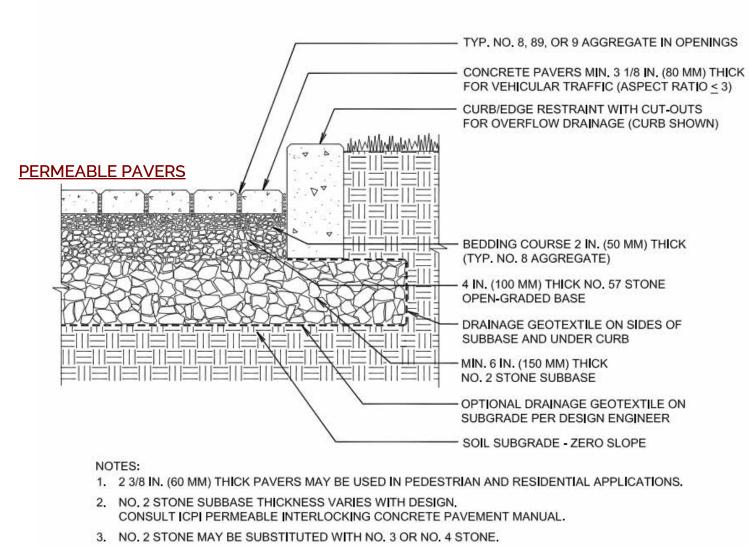
**EXISTING SOUTHEAST ELEVATION** 

# 01 S

## WINDOW FLASHING DETAIL

SCALE: 3/4" = 1'-0"





# 02

## SITE SURFACE DETAILS

4. SELECT GEOTEXTILE PER AASHTO M 288.

SCALE: 1" = 1'-0"

NOLL CONSTRUCTION

DAT

A VINA ST

PROJECT ADDRESS

WAS UI 81 LLC
421 DE LA VINA ST
SANTA BARBARA, CA
93101

**REVISION**