

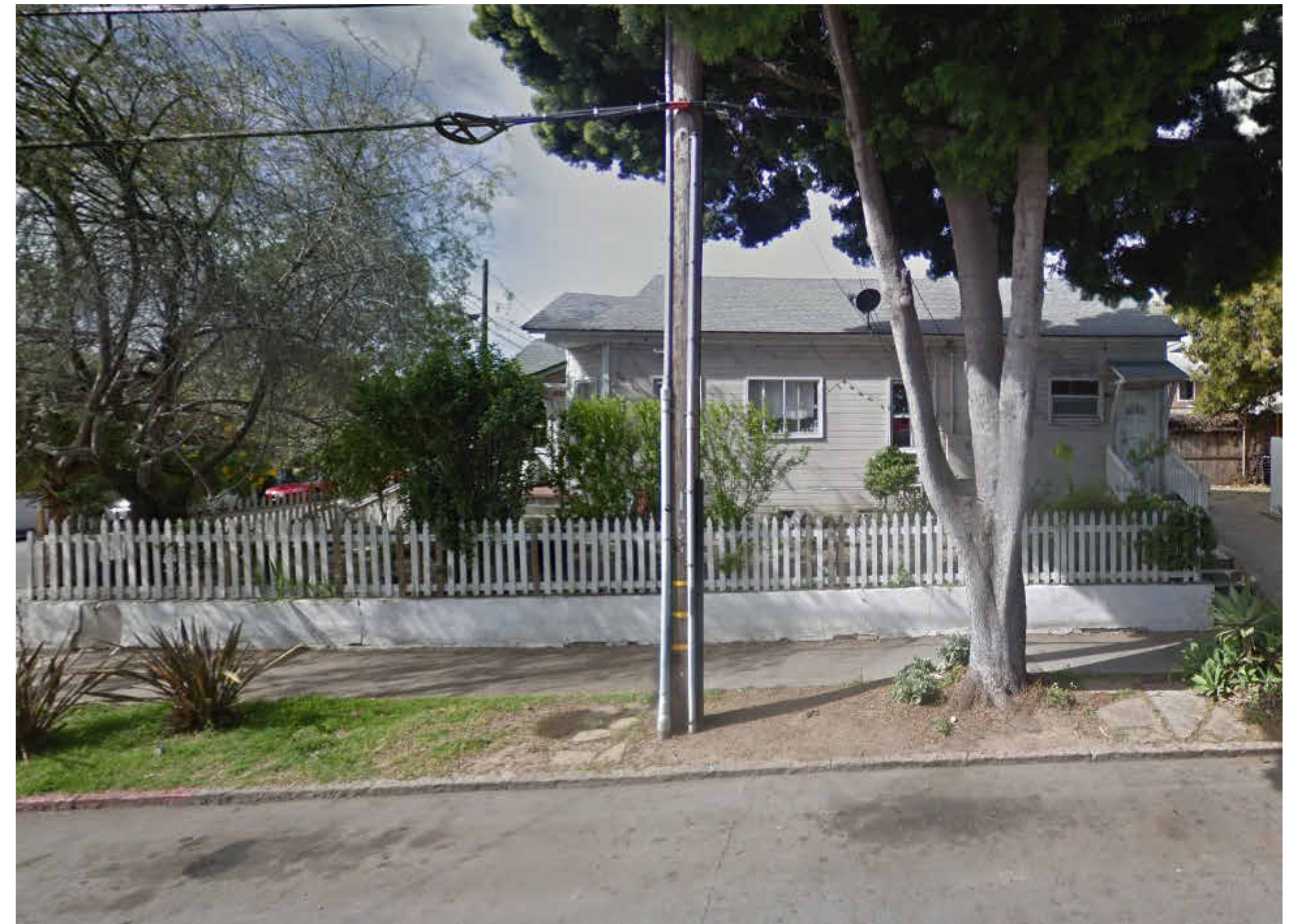
NORTHEAST NEIGHBOR - 422 DE LA VINA



SOUTHEAST NEIGHBOR - 414 DE LA VINA

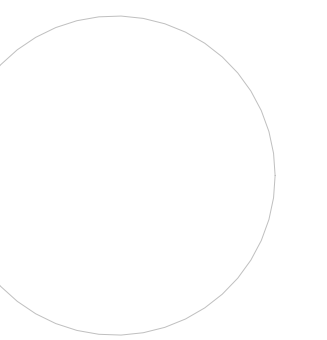


NORTH NEIGHBOR - 427 DE LA VINA



SOUTH NEIGHBOR - 401 DE LA VINA

NOT FOR CONSTRUCTION

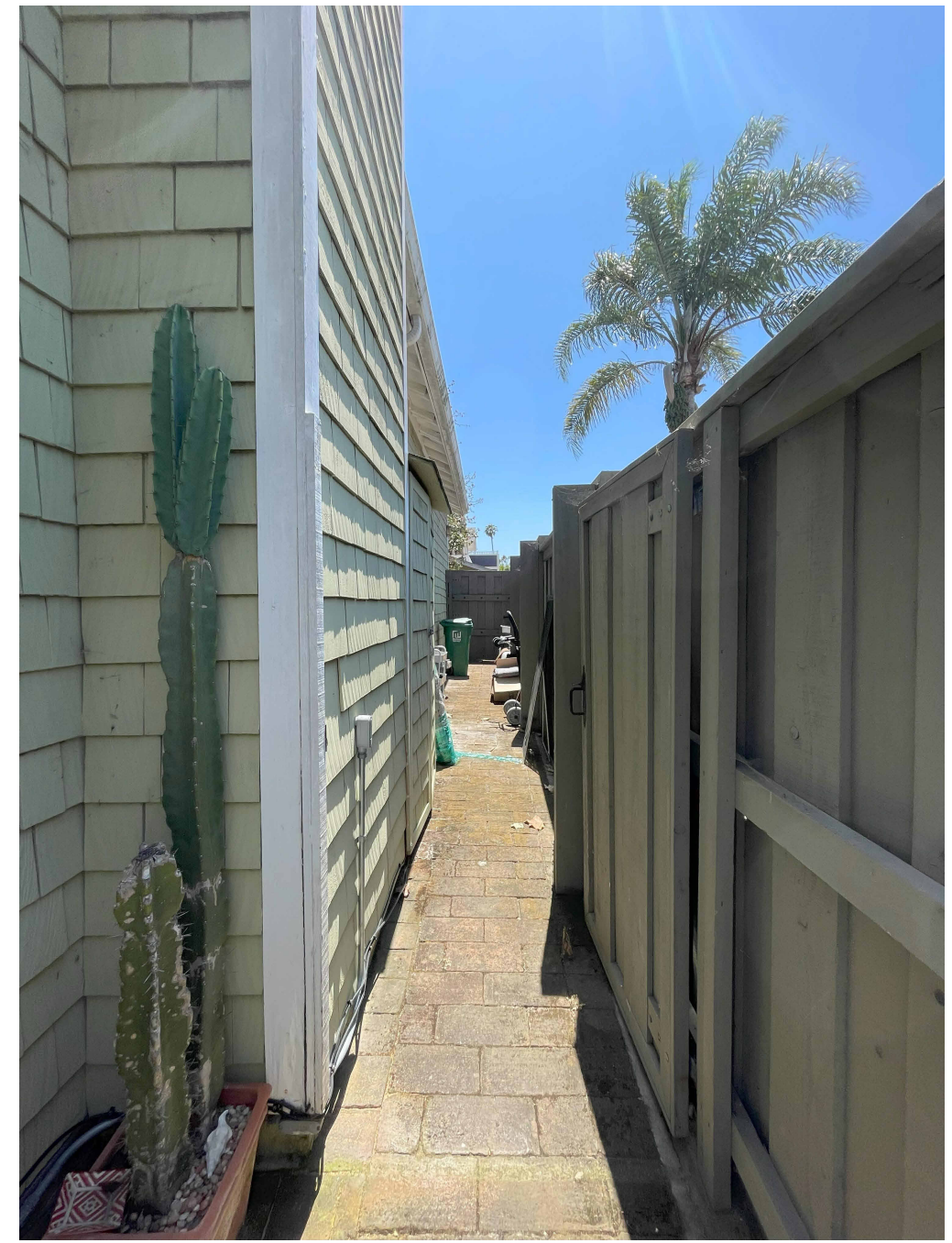


REVISION

DATE

REVISION	DATE

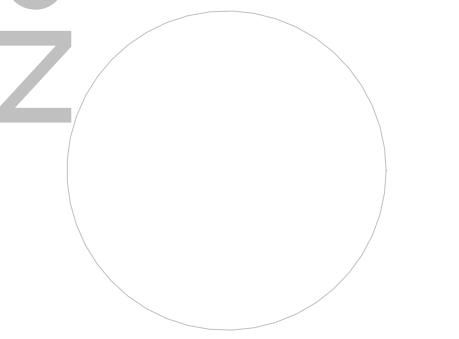
# 22015	PROJECT ADDRESS MAS UI 81 LLC 421 DE LA VINA ST SANTA BARBARA, CA 93101
CONTEXT PHOTOS	A0.03



3/19/2024 4:31:31 PM

ALL COLORS AND MATERIALS TO REMAIN AS-IS

NOT FOR CONSTRUCTION



REVISION

DATE


# 22015
PROJECT ADDRESS MAS UI 81 LLC 21 E. CANON PERDIDO ST SANTA BARBARA, CA 93101
SITE PHOTOS
A0.04

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)



NOT FOR CONSTRUCTION

REVISION DATE

PROJECT ADDRESS: 1425 S BULLOCK ST, SANTA BARBARA, CA 93101

GREEN BUILDING STANDARDS A0.12

CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code.

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2.

4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y NA RESPON PARTY YES NOT APPLICABLE RESPON PART PARTY (ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, ETC.)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O3/g ROG).
MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.
PRODUCT-WEIGHTED MIR (PWWMR). The sum of all weighted-MIR for all ingredients in a product subject to this article.
REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.
VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature.
4.503 FIREPLACES
4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION.
4.504.2 FINISH MATERIAL POLLUTANT CONTROL.
4.504.2.1 Adhesives, Sealants and Caulks.
4.504.2.2 Paints and Coatings.
4.504.2.3 Aerosol Paints and Coatings.
4.504.2.4 Verification.
TABLE 4.504.1 - ADHESIVE VOC LIMIT

TABLE 4.504.2 - SEALANT VOC LIMIT
TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS
TABLE 4.504.4 - ADHESIVE VOC LIMIT

TABLE 4.504.5 - FORMALDEHYDE LIMITS
DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)
4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350).
4.504.3.1 Carpet cushion.
4.504.3.2 Carpet adhesive.
4.504.4 RESILIENT FLOORING SYSTEMS.
4.504.5 COMPOSITE WOOD PRODUCTS.
4.505 INTERIOR MOISTURE CONTROL
4.505.1 General.
4.505.2 CONCRETE SLAB FOUNDATIONS.
4.505.2.1 Capillary break.
4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS.
4.506 INDOOR AIR QUALITY AND EXHAUST
4.507 ENVIRONMENTAL COMFORT

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS
702 QUALIFICATIONS
702.1 INSTALLER TRAINING.
702.1.1 General.
702.1.2 Special Inspection [HCD].
703 VERIFICATIONS
703.1 DOCUMENTATION.
REVISION DATE

OUTSET ARCHITECTURE
CLIENT: MAS UI 81 LLC
PROJECT ADDRESS: 1405 S 181st ST, SANTA BARBARA, CA 93101
GREEN BUILDING STANDARDS A0.13
# 22015

3/19/2024 4:31:33 PM



NOTICE OF VIOLATION  
WARNING LETTER

BUILDING AND SAFETY

Director's Office  
Tel: 805.564.5352  
Fax: 805.564.5509

Building & Safety  
Tel: 805.564.5485  
Fax: 805.564.5476

Housing & Redevelopment  
Tel: 805.564.5481  
Fax: 805.564.5477

Planning  
Tel: 805.564.5470  
Fax: 805.897.1904

Rental Housing Mediation Task Force  
Tel: 805.564.5420  
Fax: 805.564.5477

630 Garden Street  
PO Box 1980  
Santa Barbara, CA  
93102-1980

4/19/2023

VIA CERTIFIED MAIL  
9171 9690 0935 0299 1789 75

Mas Ui 81 LLC  
1401 21<sup>st</sup> St, Suite R  
Sacramento, CA 95811

SUBJECT: 421 De La Vina St. Santa Barbara CA. 93101  
APN: 037-201-013  
ENFORCEMENT CASE NUMBER: ENF2021-00426

Dear Property Owner/Tenant:

Property records indicate that you are the owner(s) and/or tenants of the above referenced parcel. On 8/31/2022, I inspected the subject property in response to a complaint received by our office and discovered a/several violation(s) of the Santa Barbara Municipal Code, described below.

The purpose of this notice is to inform you of the violation(s) on the subject property, to give you a reasonable timeframe to abate the violation(s), and to inform you of the consequences of not abating the violation(s) or repeating the violation(s).

DESCRIPTION, REMEDY & FINAL ABATEMENT DATE OF VIOLATION(S):

Please be advised that the below items are in violation of the Santa Barbara Municipal Code and/or the California Code(s). SBMC 22.04.010, SBMC 22.04.020 105.2, CRC R105.1, CPC 104.1, CMC 104.1, CEC Article 89.108.4.1, CEnergyC 100.0 (a-f)

- 1. Violation: Installation of an on-demand water heater without a permit.

**Corrective Actions and Abatement Date:** Obtain a building permit to legalize the water heater. Submit plans and an application for a building permit by **May 19, 2023**. Once the permit is issued, an approved final inspection by the City's Building Department is required.

- 2. Violation: Bathroom reconfigured including converting shower stall to bathtub/shower combo (Archived building plans from 1985 do not match current configuration).

**Corrective Actions and Abatement Date:** Obtain a building permit to legalize the reconfiguration of the bathroom. Submit plans and an application for a building permit by **May 19, 2023**. Once the permit is issued, an approved final inspection by the City's Building Department is required.

- 3. Violation: Accessory structure in setback area. Electrical installed in accessory structure.

**Corrective Actions and Abatement Date:** Obtain a building permit to legalize or remove the accessory structure. Obtain a building permit to legalize or demo the electrical. Submit plans and an application for a building permit by **May 19, 2023**. Once the permit is issued, an approved final inspection by the City's Building Department is required.

- 4. Violation: Exterior electrical outlet(s) installed without a permit.

**Corrective Action and Abatement date:** Obtain a permit to legalize or remove the exterior electrical outlet(s). Submit plans and an application for a building permit by **May 19, 2023**. Once the permit is issued, an approved final inspection by the City's Building Department is required.

- 5. Violation: Fencing built without a permit.

**Corrective Actions and Abatement date:** Obtain a permit to legalize the current fencing, or to lower to permit exempt height. Submit plans and an application for a building permit by **May 19, 2023**. Once the permit is issued, an approved final inspection by the City's Building Department is required.

- 6. Violation: Exterior shower installed without a permit.

**Corrective Actions and Abatement date:** Obtain a permit to legalize or demo the shower. Submit plans and an application for a building permit by **May 19, 2023**. Once the permit is issued, an approved final inspection by the City's Building Department is required.

- 7. Violation: Deck at rear yard expanded without a permit.

**Corrective Action and Abatement date:** Obtain a permit to legalize the expansion of the deck. Submit plans and an application for a building permit by **May 19, 2023**. Once the permit is issued, an approved final inspection by the City's Building Department is required.

A building permit for the above listed violations shall be applied for under one permit application by May 19, 2023.

Should you find the final abatement date unreasonable, please contact me to discuss the dates.

CONSEQUENCE FOR NOT ABATING THE VIOLATIONS

If the violation(s) are not corrected by the Abatement Date(s), the **First Administrative Citation** will be imposed. The amount of the Citation will be **\$100 per violation** that still exists after the abatement date. If the violation(s) continue, additional Administrative Citations will be imposed, with the fine amount increasing to a **maximum of \$250 per violation per day**, for as long as the violation(s) continue, with the possibility of referral to the City Attorney's Office for criminal prosecution.

VIOLATION ABATEMENT AND CASE CLOSURE

Please advise me once you have abated the violation(s). Once we have verified that the violation(s) have been abated, we will close this enforcement case.

QUESTIONS & CONCERNS

The City's intent with enforcement is to achieve compliance with the Municipal Codes and Building Codes. As the Compliance Officer assigned to this case, I would like to assist you in resolving this matter. Please email me at [Clennon@SantaBarbaraCA.gov](mailto:Clennon@SantaBarbaraCA.gov), or call me directly at (805) 564-5470, Ext 4549 (between the hours of 8:30 and 4:30 p.m., Monday through Thursday and every other Friday. The City appreciates your cooperation.

Si usted tiene preguntas respecto a la notificación y prefiere hablar con alguien en español, por favor llame a la línea de investigaciones al (805) 897-2676. Deje su número de teléfono, la dirección del domicilio respecto a la notificación, el número ENF en la notificación, y un mensaje corto.

ADDITIONAL CONTACT INFORMATION

Our offices are closed every other Friday. Please go to [www.SantaBarbaraCA.gov](http://www.SantaBarbaraCA.gov) for further information on closure dates.

For plan submittal and permit issuance requirements please call (805) 564-5485 between the hours of 7:30 and 4:30 p.m., Monday through Friday (except on closed Fridays). The Community Development public counters are located at 630 Garden Street.

Sincerely,

Celia Lemmon  
Code Compliance Officer

For violations that require a building permit, please see below:

- 1. Consult with the Planning and Zoning to verify that alterations do not trigger design review of any kind. Contact Planning and Zoning Department by email at [http://www.PlanningCounter@SantaBarbaraCA.gov](mailto:http://www.PlanningCounter@SantaBarbaraCA.gov), or by phone at (805) 564-5578.
- 2. When approved by the Planning and Zoning to proceed, prepare and submit a complete application for the building permit(s) that are required to legalize the violations found during the inspection. Applications for a building permit can be made online at <http://www.SantaBarbaraCA.gov/OnlineBuildingPermits>

Tax Implications

Pursuant of California Revenue and Taxation Code sections 17274 and 24436.5, the City may forward information regarding you and any other owners of the above-referenced property to the State Franchise Tax Board for violation of State and City laws related to the health, safety, and building of the above listed property constitutes substandard housing. This action will prevent you, any other owners, or subsequent owners from

deducting interest, taxes, depreciation, or amortization for the above-referenced property on the state income taxes. In order to prevent this, you must immediately comply with all State and City laws to abate all violations.

Appeal Rights

Any party aggrieved by this decision of the City's Chief Building Official including but not limited to decisions or determinations made relative to the application and interpretations of the technical codes, and the refusal, suspension, voiding, or revocation of a license or permit, may appeal such decision to the Building and Fire Code Board of Appeals by obtaining an appeal form on the internet at <http://www.santabarbaraca.gov/buildingandfirecodeboardofappeals> or from the City Building & Safety office. You are required to submit the appeal form within ten (10) days from the date of this notice in order for your appeal to be heard by the Building and Fire Code Board of Appeals. The completed appeal form must be delivered, by hand or postage mail, to the City's Building & Safety office located at 630 Garden St., Santa Barbara, CA 93101. The completed appeal form may also be emailed to [CityBuildingCode@santabarbara.ca.gov](mailto:CityBuildingCode@santabarbara.ca.gov). For information regarding the appeals process, please refer to Santa Barbara Municipal Code Section 22.04.020 or contact the Community Development Department at (805) 564-5502. For information on the Building and Fire Code Board of Appeals, please visit the following website <http://www.santabarbaraca.gov/buildingandfirecodeboardofappeals>

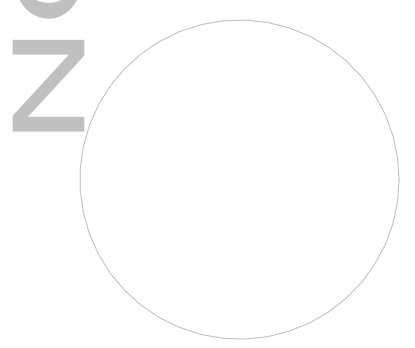


CLIENT  
MAS UI 81 LLC  
421 DE LA VINA ST  
SANTA BARBARA, CA 93101

ARCHITECT  
OUTSET ARCHITECTURE  
21 E. CANON PERDIDO ST #208  
SANTA BARBARA, CA 93101  
805.564.5470  
ADAM@OUTSETARCH

REGISTERED PROFESSIONAL ARCHITECT  
1000 SOUTH MAIN STREET, SUITE 208  
SANTA BARBARA, CA 93101

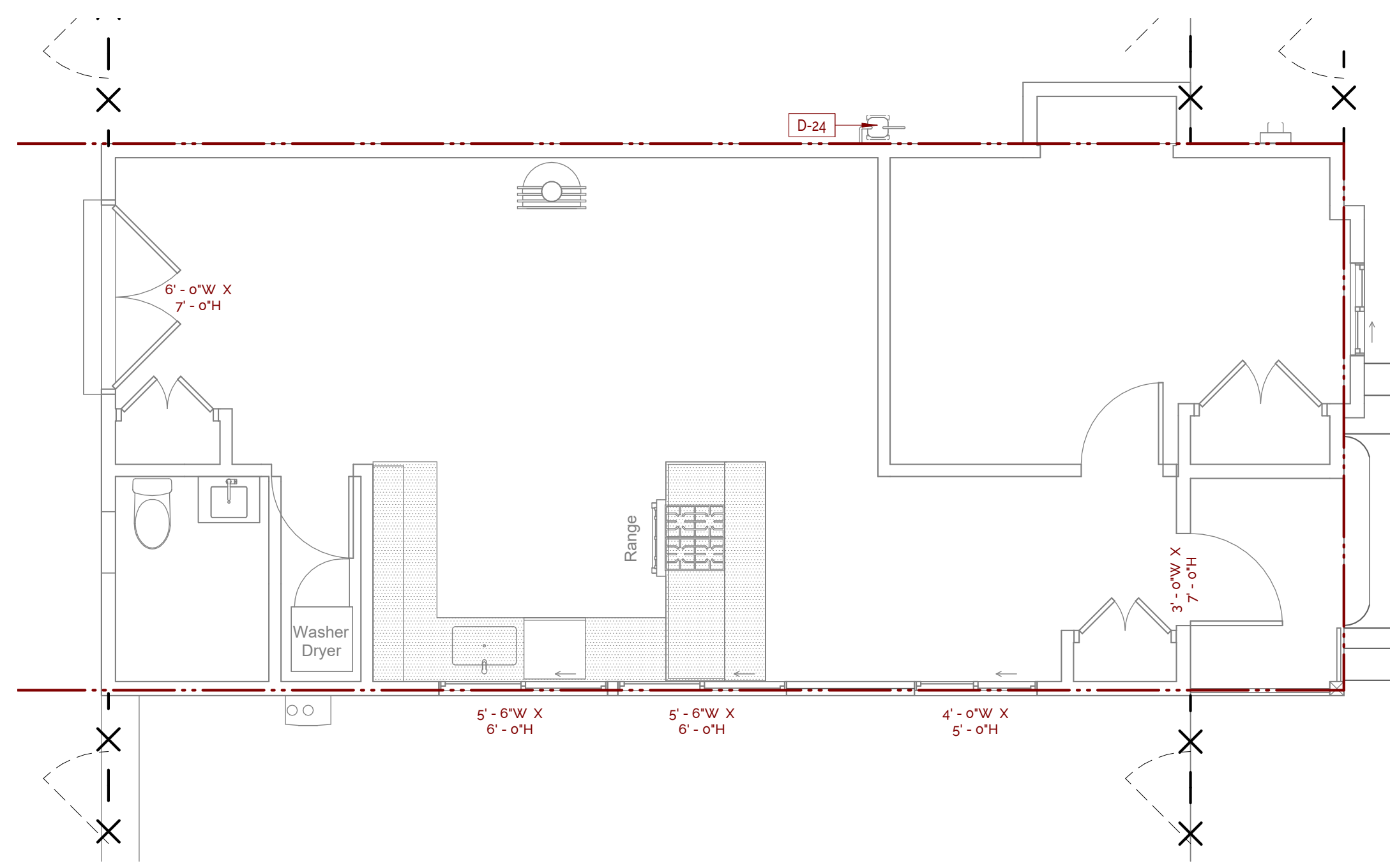
NOT FOR CONSTRUCTION



REVISION	DATE

# 22015	PROJECT ADDRESS MAS UI 81 LLC 421 DE LA VINA ST SANTA BARBARA, CA 93101
VIOLATION LETTERS	A0.20



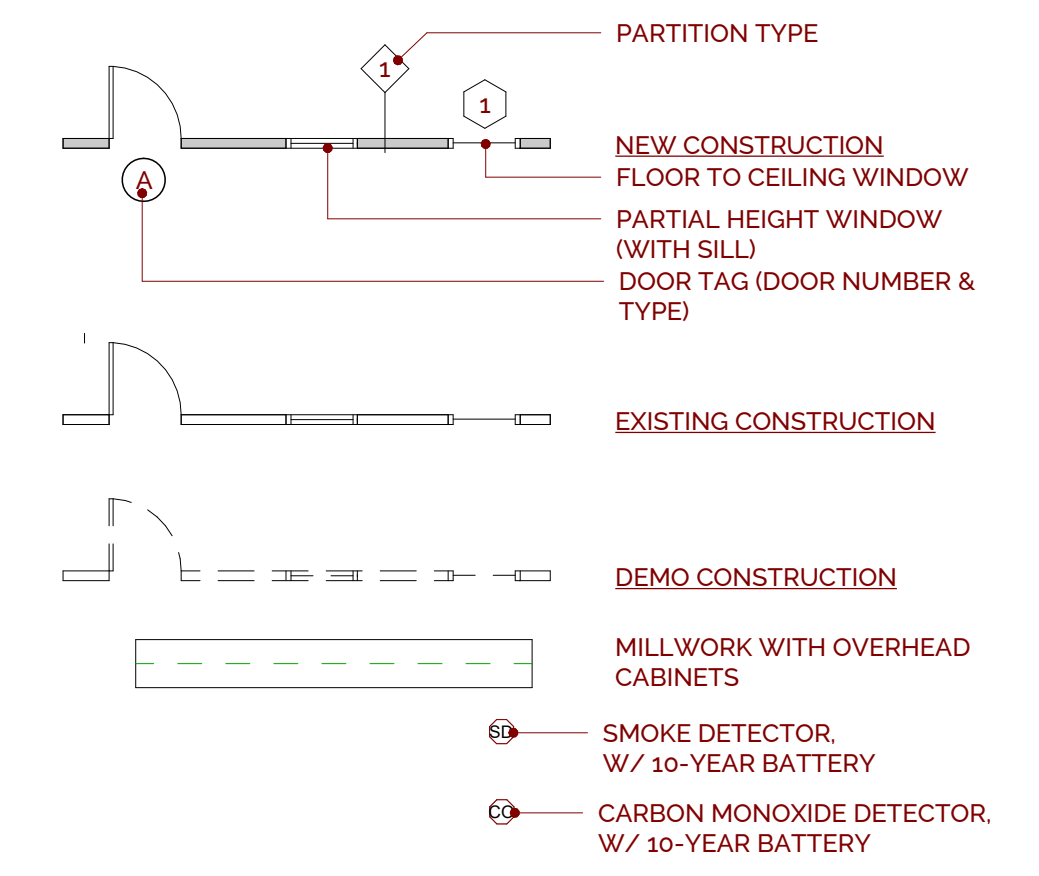


#	Keynote Text
D-24	(E) GAS METER TO REMAIN. PROTECT IN PLACE
D-104	REMOVE (E) FIXTURES & APPLIANCES. CAP PLUMBING AS REQ'D

ALL EXISTING OR PROPOSED FIXTURE TO COMPLY WITH THE FOLLOWING MAX FLOW RATES

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GPM @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

### FLOOR PLAN LEGEND



#### SHEET NOTES:

- ALL DIMENSION ON THIS SHEET ARE TO FINISH FACE.
- THE PROPERTY IS IN THE C-G ZONE AND HAS A 0-FOOT FRONT SETBACK AND A 0-FOOT INTERIOR SETBACK IF NONRESIDENTIAL OR MIXED USED DEVELOPMENT. FOR RESIDENTIAL USE, THE SITE WOULD HAVE A 10-FOOT FRONT AND 6-FOOT INTERIOR SETBACK. UPDATE THE SETBACKS, YOU ONLY NEED TO SHOW THE 10' AND 6' SETBACKS ON THE EXISTING SITE PLAN SINCE IT WAS RESIDENTIAL USE, BUT PROPOSED IS A NON-RESIDENTIAL USE AND OBSERVES A 0' FRONT AND INTERIOR SETBACK.

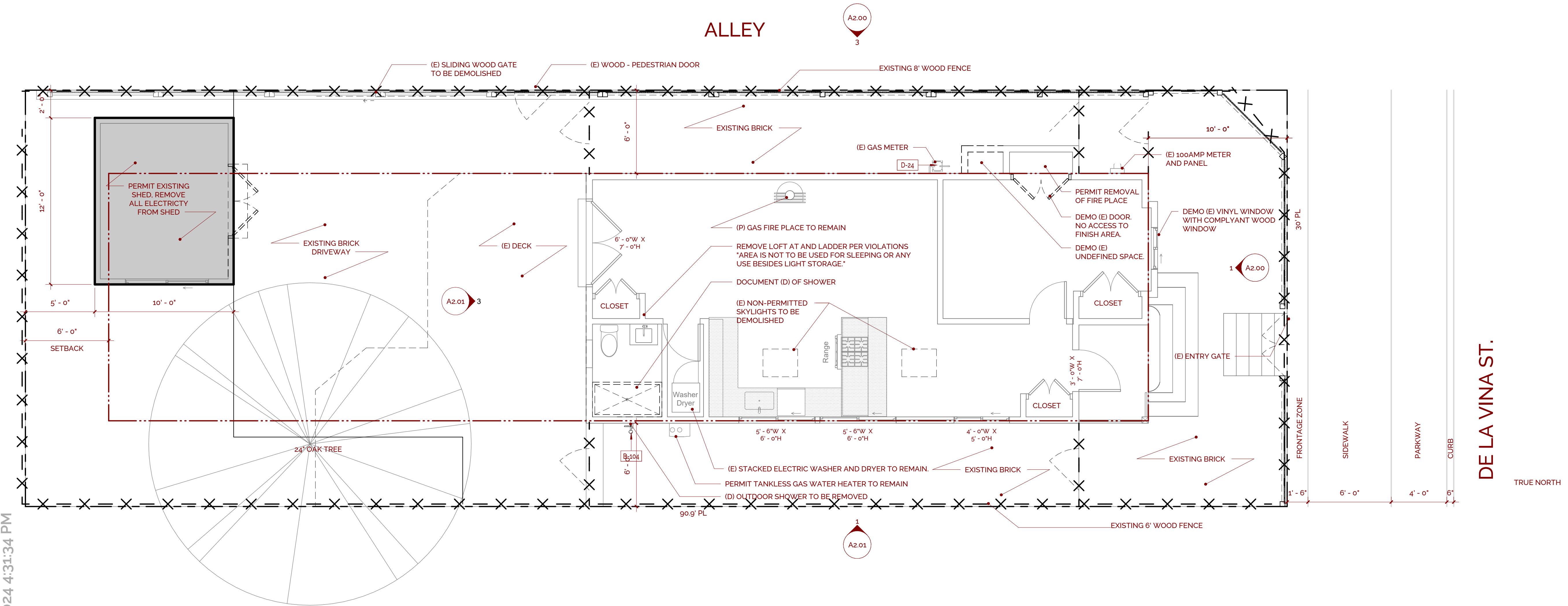
#### BATHROOM NOTES:

- ALL TILE INSTALLATION SHALL FOLLOW TILE COUNCIL OF NORTH AMERICA, INC SETTING METHODS AND STANDARDS. THE FOLLOWING LIST OF SETTING METHODS MAY BE SUBSTITUTED FOR EQUAL SETTING METHODS AND STANDARDS PER TCNA
- 412-16 - BATH TUB INSTALLATION.  
B415-16 - SHOWER FLOOR AND WALL INSTALLATION

## 01 PREVIOUSLY PERMITTED

SCALE: 1/4" = 1'-0"

### ALLEY



NOT FOR CONSTRUCTION

REVISION	DATE
1	01/16/24
3	03/19/24

03/19/24 REV 3

# 22015  
 PROJECT ADDRESS  
 MAS UI 81 LLC  
 421 DE LA VINA ST  
 SANTA BARBARA, CA  
 93101

**EXISTING SITE PLAN**

A1.00

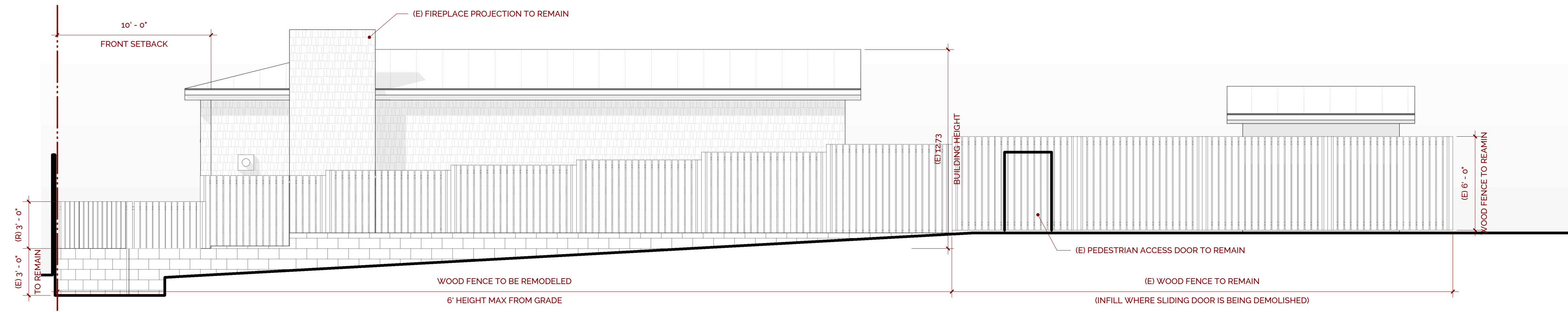
3

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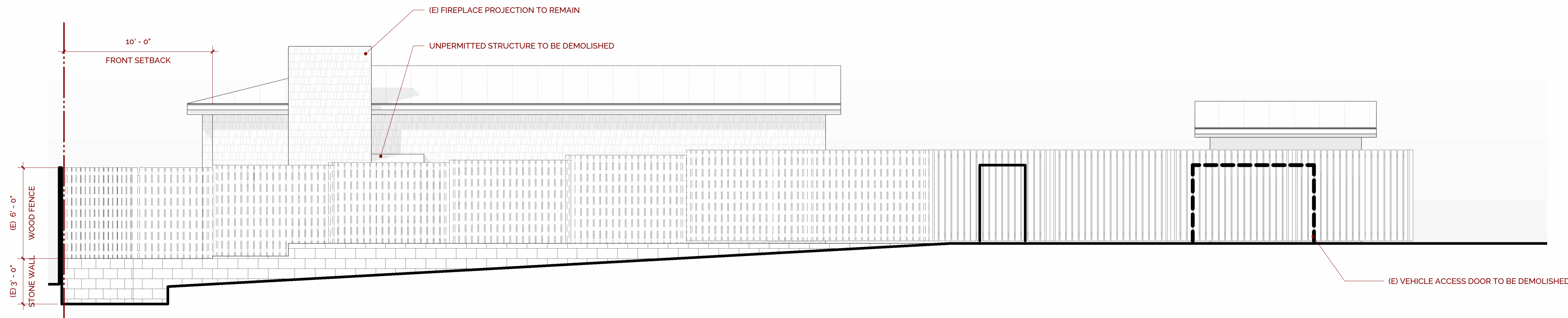
## 02 EXISTING CONDITIONS/SITE

SCALE: 1/4" = 1'-0"

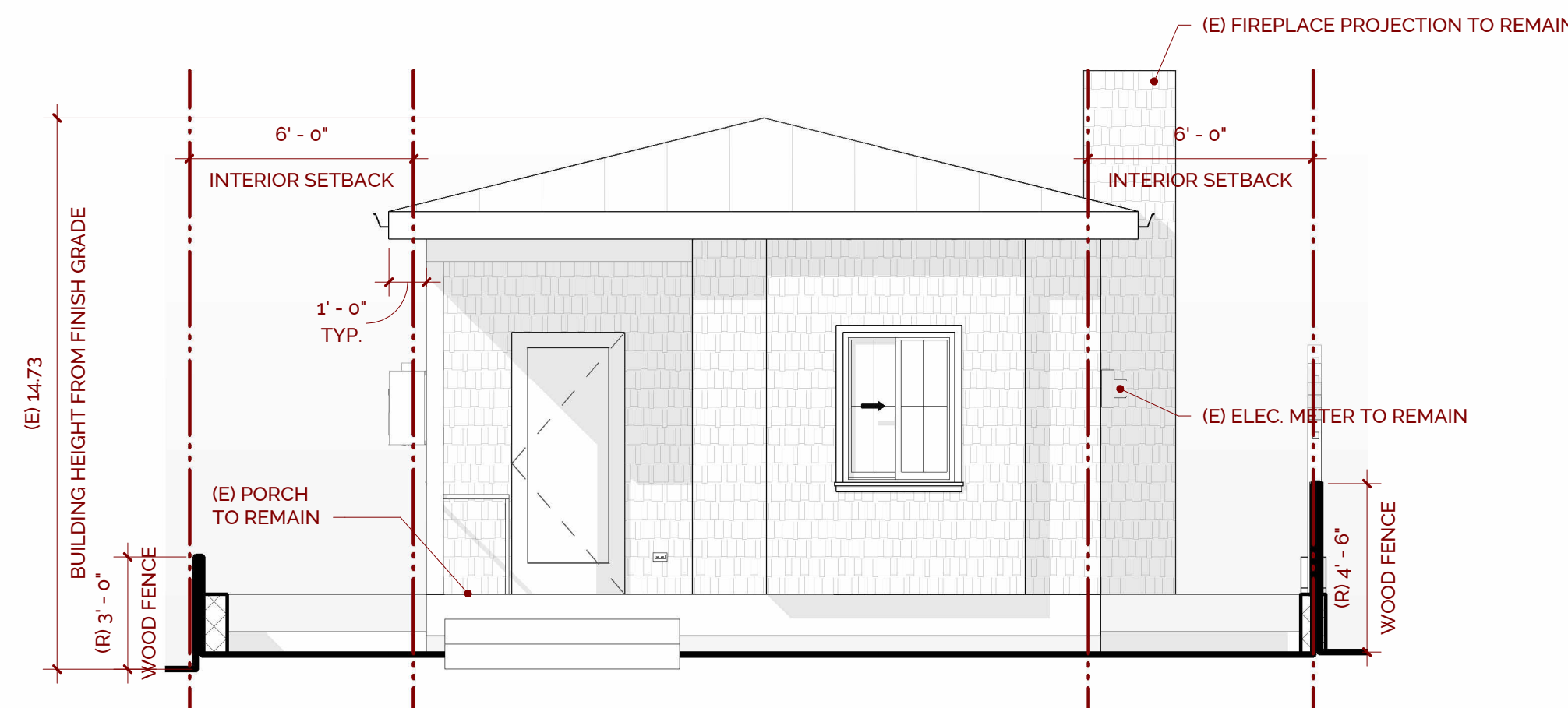
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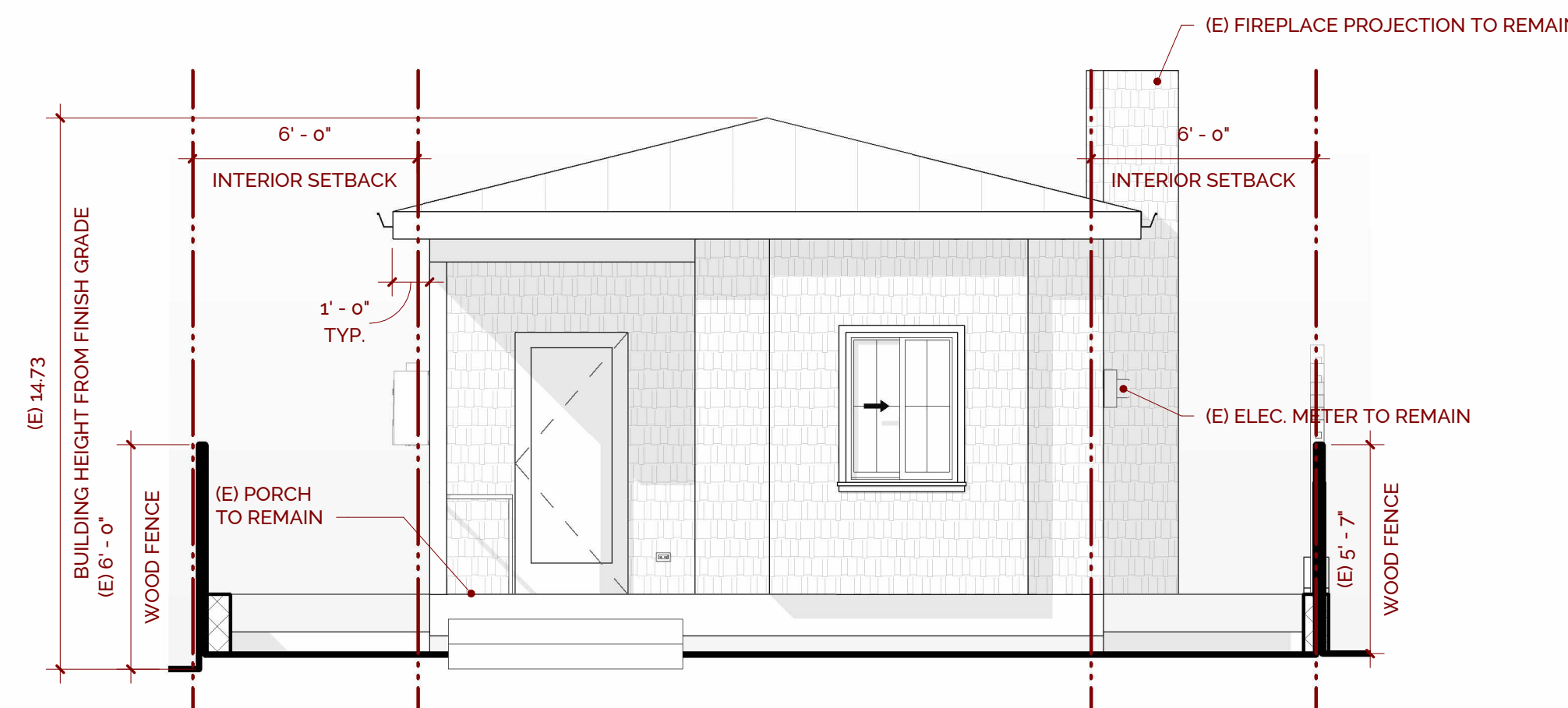
**4 PROPOSED NORTHWEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 EXISTING NORTHWEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED NORTHEAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 EXISTING NORTHEAST ELEVATION**  
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

REVISION	DATE
1	01/16/24
3	03/19/24

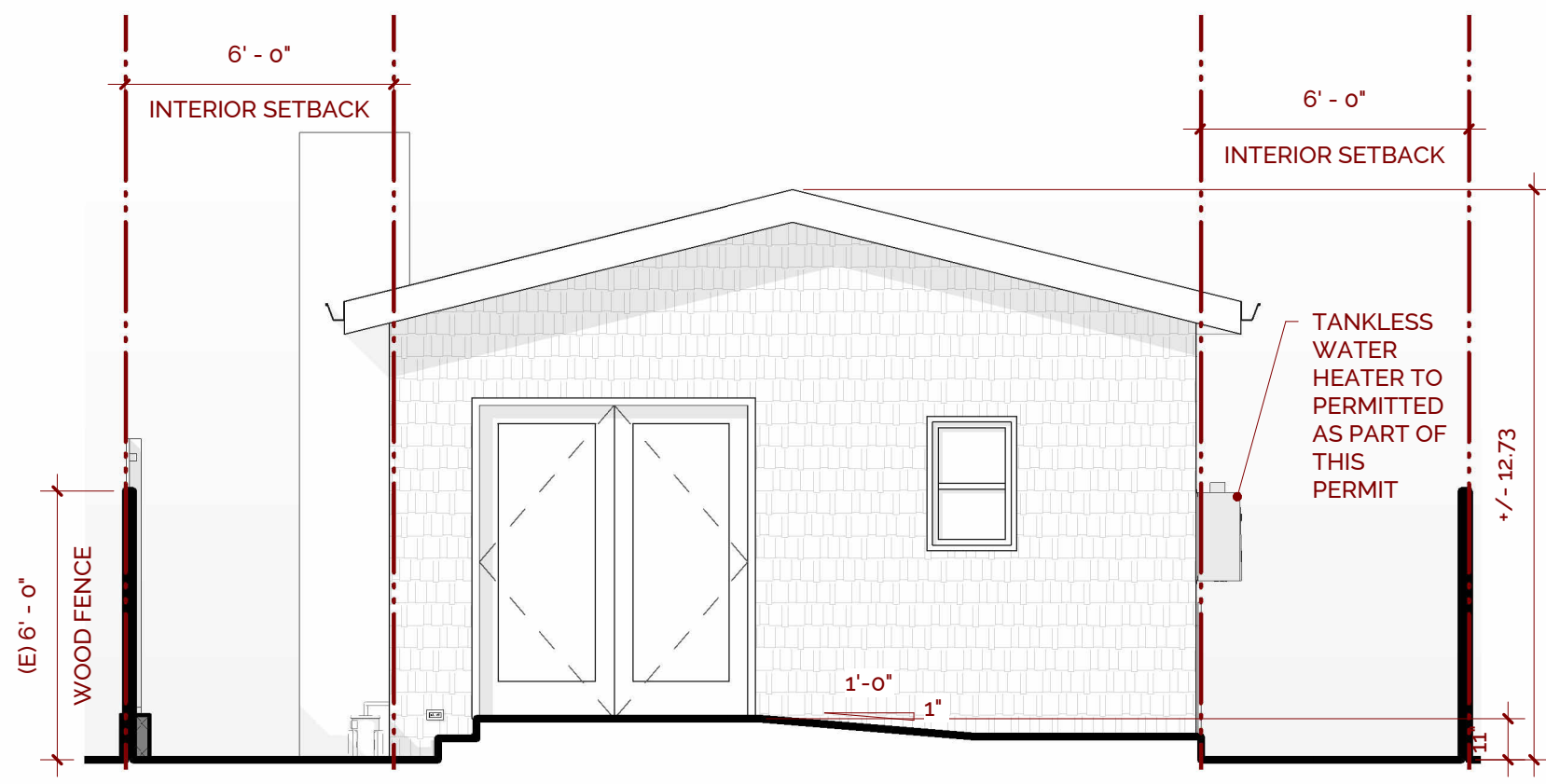
03/19/24 REV 3

# 22015  
PROJECT ADDRESS  
MAS UI 81 LLC  
421 DE LA VINA ST  
SANTA BARBARA, CA  
93101

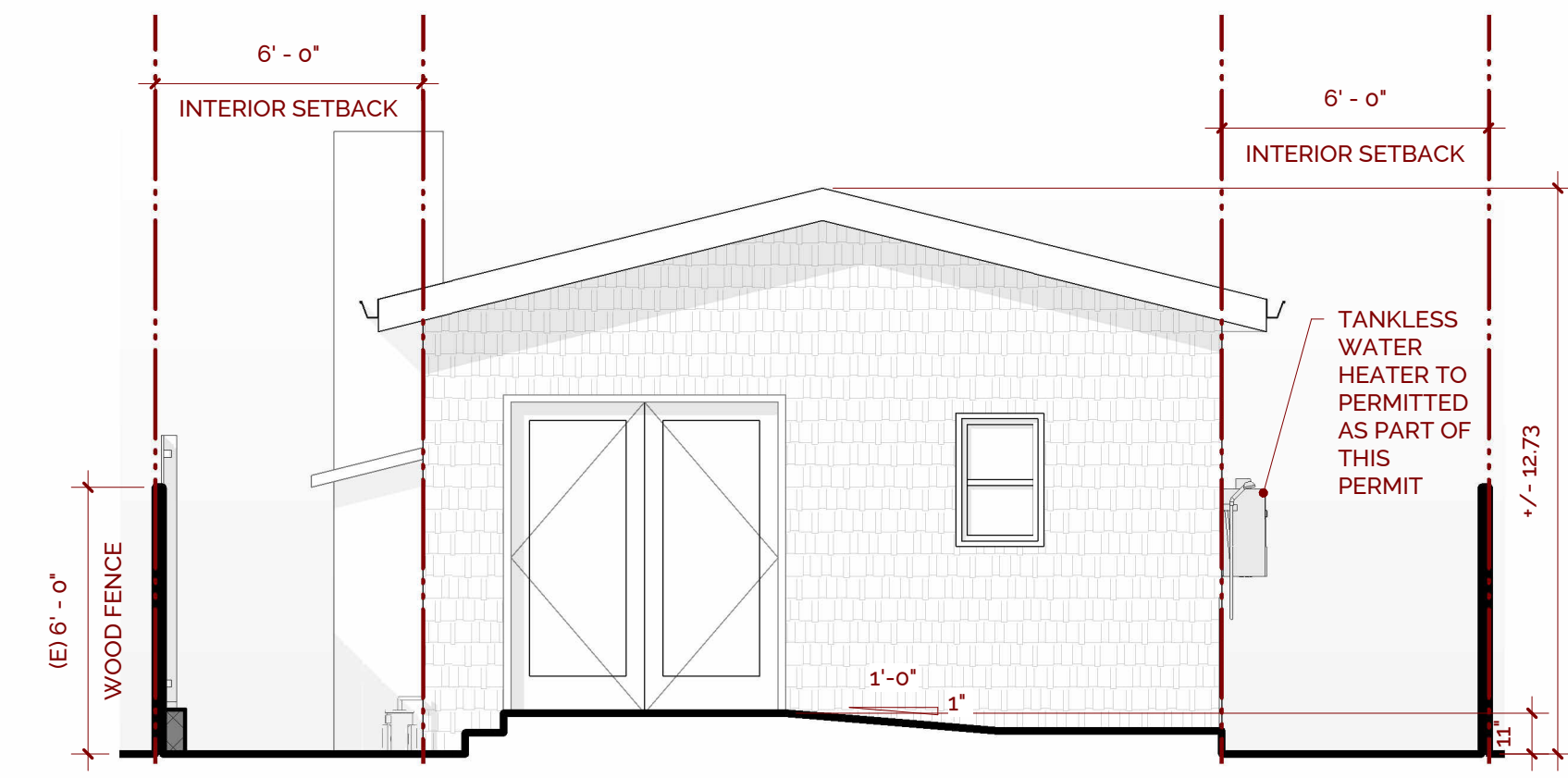
EXTERIOR ELEVATIONS

A2.00

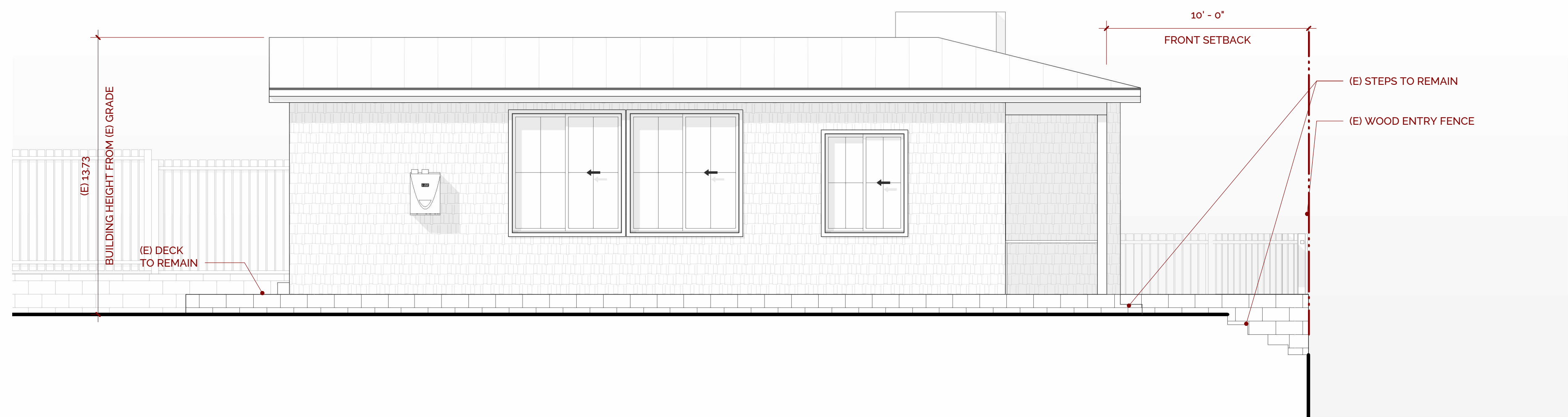
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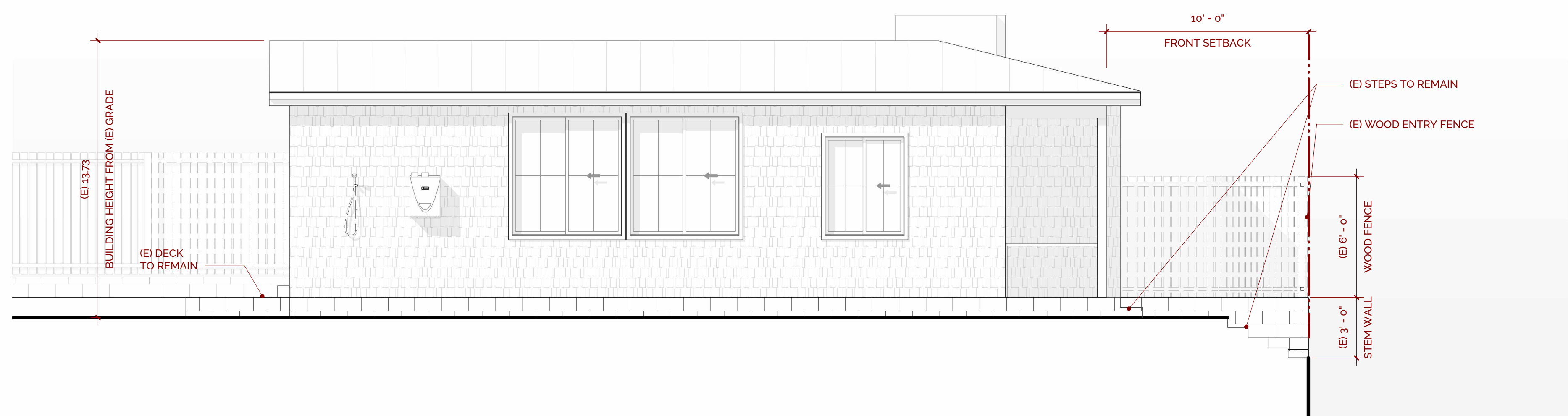
**4** PROPOSED SOUTHWEST ELEVATION  
SCALE: 1/4" = 1'-0"



**3** EXISTING SOUTHWEST ELEVATION  
SCALE: 1/4" = 1'-0"



**2** PROPOSED SOUTHEAST ELEVATION  
SCALE: 1/4" = 1'-0"



**1** EXISTING SOUTHEAST ELEVATION  
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

REVISION	DATE
3	03/19/24

03/19/24 REV 3

# 22015	PROJECT ADDRESS MAS UI 81 LLC 21 E. CANON PERDIDO ST SANTA BARBARA, CA 93101
421 DE LA VINA ST	EXTERIOR ELEVATIONS
	A2.01

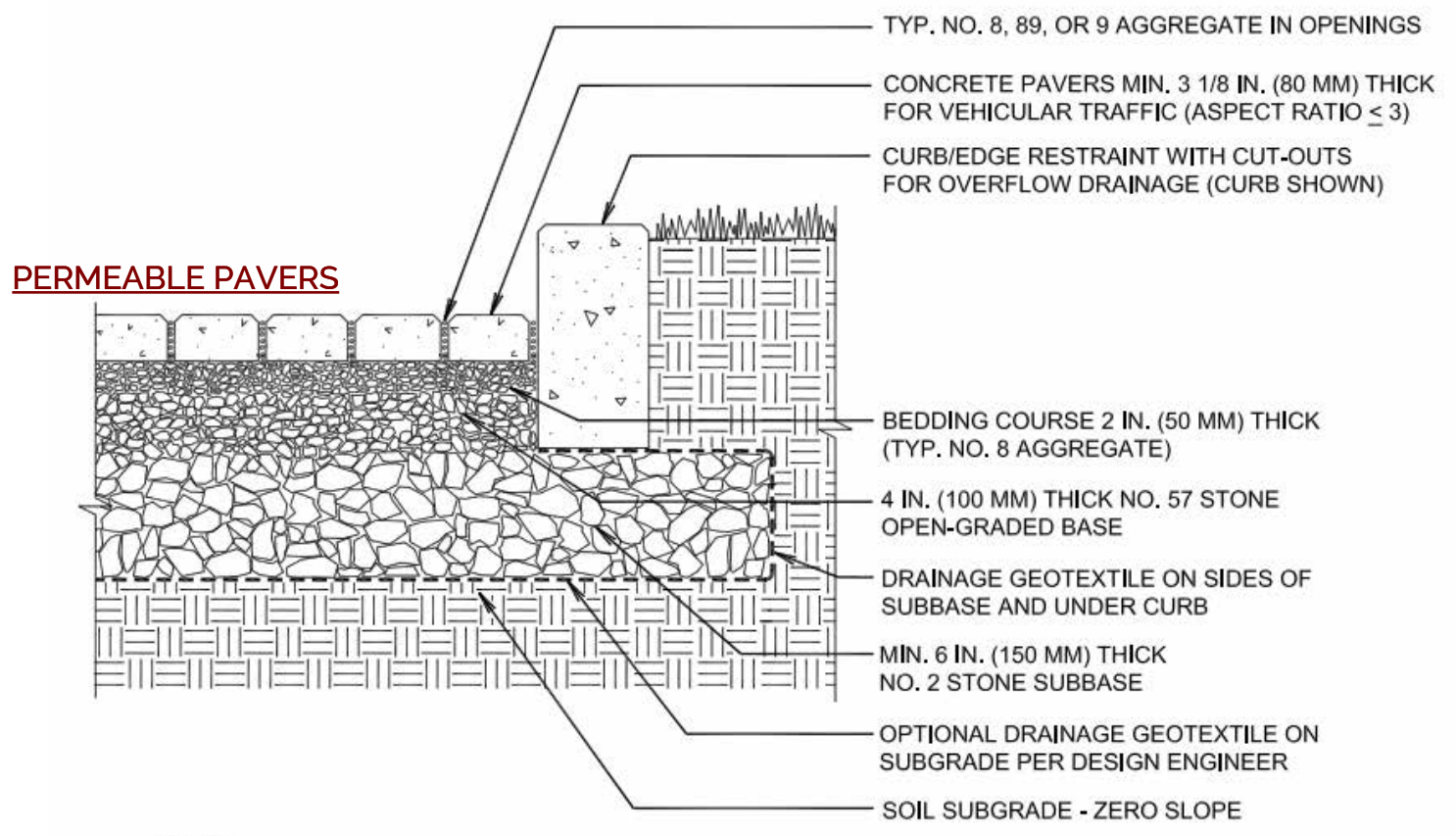
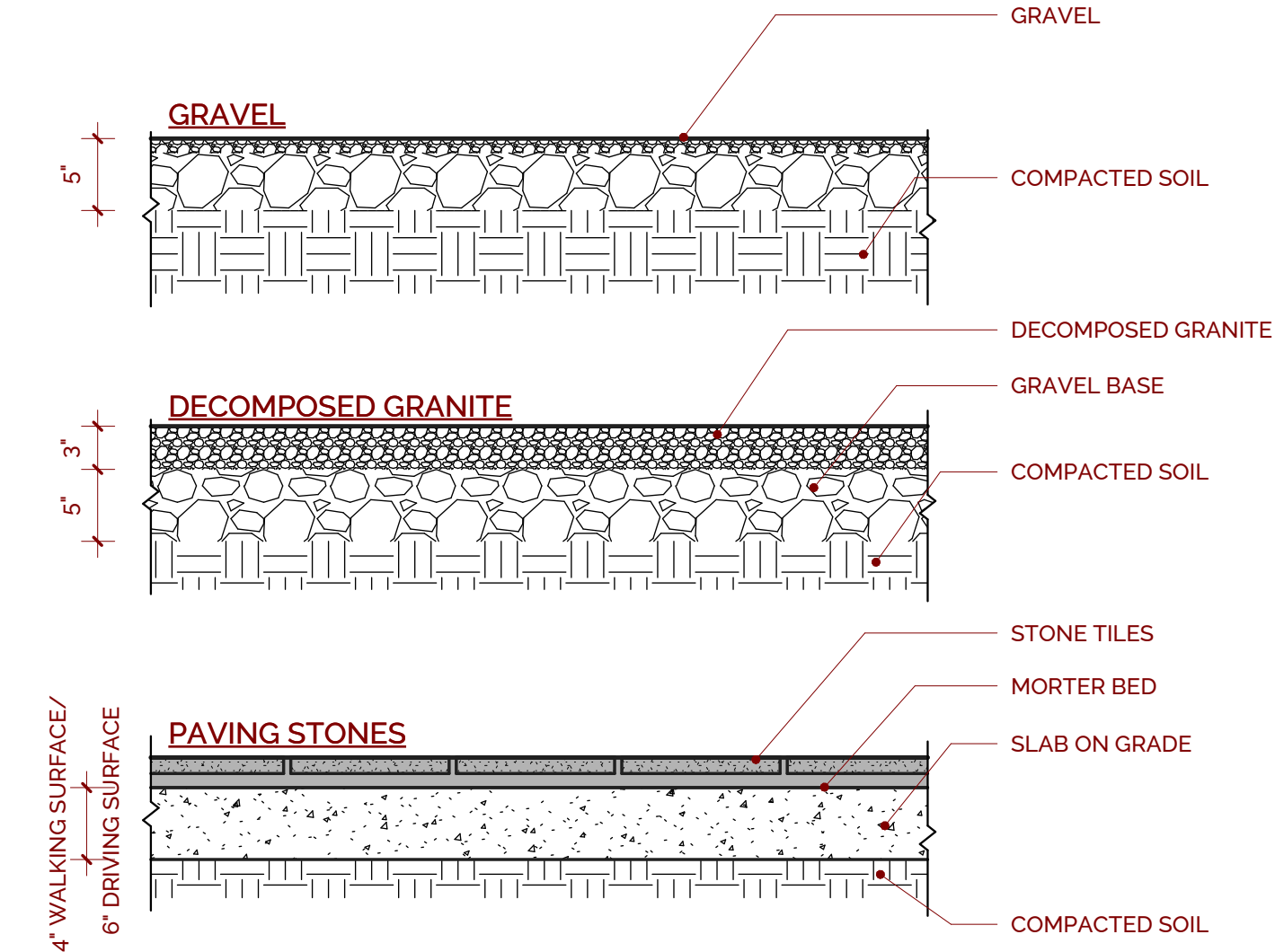
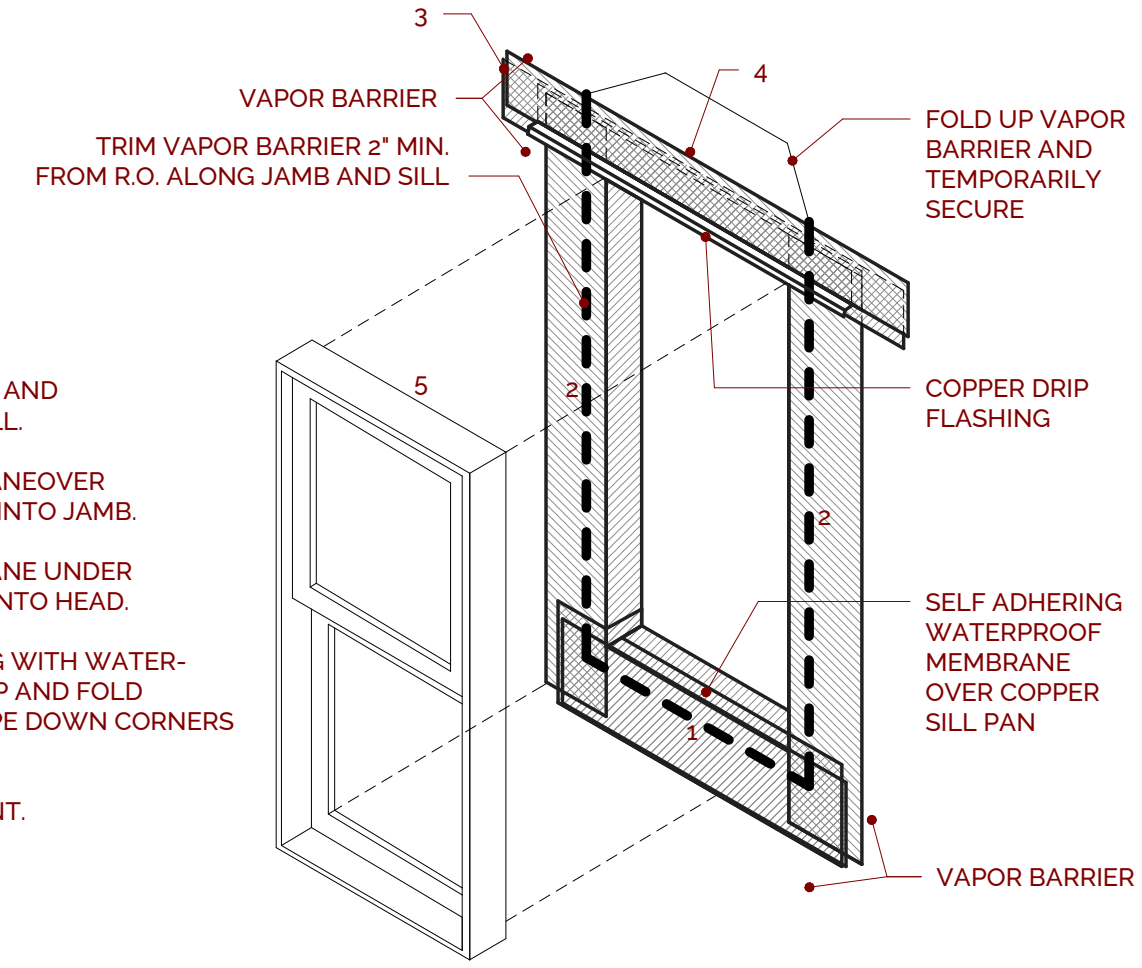
01

**WINDOW FLASHING DETAIL**

SCALE: 3/4" = 1'-0"

**FLASHING SEQUENCE**

1. INSTALL COPPER PAN FLASHING AND WATERPROOF MEMBRANE AT SILL.
2. INSTALL WATERPROOF MEMBRANE OVER VAPOR BARRIER AT JAMBS. WRAP INTO JAMB.
3. INSTALL WATERPROOF MEMBRANE UNDER VAPOR BARRIER AT HEAD; WRAP INTO HEAD.
4. INSTALL COPPER DRIP FLASHING WITH WATER-PROOF MEMBRANE OVER THE TOP AND FOLD DOWN VAPOR BARRIER OVER. TAPE DOWN CORNERS OF VAPOR BARRIER.
5. INSTALL WINDOW WITH SEALANT.

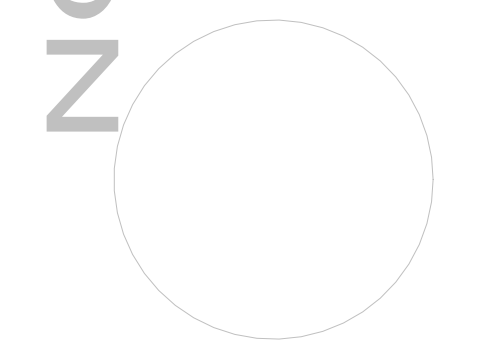


- NOTES:
1. 2 3/8 IN. (60 MM) THICK PAVERS MAY BE USED IN PEDESTRIAN AND RESIDENTIAL APPLICATIONS.
  2. NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT ICPI PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.
  3. NO. 2 STONE MAY BE SUBSTITUTED WITH NO. 3 OR NO. 4 STONE.
  4. SELECT GEOTEXTILE PER AASHTO M 288.

02

**SITE SURFACE DETAILS**

SCALE: 1" = 1'-0"



REVISION	DATE

# 22015	PROJECT ADDRESS MAS UI 81 LLC 422 DE LA VINA ST SANTA BARBARA, CA 93101
422 DE LA VINA ST	TYPICAL DETAILS
	A5.01