2221 OAK PARK LANE

GOVERNING AGENCIES

CITY BUILDING CONTACT:

630 GARDEN STREET

SANTA BARBARA, CALIFORNIA 93101 PHONE: (805) 564-5485

CITY PLANNING CONTACT:

639 GARDEN STREET

SANTA BARBARA, CALIFORNIA 93101

BEST MANAGEMENT PRACTICES FOR

CONSTRUCTION ACTIVITIES

ALL OF THE FOLLOWING MUST BE FOLLOWED

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, ARE DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- 2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR
- 3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- 4. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.
- 5. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL
- 6. SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- 7. ANY SLOPE WITH DISTURBED SOILS OR DEMANDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

PART 1 - 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE

PART 2 - 2022 CALIFORNIA BUILDING CODE

PART 2.5 - 2022 CALIFORNIA RESIDENTIAL CODE (CRC)

PART 3 - 2022 CALIFORNIA ELECTRICAL CODE

PART 4 - 2022 CALIFORNIA MECHANICAL CODE

PART 5 - 2022 CALIFORNIA PLUMBING CODE PART 6 - 2022 CALIFORNIA ENERGY CODE

PART 1 - VACANT - FORMERLY CALIFORNIA ELEVATOR SAFETY

CONSTRUCTION CODE

PART 8 - 2022 CALIFORNIA HISTORICAL BUILDING CODE

PART 9 - 2022 CALIFORNIA FIRE CODE

PART 10 - 2022 CALIFORNIA EXISTING BUILDING CODE

PART 11 - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)

PART 12 - 2022 CALIFORNIA REFERENCED STANDARDS CODE 2022 TILE 24, CALIFORNIA CODE OF REGULATION (CCR)

1997 UNIFORM HOUSING CODE

1991 UNIFORM CODE FOR THE ABATEMENT OF DANGEROUS BUILDINGS.

NATIONAL ELECTRIC CODE

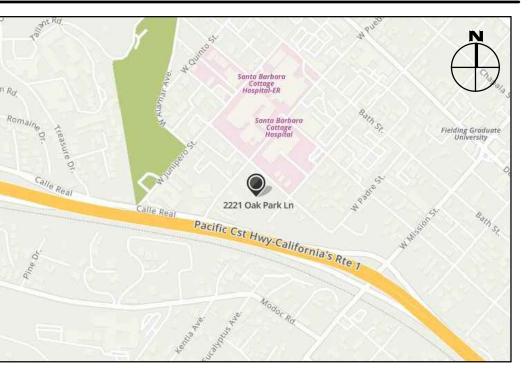
FEDERAL - AMERICANS WITH DISABILITIES ACT FEDERAL - OSHA

COUNTY ORDINANCES

COUNTY AIR POLLUTION CONTROL DISTRICT REQUIREMENTS

CITY ORDINANCE #5919

VICINITY MAP



PROJECT INFORMATION

OWNER:

VALERIE SKOWRON 3613 SUNSET LANE OXNARD, CA 93035

PROJECT ADDRESS: 2221 OAK PARK LANE SANTA BARBARA, CA 93105

ARCHITECT: TOM OCHENER ARCHITECT, AIA 1847 STATE ST.

> SANTA BARBARA, CA 93101 PHONE: (805) 170-7576 CELL: (805) 705-6558

SHEET INDEX

COVER SHEET, SITE PLAN

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T-1.3 2022 GREEN BULDING STANDARDS

2022 GREEN BULDING STANDARDS

PHOTO BOARD

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EXISTING/DEMO IST & 2ND FLOOR PLANS PROPOSED IST FLOOR PLAN

PROPOSED 2ND FLOOR PLAN

ROOF PLAN EXISTING ELEVATIONS

PROPOSED ELEVATIONS

PROPOSED ELEVATIONS DOOR SCHEDULE

WINDOW SCHEDULE

DETAILS

ELECTRICAL NOTES, SYMBOLS, SCHEDULES AND DETAILS

RESIDENTIAL T-24 FORMS ELECTRICAL SITE PLAN E-1.0

ELECTRICAL PLANS

ENLARGED UNITS POWER AND LIGHTING PLANS

PROJECT DESCRIPTION

UPGRADES TO ALL UNITS:

 REPLACE EXISTING ELECTRIC WALL HEATERS WITH NEW MINI-SPLITS, SEPARATE CONDENSER FOR EACH UNIT.

NEW ROMEX WIRING

 NEW ELECTRICAL SERVICE WITH SUB-METERS FOR EACH UNIT AND A METER FOR THE LAUNDRY ROOM.

NEW ELECTRICAL HEAT PUMP WATER HEATERS.

NEW FIXTURES AT EXISTING LOCATIONS.

NEW 4" CAN LIGHTING IN KITCHENS.

NEW APPLIANCES.

NEW KITCHEN CABINETS AND COUNTERS.

• NEW TUB/SHOWER COMBO IN BATHROOMS

DRYWALL, INSULATION, AND WINDOWS/DOORS.

NEW PVC MEMBRANE ROOFING MATERIAL (EXISTING ROOF STRUCTURE

TO REMAIN). REPAIR EXISTING EXTERIOR STAIR TREADS WITH NEW. REPAIR EXISTING EXTERIOR GUARDRAILS WITH NEW ADDITIONAL WORK TO UNIT *9: REPAIR FIRE DAMAGE WITH NEW

BUILDING JUSTIFICATION:

OWNER:

025-160-008

JOB ADDRESS: 2221 OAK PARK LANE

SANTA BARBARA, CA 93105

VALERIE SKOWRON 3613 SUNSET LANE

OXNARD, CA 93035

ZONE: R-M

OCCUPANCY TYPE: **R**-3

LOT SIZE: 29 ACRES

TYPE OF CONSTRUCTION:

HIGH FIRE AREA:

YES (UNDER SEPARATE PERMIT) SPRINKLERS:

SQUARE FOOTAGE:

EXISTING:	NET	GROSS
(E) IST FLOOR APARTMENT:	3,080 SQ. F	T. 3,167 SQ. FT.
(E) 2ND FLOOR APARTMENT:	3,304 SQ. F	T. 3,396 SQ. FT.
(E) ATTACHED CARPORT:	531 SQ. F	T. 543 SQ. FT.
(E) DETACHED CARPORT:	1,080 SQ. F	T. 1,102 SQ. FT.

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Thomas

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CLIENT

VALERIE SKOWRON 2221 OAK PARK LANE

SANTA BARBARA, CA 93105

PROJECT

2221 OAK PARK

SHEET TITLE

COVER SHEET

REVISIONS

PROJECT #

SHEET NO.

22210AKPARKLANE DATE DRAWN

T-1.*0*

SUBCONTRACTOR SHALL BE RESPONSIBLE FOR INCLUSION OF FULL CONSTRUCTION DOCUMENTS WITHIN ACCEPTED BID.

DIY Ø GENERAL

ØØI DIMENSIONS:

- A. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUD OR CONCRETE (CMU) UNLESS A CENTERLINE/GRIDLINE IS INDICATED, WHICH WILL THEN INDICATE THE DIMENSION IS TO CENTER OF ELEMENT. (COLUMN, WALL, STUD, ETC...).
- B. EXTERIOR PLAN DIMENSIONS ARE TO FACE OF FOUNDATION UNLESS A CENTERLINE OR GRIDLINE IS INDICATED, WHICH WILL THEN INDICATE THE DIMENSION IS CENTER OF ELEMENT. SEE EXTERIOR DETAILS FOR ADDITIONAL INFO.
- C. DOOR AND CASED OPENINGS WITHOUT LOCATION DIMENSIONS ARE FOUR & ONE-HALF (4 1/2) INCHES FROM FACE OF ADJACENT PARTITION OR CENTERED BETWEEN PARTITIONS (UON).
- D. ALIGNMENT TAKES PRECEDENCE OVER DIMENSIONS. VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION
- E. EXTERIOR WINDOWS ARE DIMENSIONED TO CENTERLINE OF WINDOW, SIZE AS INDICATED ON WINDOW SCHEDULE & PER MFR SPECS. SUBCONTRACTOR SHALL DETERMINE WINDOW ROUGH OPENING REQUIREMENTS.
- F. DO NOT SCALE DRAWINGS NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND PRIOR TO FABRICATION AND CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO SECURE ALL REQUIRED DIMENSIONS.
- G. CONTRACTOR & SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR INTERPRETATION AND OR CORRECTIONS PRIOR TO INSTALLATION. COST OF CORRECTING WORK BASED ON MISINTERPRETATION BY CONTRACTOR OR UNREPORTED DIMENSIONAL DISCREPANCIES SHALL BE BORNE BY THE CONTRACTOR.
- H. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE ON THE DRAWINGS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. DIMENSIONS GOVERN MEASUREMENTS.

Ø.Ø2 CODES

- A. ALL WORK SHALL CONFORM TO CURRENT APPLICABLE BUILDING CODES AND LOCAL ORDINANCES AND REGULATIONS. IN CASE OF ANY CONFLICT WHERE SPECIFIED DOES NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. NOTIFY THE ARCHITECT OF ALL CONFLICTS. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION PRIOR TO CONSTRUCTION AT NO COST TO OWNER OR ARCHITECT.
- B. ONE (1) COPY OF THESE CODES AND REGULATIONS SHALL BE IN THE CONTRACTOR'S FIELD OFFICE DURING CONSTRUCTION.

0.03 ABBREVIATIONS & SYMBOLS

A. THROUGHOUT THE PLAN ARE ABBREVIATIONS & SYMBOLS WHICH ARE IN COMMON USE. THE LIST OF ABBREVIATIONS & SYMBOLS PROVIDED IS NOT INTENDED TO BE COMPLETE OR REPRESENTATIVE OF CONDITIONS OR MATERIALS ACTUALLY USED ON THE PROJECT. THE ARCHITECT WILL DEFINE THE INTENT OF ANY IN QUESTION. CONTRACTOR HALL BE FULLY RESPONSIBLE FOR UNDERSTANDING ALL ABBREVIATIONS & SYMBOLS.

0.04 ELEVATION DATUMS

A, CEILING HEIGHTS INDICATED ON THE REFLECTED CEILING HEIGHTS ARE FROM TOP OF SLAB/OR FINISH FLOOR TO FINISH CEILING U.O.N.

0.05 DEFINITIONS

- A. SUBCONTRACTOR & TRADE CONTRACTOR SHALL BE SYNONYMOUS
- B. GENERALLY ACCEPTED TRADE RELATED ITEMS THAT ARE IDENTIFIED AS CONTRACTOR SHALL BE SYNONYMOUS WITH SUBCONTRACTOR.
- C. CONSTRUCTION DOCUMENTS SHALL INCLUDE BUT NOT BE LIMITED TO: CONSTRUCTION DRAWINGS, SPECIFICATIONS, ADDENDUM AND BIDDING DOCUMENTS, SUPPLEMENTAL PROFESSIONAL REPORTS (E.G., SOILS REPORT, ACOUSTICAL REPORT), APPLICABLE BUILDING CODES (E.G., CALIFORNIA BUILDING CODE C.B.C., 2001)

DIVI GENERAL CONDITIONS

- THE ENTIRE WORK PROVIDED FOR HEREIN IS TO BE CONSTRUCTED AND FINISHED IN EVERY PART IN A GOOD AND SUBSTANTIAL MANNER IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, TO THE FULL INTENT OF THE SAME. ANY WORK REQUIRED BY LAW, BUT WHICH MAY NOT BE SPECIFICALLY MENTIONED BY LAW, SHALL BE DONE BY CONTRACTORS IN ACCORDANCE WITH THE LAWS OF THE COUNTY, DISTRICT, OR STATE UNDER WHICH JURISDICTION MAY COME AND COST SHALL BE BORNE BY CONTRACTORS. ANY SUCH WORK SHALL BE DONE IN CONFORMANCE WITH THE PLAN'S BOTH AS TO MANNER AND APPEARANCE. ALL WORK SHALL BE DONE IN ACCORDANCE WITH C.B.C., TITLE 24 AND AS REQUIRED BY THE LOCAL GOVERNING AGENCIES. IT SHALL BE FULLY THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH CODES AT NO ADDITIONAL EXPENSE TO OWNER OR ARCHITECT.
- THE DRAWINGS AND SPECIFICATIONS: THESE DRAWINGS COVER THE FURNISHING AND INSTALLATION OF ALL MATERIALS AND WORK AS CALLED FOR ON THE DRAWINGS OR IN THE SPECIFICATIONS (OR IN BOTH) WHICH ARE BOUND SEPARATELY AND ARE A PART OF THE CONTRACT. PRODUCT MANUFACTURER SPECS NOT DETAILED OR NOTED IN PLANS SHALL BE CONSIDERED PART OF THE CONSTRUCTION DOCUMENTS. CIVIL, LANDSCAPING, INTERIOR DESIGN, KITCHEN & LAUNDRY, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS PRIOR TO SUBMITTING THEIR BID AND BEFORE INSTALLATION OF THEIR WORK, ANY DISCREPANCY BETWEEN THE ARCHITECTURAL AND THE CONSULTING ENGINEER(S) DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BY WRITTEN REQUEST FOR CLARIFICATION. ANY WORK OMITTED OR INSTALLED IN CONFLICT WITH ARCHITECTURAL DRAWINGS SHALL BE PERFORMED OR CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- 103 SOLELY AS A CONVENIENCE TO THE OWNER, THE ARCHITECT MAY INCLUDE DOCUMENTS PREPARED BY CERTAIN CONSULTANTS (OR INCORPORATED THE RECOMMENDATIONS OF SAID CONSULTANTS IN DOCUMENTS PREPARED BY THE ARCHITECT) WITHIN THE SET OF DOCUMENTS ISSUED BY THE ARCHITECT BEING EXPRESSLY UNDERSTOOD THAT, BY SAID ISSUANCE, THE ARCHITECT ASSUMES NO LIABILITY FOR THE SERVICES OF SAID CONSULTANTS NOT UNDER CONTRACT TO THE ARCHITECT.
- 1.04 ALL SITE INFORMATION IS BELIEVED TO BE CORRECT, HOWEVER, IT IS FULLY SUBCONTRACTORS RESPONSIBILITY TO VERIFY ALL ACTUAL SITE CONDITIONS PRIOR TO SUBMITTING A BID. ALL RESPONSIBILITY IS BELIEVED TO BE CORRECT, HOWEVER IT IS ALL SUBCONTRACTORS RESPONSIBILITY TO INCLUDE CODE REQUIRED ITEMS NOT SIGNIFICALLY NOTED PRIOR TO BID.
- THE CONTRACTOR & SUBCONTRACTORS SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, SERVICES AND TRANSPORTATION REQUIRED TO FULLY CARRY OUT THE INTENTIONS OF THE PLANS AND SPECIFICATIONS AS PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED. THE CONTRACTOR SHALL PROVIDE EACH ITEM MENTIONED, INDICTED, OR IMPLIED TO ACHIEVE THE INTENDED BUILDING ACCORDING TO THE METHODS OF BEST CONSTRUCTION PRACTICE. THE ARCHITECT SHALL BE THE FINAL JUDGE AS TO THE QUALITY OF THE WORKMANSHIP, AND RESERVES THE RIGHT TO REJECT ANY WORK CONSIDERED INFERIOR.
- ALL MANUFACTURED EQUIPMENT AND MATERIALS ARE TO BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, AND ARE TO BE NEW. MANUFACTURER'S RECOMMENDATIONS SHALL BE CONSIDERED A PART OF THESE CONTRACT DOCUMENTS AS THOUGH INCLUDED HEREIN. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH MANUFACTURER SPECS. (WHETHER OR NOT INCLUDED WITHIN THE CONSTRUCTION DOCUMENTS).
- SUBCONTRACTOR SHALL BE RESPONSIBLE FOR KNOWLEDGE WITH TRADE & INTERFACING TRADES WITHIN CONSTRUCTION DOCUMENTS. CONFLICTS, DISCREPANCIES, OMISSIONS, SHALL BE CONVEYED IN WRITING TO ARCHITECT AND GENERAL CONTRACTOR PRIOR TO SUBMISSION OF BID DOCUMENTS. ARCHITECT SHALL BE GIVEN ADEQUATE RESPONSE TIME TO RESOLVE CONFLICTS, DISCREPANCIES, OMISSIONS. BID TIME MAY BE ADJUSTED BY OWNER SO SUBCONTRACTOR MAY PROPERLY BID ANY SAID CONFLICTS, DISCREPANCIES OR OMISSIONS.

DIV Ø GENERAL (continued)

- 108 CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR UNDERSTANDING THE INTENT &
 SPECIFIC REQUIREMENTS WITHIN THE CONSTRUCTION DOCUMENTS, IT SHALL BE
 THE CONTRACTORS RESPONSIBILITY TO NOTIFY ARCHITECT OF ANY ERRORS,
 OMISSIONS OR INCONSISTANCIES PRIOR TO CONSTRUCTION, CONTRACTOR SHALL
 BE RESPONSIBLE FOR RESOLUTION PRIOR TO BID SUBMITTAL.
- 1.09 SUB TRADES ARE WHOLLY RESPONSIBLE FOR UNDERSTANDING & INTEGRATING RELATED REQUIREMENTS WITHIN COMPLETE CONSTRUCTION DOCUMENT PACKAGE. CONTRACTOR, OWNER & ARCHITECT SHALL BE NOTIFIED PRIOR TO SUBMISSION OF BID DOCUMENTS WITH ANY CLARIFICATIONS & OR DISCREPANCIES.
- I.IO BUILDING PERMITS:
- A. THE OWNER SHALL OBTAIN THE ARHITECTURAL BUILDING PERMIT ONLY.
- I.II COORDINATION:
- A. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION WITH OTHER SUBCONTRACTORS TO ASSURE COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS, AND THE ACCURATE LOCATION OF STRUCTURAL MEMBERS AND OPENINGS FOR MECHANICAL, ELECTRICAL, STAIRS, ELEVATORS AND MISCELLANEOUS EQUIPMENT PRIOR TO SUBMISSION OF BID DOCUMENTS.
- B. SUBCONTRACTORS SHALL VERIFY SIZES & LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATION WITH EQUIPMENT MANUFACTURERS AND VERIFY CONFORMANCE WITHIN ARCHITECTURAL DOCUMENTATION BEFORE SUBMISSION OF BID DOCUMENTS & PROCEEDING WITH THE WORK, PROCEEDING WITHOUT VERIFICATION SHLL BE DONE SOLELY AT RISK OF SUB-CONTRACTOR.
- C. THE CONTRACTOR & SUBCONTRACTOR ARE REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.
- D. NO STRUCTURAL MEMBER SHALL BE CUT FOR PIPES, DUCTS, ETC., UNLESS SPECIFICALLY DETAILED.
- E. ALL COMBUSTIBLES CONSISTING OF BOXES, SCRAP LUMBER, ETC., ON THE CONSTRUCTION SITE SHALL BE CLEANED UP AND DISPOSED OF IN AN APPROVED MANNER ON A DAILY BASIS.
- 1,12 INSPECTIONS AND CERTIFICATES OF COMPLIANCE
 - A. CONTRACTOR SHALL INFORM THE FIRE DEPARTMENT OF THE REQUIRED FINAL INSPECTION AND SCHEDULE SUCH INSPECTION 24 HRS. IN ADVANCE.
 - B. THE CONTRACTOR SHALL SIGN AND SUBMIT TO THE DEPARTMENT OF BUILDING AND SAFETY A "CERTIFICATE OF COMPLIANCE" STATING THAT THE WORK HAS BEEN PERFORMED AND MATERIALS INSTALLED ACCORDING TO THE PLANS AND SPECIFICATIONS AFFECTING NON-RESIDENTIAL ENERGY.
- 1.13 MISCELLANEOUS
- A. CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION AS REQUIRED IN C.B.C. & LOCAL AGENCIES
- B. THE CONTRACTOR SHALL COMPLY WITH REQUIREMENTS FOR THE STORAGE AND HANDLING OF HAZARDOUS MATERIALS AS REQUIRED BY LOCAL ORDINANCE
- C. CONTRACTOR SHALL INCLUDE COST FOR ALL REQUIRED STAKING.

DIV 2 SITEWORK

2.01 SEE CIVIL DRAWINGS FOR LOCATION OF BUILDING WORKING POINTS, ROUGH GRADING, ON-SITE UTILITIES, SITE IMPROVEMENTS, SITE RETAINING WALLS & SPECIFIC GENERAL NOTES. THE SOILS REPORT & CIVIL DRAWINGS SHALL OVERRIDE CONFLICTS WITH SITEWORK NOTE HEREIN. PRIOR TO SUBMISSION OF BID & CONSTRUCTION, CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES. ARCHITECT SHALL BE GIVEN REASONABLE TIME TO CORRECT (& PROCESS IF REQUIRED) ANY DISCREPANCIES.

2.02 EXCAVATION / GRADING REQUIREMENTS:

- A. THE GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT SHALL BE NOTIFIED BY THE CONTRACTOR AND OWNER THAT GRADING IS TO COMMENCE AND MAKE ALL NECESSARY ARRANGEMENT FOR FIELD INSPECTOR.
- B. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
- C. ALL BUILDING AREAS SHALL BE EXCAVATED AND
- RECOMPACTED IN ACCORDANCE WITH THE C.B.C.
- D. SOIL EXCAVATION AND RECOMPACTION SHALL BE DONE UNDER THE SUPERVISION OF A REGISTERED SOILS ENGINEER, ALL DENSITIES, MOISTURE CONTENT AND TESTING SHALL BE APPROVED BY THE PROJECT SOILS ENGINEER PRIOR TO APPLYING THE FINISH SURFACES INDICATED ON THE DRAWINGS. ONE COPY OF ALL CERTIFICATION AND TESTS SHALL BE SENT TO THE ARCHITECT.
- E. PRIOR TO EXCAVATION, A THOROUGH SEARCH SHALL BE MADE FOR UNDERGROUND UTILITIES AND STRUCTURES, ETC., WITHIN THE BUILDING SITE.
- F. DAMAGE TO ANY ADJACENT PROPERTY, STREETS AND THE LIKE CAUSED BY OPERATIONS OF THIS SECTION SHALL BE RESTORED TO ORIGINAL CONDITION WITHOUT ADDITIONAL COST OR LIABILITY TO THE OWNER.

2.04 SITE UTILITIES

- A. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN...
- B. THE CONTRACTOR SHALL LOCATE ALL UTILITY CONNECTIONS WITHIN 5 FT. OF THE OF THE BUILDING LINE, AND PROTECT UNTIL ALL CONNECTIONS AND TESTING ARE COMPLETED.
- C. ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.

A. ALL CONCRETE SIDEWALKS SHALL SLOPE TO DRAIN AWAY FROM DOORS

- AND FACE OF BUILDING PER C.B.C.
- B. ALL CONCRETE WALKS SHALL HAVE A MEDIUM BROOM FINISH U.O.N. ON THE DUGS.

DIV 3 CONCRETE

- 301 SEE STRUCTURAL DRAWINGS FOR STRUCTURAL CONCRETE REQUIREMENTS 302 SEE FOUNDATION PLAN FOR SLAB DIMENSIONS, DEPRESSIONS.
- 3.03 CONCRETE FINISHING

 A. TROWEL AND RETROWEL SLAB FOR SMOOTH FINISH WITH NO
 TROWEL MARKS SHOWING WHEREVER CONCRETE FLOOR IS
 EXPOSED
- B. INTERIOR CONCRETE SLABS SHALL BE POURED LEVEL (UNLESS OTHERWISE INDICATED) 1/8" TOLERANCE ON A 10'-0" EDGE IN ANY GIVEN DIRECTION.
- 3.04 CRACK ISOLATION JOINT (COLD JOINT & OR SAW-CUT) SHALL BE DIRECTED BY THE STRUCTURAL ENGINEER. REFER TO STRUCTURAL DRAWINGS.

DIV6 WOOD + PLASTICS NOTES

- ALL WOOD ON DRAWINGS NOTED TO BE FIRE-TREATED SHALL BE FIRE RETARDANT WOOD, PER C.B.C. REQUIREMENTS FOR FIRE-TREATED
- 602 THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL BOLTS, NAILS, FRAMING CLIPS, WASHERS, PLATES, HANGERS, ETC., FOR A COMPLETE INSTALLATION WHETHER OR NOT SPECIFIED OR INDICATED ON THE
- 6.03 WOOD BLOCKING
 - A. ALL WOOD FIRE BLOCKING TO COMPLY WITH C.B.C. STANDARDS FOR FIRE BLOCKING.
- B. PROVIDE WOOD BLOCKING FOR MILLWORK, WOOD WINDOW AND DOOR JAMBS
- 604 SCARF JOINT ALL EXPOSED CONTINUOUS WOOD TRIM MEMBERS 45 DEGREES. DO NOT BUTT JOINT, NAIL OR SCREW PER INDUSTRY STANDARDS.

DIV 6 WOOD + PLASTICS NOTES (continued)

- 6.05 WOOD STUDS SHALL BE 2×4 € 16 ° O.C. UNLESS NOTED OTHERWISE.
- 6.06 AS DEFINED WITHIN THE C.B.C., FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL MAX 10'-0' O.C.) AND SHALL FORM AN EFFECTIVE BARRIER AND SHALL BE USED AS IDENTIFIED WITH IN THE C.B.C.

6.01 DRAFTSTOPPING PER C.B.C.

- 6.08 ALL INTERIOR STAIR STRINGERS SHALL HAVE 3" OFFSET SPACERS TO ALLOW FOR GYP BD. INCREASE SPACING IF SHEAR WALLS ARE SCHEDULED.
- 6.09 ALL FRAMING CONDITIONS TO RECEIVE FINISH MATERIALS SHALL HAVE BACKER BOARDS INSTALLED AT ALL TRANSITION EDGES (E.G., STAIR STRINGER TO WALL, SOFFIT TO WALL, ETC.,...)
- 6.10 PROVIDE 2×8 BLOCKING FOR WALL ACCESSORY BARS AND HANGERS.
- 6.11 PRIOR TO ROUGH FRAMING, CONTRACTOR SHALL VERIFY THAT FINISH WILL ACCOMODATE SELECTED BUILT-IN CABINETS.
- 6.12 PRIOR TO INSTALLATION OF GWB., ALL STUDWALLS SHALL BE PLUMBED,
- FURRED, TRIMMED, AND STRAIGHTENED TO WITHIN 1/8" PER 10'-0".

 6.13 U.O.N. ALL SUBFLOORS SHALL BE 1 1/8" x 4' x 8' EXP 1 T&G PLY (48" O.C. SPAN RATING). GLUED & SCREWED (SIZE & SPACING PER STRUCTURAL)

 THIS NOTE SUPERCEDES CONFLICT WITHIN STRUCTURAL DOCUMENTS.

DIV 7 THERMAL + MOISTURE NOTES

- 1.01 WATERPROOFING
 A. SUBCONTRACTOR TO WATERPROOF MASONRY/CONCRETE AND CONCRETE PLANTER WALLS, RETAINING WALLS
- 7.02 BUILDING INSULATION
- A. SEE WALL SECTIONS AND DETAILS & T-24 FOR BUILDING THERMAL INSULATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- B. ALL INSULATION USED IN THE BUILDING SHALL COMPLY WITH C.B.C. STANDARDS. INSULATION SHALL BE NON-COMBUSTABLE.
- C. PROVIDE ACOUSTICAL INSULATION AT WALLS/FLOORS/CEILING OF LAUNDRY ROOM, POWDER ROOM, BEDROOMS AND ALL OTHER PRIVATE TO PUBLIC SPACES. ARCHITECT SHALL MAKE FINAL DETERMINATION. IF QUESTIONS PRIOR TO BIDDING, CONTRACTOR SHALL SUBMIT WRITTEN REQUEST TO ARCHITECT FOR CLARIFICATION OF SPECIFIC ROOM REQUIREMENTS.
- E. INSULATE THE FOLLOWING: EXTERIOR WALLS, BETWEEN
 JAMBS AND FRAMING, CEILINGS WITH COLD AREAS ABOVE
 ATTIC ACCESS PANEL, KNEE WALLS ADJACENT TO HEATED
 SPACE, BETWEEN COMBINATION RAFTER AND CEILING JOIST
- F. WALLS TO BE A MINIMUM OF R-13 UNLESS OTHERWISE NOTED. (REFER TO TITLE 24 ENERGY CALCS)
- G. CEILINGS AT SLOPED OR FLAT ROOFS TO BE A MINIMUM OF R-19 UNLESS OTHERWISE NOTED. (REFER TO TITLE 24 ENERGY

04 ROOFING

- A. CONTRACTOR TO VERIFY THAT ROOF DRAINAGE SHOWN ON PLANS PROVIDE POSITIVE ROOF DRAINAGE AND THAT THEY CONFORM TO MINIMUM DRAINAGE STANDARDS PRIOR TO ROOFING.
- B. ALL ROOFING SHALL COMPLY WITH CH 15, CURRENT EDITION OF C.B.C., MFRS. SPECS. AND REQUIREMENTS.
- C. PROVIDE UNDERLAYMENT PER CH 15, CURRENT EDITION OF C.B.C., MFRS. SPECS. AND REQUIREMENTS.
- D. ROOFING CONTRACTOR(S) SHALL PROVIDE A FULL NON-PRORATED 10
 YEAR WARRANTY COVERING ALL DAMAGE \$/OR DEFECTIVE PARTS \$
- E. ROOFING CONTRACTOR/MFR SHALL PROVIDE MINIMUM 40 YEAR WARRANTY ON DIMENSIONAL COMP. SHINGLE ROOF.
- F. ROOFING CONTRACTORMER SHALL PROVIDE MIN 20 YEAR WARRANTY
- ON ALL LOW SLOPE ROOFING.

 1. LOW SLOPE ROOFS SHALL BE MODIFIED BITUMEN

7.05 WEATHERPROOFING

- A. ALL EXTERIOR WALL OPENINGS, FLASHING, COUNTERFLASHING AND EXPANSION JOINTS SHALL BE CONSTRUCTED IN SUCH A MANNER TO MAKE THEM WEATHERPROOF. THE JUNCTION OF THE ROOF AND VERTICAL SURFACES SHALL BE FLASHED AND COUNTERFLASHED IN A MANNER TO MAKE THEM WATERPROOF.
- B. ALL OPEN JOINTS IN THE BUILDING EXTERIOR AROUND CONDITIONED SPACES SHALL BE SEALED, CAULKED, GASKETED, OR WEATHER STRIPPED TO ELIMINATE AIR LEAKAGE.
- C. PROVIDE A MINIMUM OF 15 LB. FELT AS MOISTURE PROTECTION BEHIND EXTERIOR FINISHES AND TRIM. FELTS TO BE NON-ORGANIC. (TWO LAYERS REQUIRED AT ALL SHEAR/SHEATHING LOCATIONS) REFER TO DETAILS FOR ADDITIONAL REQUIREMENTS.
- D. ALL FLASHING, COUNTERFLASHING, AND COPING WHEN VISUALLY EXPOSED SHALL BE G.I., MIN THICKNESS PER C.B.C. ALL CONCEALED FLASHING, COUNTERFLASHING AND COPING WHEN OF METAL SHALL BE NO LESS THAN 24 GA GALY IRON (U.O.N.)
- E. DISSIMILAR METALS SUBJECT TO GALVANIC ACTION SHALL BE SEPARATED AND PROTECTED.
- F. FLASH AND COUNTERFLASH ALL ROOF TO WALL CONDITIONS. KERF CUT, FLASH AND CAULK WOOD BEAMS AND OUTLOOKERS PROJECTING THROUGH EXTERIOR WALLS OR ROOF SURFACES.
- G. FLASH ALL EXTERIOR OPENINGS WITH APPROVED WATERPROOFING,

WHICH CONFORMS TO STANDARD LOCAL AND STATE CODES.

- H. PROVIDE FLASHING AND COUNTERFLASHING (WHEN REQUIRED) AND TERMINATE ROOFING TO INSURE NO LEAKAGE OCCURS AT ALL ROOF PENETRATIONS. VALLEY FLASHING SHALL BE PROVIDED OF NO LESS THAN NO. 24 GAUGE GALVANIZED IRON (U.N.O.) AND SHALL EXTEND AT LEAST 12 INCHES FROM THE CENTERLINE EACH WAY AND SHALL HAVE A SPLASH DIVERTED RIB NOT LESS THAN I INCH HIGH AT THE FLOW LINE FORMED AS PART OF THE FLASHING. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN FOUR INCHES.
- I. AT HORIZONTAL & NON-VERTICAL CONDITIONS TO RECEIVE P.C. PLASTER, PREP WITH EXPANDED DIAMOND LATH AND 2 LAYER BITUTHENE 'OR EQUAL' SELF ADHESIVE WATERPROOF MEMBRANE. (NOTE: HORIZONTAL SURFACE(S) SHALL MAINTAIN A MINIMUM 5% POSITIVE SLOPE AT THE FRAMING TO ENSURE
- PROPER DRAINAGE.)

 J. SHOWER PAN MEMBRANES SHALL BE "NOBLE-CHLORALOY 240"

 {(CPE) CHLORINATED POLYETHYLENE SHEET MEMBRANE)} OR EQUAL.
 INSTALL PER C.B.C. & MFR SPECIFICATIONS.
- K. ALL FLASHING/COUNTERFLASHING SHALL COMPLY WITH S.M.A.C.H.A. STANDARDS.

_ SHOWER WALLS SHALL BE WATERPROOFED WITH "NOBLE-WALL SEAL"

- OR EQUAL. INSTALL PER C.B.C. & MFR SPECIFICATIONS.

 1.06 ATTIC VENTILATION: ENCLOSED ATTIC SPACES AND ENCLOSED ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATED SPACE BY VENTILATING OPENINGS
- PROTECTED AGAINST ENTRANCE OF RAIN.

 101 NON-VERTICAL WALL WATER PROOFING
- A. ALL NON-VERTICAL P.C. WALL SURFACES SHALL HAVE 3 LAYER P.C. PLASTER OVER EXPANDED DIAMOND LATH OVER MIN 2 LAYER BITUTHENE (OR APPROVED EQUAL).
- B. NON-VERTICAL SIDING SURFACE SHALL HAVE BASE SELF-ADHESIVE WATERPROOFING * MFR (OR ARCHITECT) SPECIFIED VAOPR BARRIER

A. ALL SEALANTS SHALL BE RATED MINIMUM 40 YEAR (FOR

THE SPECIFIC APPLICATION THE SEALANT IS BEING

DIV8 DOORS + WINDOWS NOTES

801 SEE DOOR SCHEDULE FOR HARDWARE GROUPS FOR EACH DOOR. SEE SPECIFICATIONS FOR HARDWARE SPECIFICATIONS OF HARDWARE GROUPS. IF NON SPECIFIED, CONTRACTOR SHALL SUBMIT SPECS TO ARCHITECT FOR REVIEW & APPROVAL PRIOR TO SUBMITTAL OF BID DOCUMENTS

8.02 DOORS AND FRAMES

- A. ALL WOOD DOORS RATED AND NON RATED SHALL HAVE STRAIGHT GRAIN, FREE OF ALL DEFECTS OR KNOTS AND SHALL BE BACK PRIMED AND PAINTED, STAINED, & FINISHED AS SCHEDULED.
- B. EXTERIOR DOORS STOPS OF IN-SWINGING DOORS SHALL BE ONE-PIECE CONSTRUCTION WITH THE JAMB STOP BY RABBETED TO THE JAMB.
- A. ALL DOOR HARDWARE, SPECIALTY HARDWARE, FINISH AND SMOKE RATED ASSEMBLIES SHALL BE FIRE MARSHALL APPROVED AS REQUIRED BY GOVERNING AGENCY CODES.
- B. ALL NON ACCESSIBLE DOOR THRESHOLDS (WHERE OCCURS WITHOUT A STEP)
 SHALL NOT EXCEED HEIGHT PER C.B.C. FROM TOP OF THRESHOLD TO FLOOR
 FINISH BOTH SIDES (U.O.N.).
- C. ALL JAMBS SHALL BE SOLID SHIMED FOR SUPPORT AT HINGES & STRIKES.
- 804 SWINGING EXTERIOR GLASS DOORS, METAL OR WOOD DOORS WITH GLASS PANELS, SOLID WOOD OR METAL DOORS SHALL BE CONSTRUCTED OR PROTECTED AS FOLLOWS:

D. FOR DOOR HARDWARE GROUPS, REFER TO SCHEDULE.

- A. ANY GLAZING UTILIZED WITHIN 24" OF ANY DOOR JAMB SHALL BE CONSTRUCTED OR PROTECTED AS FOLLOWS: FULLY TEMPERED GLASS 8.05 AIR INFILTRATION AT WINDOWS AND DOORS
- A. FOR OPENABLE EXTERIOR DOORS (REQUIRED STEEL FIRE-RATED DOORS ARE EXEMPT FROM THESE REQUIREMENTS), AIR INFILTRATION SHALL BE MITIGATED BY FOLLOWING THESE CONSTRUCTION REQUIREMENTS:
- 1. DOOR HEADS, SILLS, AND JAMBS SHALL HAVE CONTINUOUS SEALS AS REQUIRED TO ELIMINATE AIR INFILTRATION.

 2. A CONTINUOUS ANGLE SEALED GASKET OR WEATHERSTRIPPING SHALL BE
- 2. A CONTINUOUS ANGLE, SEALED GASKET OR WEATHERSTRIPPING SHALL BE USED WITH DOORS REQUIRING VERTICAL TRACTS OR GUIDES (E.G., ROLLING INDUSTRIAL DOORS).
- A CONTINUOUS SEAL OR BAFFLE SHALL BE INSTALLED AT EACH DOOR.
 ALL SWING DOORS AND WINDOWS OPENING TO THE EXTERIOR OR TO UNCONDITIONED AREAS SHALL BE FULLY WEATHERSTRIPPED, GASKETED, OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION.

8.06 WINDOWS

- A. ALL MOVABLE WINDOWS SHALL BE EQUIPPED WITH A LOCKING DEVICE AND SHALL BE CONSTRUCTED IN A FASHION TO RESTRICT THEM FROM BEING LIFTED OUT OF ITS TRACK WHEN IN CLOSED POSITION.
- B. ALL MOVABLE WINDOWS SHALL BE FITTED W/ REMOVABLE SCREEN ASSEMBLIES.

07 GLAZING

- A. ALL GLASS AND GLAZING SHALL CONFORM TO CHAPTER 24 & HIGH FIRE REQUIREMENTS OF THE C.B.C. & LOCAL CODES.
- B. IN LOCATIONS WHICH MAY BE SUBJECT TO HUMAN IMPACT, SUCH AS FRAMELESS GLASS DOORS, GLASS ENTRANCE/EXIT DOORS, SHOWER DOORS, TUB ENCLOSURES, AND STORM DOORS, GLAZING SHALL MEET THE REQUIREMENTS SET FORTH IN THE CALIFORNIA BUILDING CODE.
- C. ALL GLASS DOORS AND FIXED GLASS LESS THAN 18' ABOVE THE FLOOR LINE SHALL BE APPROVED SAFETY OR TEMPERED GLASS.
- D. ALL EXTERIOR GLAZING WITHIN "HIGH FIRE DESIGNATED AREAS SHALL BE DUAL-GLAZED, TEMPERED ON EXTERIOR SIDE.

DIV 9 FINISHES NOTES

SEE INTERIOR ELEVATIONS, REFLECTED CEILING PLANS, ROOM FINISH GROUPS AND ROOM FINISH SCHEDULE FOR WALL, CEILING AND FLOOR FINISHES.

I EXPOSED FOLIPMENT

- 9.01 EXPOSED EQUIPMENT

 A. THERE SHALL BE NO EXPOSED PIPE, CONDUITS, DUCTS, VENTS, AND THE LIKE.

 ALL SUCH LINES SHALL BE CONCEALED OR FURRED AND FINISHED, UNLESS
- NOTED AS EXPOSED CONSTRUCTION ON DRAWINGS.

 B. ALL EXPOSED EXTERIOR METAL FITTINGS, FLASHING, CONDUIT, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES, UNLESS IT IS SPECIFIED AS COPPER.
- 9.02 INTERIOR WALLS
 A. OFFSET STUDS WHERE REQUIRED, SO THAT FINISH WALL SURFACE WILL BE
- FLUSH.

 B. ALL GYPSUM WALL BOARD SHALL BE 5/8' THICKNESS & CONFORM TO
- CHAPTER 25 OF THE CBC

 C. ALL GYP BOARD ON WALLS WITH IN BATHROOMS & LAUNDRY AREAS SHALL

 BE "GREEN BOARD."
- D. AT ANY CONDITIONS WHERE GYP BOARD IS IN CONTACT WITH CONCRETE
- SHALL BE "GREEN BOARD."

 E. CONTRACTOR SHALL PROVIDE FULL-SCALE MOCK-UPS (MIN. 3'x3') IF FINISH FOR
- APPROVAL BY OWNER & REVIEWED BY ARCHITECT.
- 9.03 CERAMIC TILE / STONE TILE/ FINISHED CONCRETE
 A. ALL TILE INSTALLATION SHALL BE IN ACCORDANCE WITH ACCEPTED CURRENT
- INDUSTRY STANDARD WITH THE BEST QUALITY IN CRAFTSMANSHIP.

 B. SEE INTERIOR DESIGN DRAWINGS FOR TILE LAYOUT OF WALLS AND FLOOR
- PATTERNS C. WHERE FLOOR DRAINS OR FLOOR SINKS OCCUR, ALL FINISH FLOORS SHALL

SLOPE TO DRAIN. TILE OR FINISH MATERIAL SHALL NON-SLIP.

- 9.04 INTERIOR FINISH FLAME RETARDANT REQUIREMENTS

 A. INTERIOR FINISHES AND FLAMEPROOFING MUST CONFORM TO THE REQUIREMENTS
- B. ALL DECORATIVE MATERIALS ARE REQUIRED TO BE MAINTAINED IN A FLAME-RETARDANT CONDITION, (PER C.B.C.).
- 9.05 PROVIDE GALVANIC INSULATION BETWEEN DISSIMILAR METALS.

 9.01 IF STORING, USING, OR HANDLING ANY AMOUNTS OF HAZARDOUS MATERIALS, FLAMMABLE/COMBUSTIBLE LIQUIDS, OR CHEMICALS, CONTRACTOR SHALL COMPLY

WITH STATE AND LOCAL HAZARDOUS MATERIAL ORDINANCES.

- PAINTING

 A. ALL SURFACES ARE TO BE COLOR PRIMED AND TWO-COAT FINISH. OWNER

 SHALL APPROVE PRIOR TO APPLICATION. WHEN REQUESTED BY OWNER OR
- ARCHITECT, MOCK-UPS SHALL BE SUBMITTED AND APPROVED.

 B. PAINTING SUBCONTRACTOR SHALL BE RESPONSIBLE TO APPROVE CONDITION OF ALL SURFACES TO INSURE THAT THEY HAVE BEEN PROPERLY PREPARED
- FOR PAINTING. (CAULK, PATCH & FILL AS REQUIRED)

 C. ALL COLORS SHALL BE APPROVED BY THE ARCHITECT.
- D. ALL ADJACENT WORK SHALL BE PROTECTED AGAINST PAINT SPLATTERING.

 E. DRYWALL AT BATHROOMS SHALL RECEIVE A MINIMUM OF TWO COATS OF SEMI-GLOSS ENAMEL.
- F. ALL CABINETS SHALL RECEIVE TWO COATS OF STAIN, UNLESS NOTED OTHERWISE.
 G. UPON COMPLETION OF PAINTING REMOVE ALL PAINT SPOTS AND LEAVE JOB
 IN A CLEAN ACCEPTABLE MANNER READY FOR OCCUPANCY.

H. ALL FINISH TRIM & EXPOSED WOOD MEMBERS SHALL BE PROPERLY BACK

PRIMED ON ALL SURFACES. 9.09 GYPSUM WALLBOARD

- A ALL GYPSUM WALLBOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE
- PROVISIONS OF THE CURRENT EDITION OF THE U.B.C., STATE AND LOCAL CODES.

 B. GYPSUM WALLBOARD SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION FOR THE INSTALLATION IS APPROVED.
- C. ALL EDGES AND ENDS OF GYPSUM WALLBOARD SHALL OCCUR ON THE FRAMING EDGES EXCEPT THOSE EDGES AND ENDS WHICH ARE PERPENDICULAR TO THE FRAMING MEMBERS. ALL EDGES AND ENDS OF GYPSUM WALLBOARD SHALL BE IN MODERATE CONTACT EXCEPT IN CONCEALED SPACES WHERE FIRE-RESISTIVE CONSTRUCTION OR SPACES WHERE FIRE-RESISTIVE CONSTRUCTION OR DIAPHRAGM ACTION IS NOT REQUIRED.

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2221 OAK PARK LANE

GENERAL

revisions

PROJECT #

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date drawn

SHEET NO.

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DIV 9 FINISHES NOTES (continued)

- D. THE SIZE AND SPACING OF FASTENERS SHALL COMPLY WITH THE CURRENT EDITIONS OF THE U.B.C., STATE AND LOCAL CODES. FASTENERS SHALL BE SPACED NOT LESS THAN 3/8" INCHES FROM EDGES AND ENDS OF GYPSUM WALLBOARD.
- E. FASTENERS SHALL BE APPLIED IN SUCH A MANNER AS NOT TO FRACTURE THE FACE PAPER WITH THE FASTENER HEAD.
- F. GYPSUM WALL BOARD SHALL BE 5/8" TYPE "X"
- G. AT BATHROOM & LAUNDRY AREA WALLS & OTHER LOCATIONS IDENTIFIED ON PLANS USE 5/8" GYPSUM GREEN BOARD.
- H. GYPSUM BOARD THAT IS POTENTIALLY IN CONTACT WITH CONCRETE SHALL BE SEPARATED BY AN APPROVED VAPOR BARRIER

WATER-RESISTANT GYP BACKING BOARD SHALL NOT BE USED IN THE FOLLOWING LOCATIONS:

- OVER A VAPOR BARRIER IN SHOWER OR BATH TUB COMPARTMENTS
- WHERE THERE SHALL BE DIRECT EXPOSURE TO WATER OR IN AREAS SUBJECT TO HIGH HUMIDITY 3. ON CEILINGS WHERE FRAME SPACING EXCEEDS 12' O.C. FOR 1/2' GWB

OR 16" O.C. FOR 5/8" GWB (C.B.C. 2509.3)

A. ALL EXTERIOR MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT EDITIONS OF THE U.B.C., STATE AND LOCAL CODES.

B. MATERIALS

- PORTLAND CEMENT PLASTER
- a. BASE COAT CEMENTS: PORTLAND CEMENT, ASTM CI50, TYPE I OR II, LOW ALKALI. "LOW ALKALI" SHALL BE PRINTED ON THE BAG.
- b. FACTORY FINISH COAT: MANUFACTURER'S STANDARD PRODUCT REQUIRING ADDITION OF WATER ONLY.
- c. SAND AGGREGATE FOR BASE COATS: ASTM C891.
- 2. VERTICAL LATH LATH ON VERTICAL SURFACES SHALL BE FACTORY ASSEMBLED WIRE MESH WITH MINIMUM 2-LAYER GRADE "D." WORK SHALL INSURE PROPER WATERPROOFING. WIRE OVERLAPS SHALL BE PER C.B.C. 4 MFR SPECS. STAGGER VERTICAL LAPS. (REFER TO DETAILS FOR ANY ADDITIONAL REQUIREMENTS).
- 3. NON-VERTICAL LATH LATH AT NON-VERTICAL CONDITIONS SHALL BE DIAMOND MESH EXPANDED STEEL LATH OVER MINIMUM 2-LAYER SELF-ADHESIVE FLASHING...

C. EXECUTION

- COMPLY WITH INSTRUCTIONS AND RECOMMENDATIONS OF MANUFACTURER.
- 2. PLASTER ON LATH SHALL BE THREE COATS, NOT LESS THAN 1/8" THICK. LOCATE SCORE LINES, EXPANSION JOINTS AND SCREEDS AS RECOMMENDED BY THE MANUFACTURER & TRADE ORGANIZATION. LAPS OR OTHER UNSIGHTLY DIFFERENCES IN FINISH COAT ARE NOT ACCEPTABLE AND MUST BE REFINISHED. PLASTER STOPS SHALL BE PLACED WHERE PLASTER MEETS A SURFACE WHICH IS NOT PLASTERED. PLACE CORNER BEADS LEVEL, PLUMB, FULL HEIGHT AND/OR LENGTH ACCURATELY TO FINISH PLASTER LINES. SECURE AGAINST SHIFTING. PLACE VENTS WHERE REQUIRED BY THE C.B.C. OVER PLYWOOD SHEAR PANELS PROVIDE (2) LAYERS OF GRADE "D" FELT. (ADDITIONAL REQUIREMENTS AS DETAILED).
- 3. WEEP SCREEDS SHALL BE A MINIMUM OF 26 GAUGE CORROSION PROOF METAL WITH MINIMUM VERTICAL ATTACHMENT OF 3 1/2" AT OR BELOW FOUNDATION PLATE WALL. SCREED SHALL BE PLACED ABOVE GRADE 4" MINIMUM AND SHALL ALLOW TRAPPED WATER TO DRAIN. EXTERIOR BUILDING PAPER AND LATH SHALL COVER AND TERMINATE ON THE ATTACHED FLANGE.
- 4. PLASTER FINISH TO BE TROWEL FINISH AS APPROVED BY OWNER
- 5. SCREED SHALL BE MINIMUM 2' ABOVE APPROVED FINISH (

DIV 10 SPECIALITIES NOTES

1001 TOILET ACCESSORIES

- A SUBCONTRACTOR SHALL INSTALL MINIMUM 2x8 SOLID BLOCKING AS REQUIRED FOR ALL ACCESSORIES.
- B. ACCESSORIES SUCH AS GRAB BARS, TOWEL BARS, PAPER DISPENSERS AND SOAP DISHES, ETC., PROVIDED ON OR WITHIN WALLS, SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM

10.02 FLOOD PANS

- A. WASHING MACHINE SURROUND SHALL BE "FLOODSAVER" MODEL WMPP27 WALL UNIT, WMPB21 BASE, WMPBD21 BASE OR EQUAL, 2-PIECE SYSTEM TO CONSIST OF FORMED HIGH DENSITY POLYETHYLENE BASE & WALL PANEL, WITH A HUD/FHA FLAME SPREAD 100 4 SMOKE DENSITY 450 PER ASTM STEINER TUNNEL TEST METHOD. BASE SHALL FORM A 3" DEEP CONTAINER PAN 4 SHALL ACCOMMODATE A STANDARD SHOWER-TYPE DRAIN, WALL PANEL SHALL PROVIDE MINIMUM 3" SPRAY BARRIER ON SIDES 4 TOP, WMPBD27 DRAINLESS BASE - USED IN APPLICATION WHERE A FLOOR JOIST OR OTHER OBSTRUCTION REQUIRES FLEXIBILITY IN DRAIN PLACEMENT, DRAIN TYPE SHALL BE CONSISTENT WITH LOCAL
- B. DISHWASHER WATER CONTAINMENT SYSTEM SHALL BE "FLOODSAVER SLIDE-N-FOLD PAN' OR EQUIVALENT. 1-PIECE SYSTEM TO CONSIST OF FORMED HIGH DENSITY POLYPROPYLENE. UNIT SHALL FORM A MINIMUM 2.5" DEEP CONTAINMENT PAN.

10.03 CLOSETS

A PROVIDE POLE & SHELF AT ALL CLOSETS

DIV II EQUIPMENT

- DRYER VENTS TO OUTSIDE AIR PER MANUFACTURER'S APPROVED SPECIFICATION AND NOTES.
- SUBCONTRACTOR SHALL SUPPLY AND INSTALL APPLIANCES: DISHWASHER, RANGE, OVEN, GARBAGE DISPOSAL, ETC.
- SUBCONTRACTOR SHALL DESIGN, SUPPLY AND INSTALL F.A.U. (HEATING AND COOLING)

DIV 15 MECHANICAL/PLUMBING NOTES

MECHANICAL DRAWINGS FOR MECHANICAL, PLUMBING AND FIRE PROTECTION SHALL BE DESIGN/BUILD (OWNER TO APPROVE AND ARCHITECT TO REVIEW)

15.02 ACCESS PANELS

- SUBCONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY PLUMBING, AIR CONDITIONING AND OTHER INSTALLERS AS REQUIRED
- 15.03 B. CONTRACTOR SHALL SUBMIT LOCATIONS OF ALL ACCESS PANELS TO NOASTRULTERIATOPHERENERUSHATELESE TOUTNEARLHAFES! DUCTS, ETC., UNLESS 15/04 C. SPROBLES PENELLEBHALL BE LOCATED IN PUBLIC AREA WALLS OR THE FLENERAL CONTRACTOR SHALL COORDINATE AND VERIFY WITH THE PLUMBING, MECHANICAL AND ELECTRICAL CONTRACTORS THE SIZE AND LOCATION OF ALL PIPING, DUCTWORK, TRENCHES, SLEEVES, SPECIAL BOLTING FOR EQUIPMENT CONDUITS, ETC. THROUGH AND UNDER CONCRETE SLABS PRIOR TO POURING OF FOOTING AND SLABS. REFER TO
- TOP OF ROOF MECHANICAL EQUIPMENT SHALL NOT BE PROJECTED ABOVE BUILDING PARAPET AND BE LOCATED AWAY FROM PARAPETS. IF HIGHER, EQUIPMENT SCREENS SHALL BE PROVIDED AS APPROVED BY PLANNING DEPARTMENT.

MECHANICAL AND PLUMBING FOR ADDITIONAL NOTES AND REQUIREMENTS.

DIV 15 MECHANICAL/PLUMBING NOTES (continued)

15.06 FIRE PROTECTION SYSTEMS

- A. FIRE PROTECTION SHALL BE PER C.B.C., C.F.C. & LOCAL CODES
- B. ALL PLUMBING AND HEATING WORK SHALL CONFORM TO GOVERNING LOCAL CODES.
- C. SUBCONTRACTOR SHALL PROVIDE AND INSTALL ADEQUATE VENTS FOR ALL GAS APPLIANCES.
- D. SUBCONTRACTOR SHALL PROVIDE AND INSTALL GAS SHUT-OFF YALVE CONSPICUOUSLY MARKED OUTSIDE OF BUILDING (TITLE 19, CHAPT. 6 THRU 9, U.B.C.).

1507 PLUMBING

A MAXIMUM FLOW OF ALL NEW LAYATORY FAUCETS SHALL BE CERTIFIED IN ACCORDANCE WITH TITLE-24

CANOPIES, AND WALLS TO DETER FREEZING OF PIPES.

- B. SUBCONTRACTOR SHALL INSULATE ALL PLUMBING PIPING IN ATTICS.
- C. SUBCONTRACTOR SHALL SUPPLY AND INSTALL WATER HEATERS WITH NON-RIGID WATER CONNECTIONS SHALL BE STRAPPED FOR
- LATERAL SUPPORT (PER GOVERNING CODES) D. WATER CONSERVATION FEATURES (I.E., MAXIMUM GALLON USAGE) SHALL BE PER C.P.C. SECTION *402.3, 402.7, 402.8
- E HOSE BIBBS & FUTURE UNIT IRRIGATION SHALL BE SPLIT FROM INLET MAIN PRIOR TO WATER SOFTENER INSTALL BACK FLOW PREVENTER(S) AS REQUIRED BY C.P.C. & LOCAL CODES.
- F. WATER HEATER SHALL BE SECURED AWAY FROM WALL PER REQUIRED CODES
- G. AT FIBERGLASS TUB SHOWER ASSEMBLIES, PROVIDE FURRING STRIPS AT WALLS TO MATCH NAILING FLANGE PLANE. UNIT SHALL BE PLACED LEVEL & BOTTOM PAN SHALL BE SUPPORTED PER MANUFACTURER SPECS.
- H. PROVIDE RECESSED BOX 4 PLUMBING FOR REFRIGERATED WATER
- 15.08 VENTILATION & SANITATION SHALL CONFORM WITH CURRENT EDITION OF C.B.C., C.E.C. & TITLE 24.

15.09 PLUMBING AT RATED ASSEMBLIES

A. WALLS CONTAINING GAS VENTS OR NON COMBUSTIBLE PIPING THAT PASS THROUGH THREE FLOORS OR LESS NEED NOT PROVIDE THE FIRE-RESISTANCE RATING SPECIFIED IN C.B.C. FOR 'SHAFT ENCLOSURES' PROVIDED ANNULAR SPACE AROUND THE VENTS OR PIPING IS FILLED AT EACH FLOOR OR CEILING WITH EQUIPMENT RATED NONCOMBUSTIBLE MATERIALS.

15.09 HEATING, VENTILATING, AND AIR CONDITIONING

- A. ALL VERTICAL SHAFTS SHALL HAVE INSTALLED OVER EACH SIDE OF FRAMING 5/8' TYPE 'X' GYPSUM BOARD FOR ALL OPENINGS WITH ONE (1) HOUR ASSEMBLIES.
- B. MECHANICAL CONTRACTOR SHALL BE REQUIRED TO MEET THE STATE OF CALIFORNIA ENERGY REGULATIONS FOR ALL MECHANICAL EQUIPMENT. OWNER HAS COMPLIED WITH BUILDING ENVELOPE REQUIREMENTS, PER U.B.C.
- I. HEATING, VENTILATING, AIR CONDITIONING SYSTEM DESIGN AND INSTALLATION IS PART OF THIS PERMIT.
- THE MECHANICAL CONTRACTOR SHALL PROVIDE TO THE BUILDING DEPT. COMPLETE DESIGN CALCULATIONS, INCLUDING TITLE 24 ENERGY CALCULATIONS TO THE SATISFACTION OF THE BUILDING DEPARTMENT
- a. ALL WORK REQUIRED TO COMPLETE THE ABOVE SHALL BE A PART OF THIS CONTRACT.
- C. PROVIDE AIR CHANGES FOR TOILET ROOMS, ETC. TO COMPLY WITH APPLICABLE BUILDING MECHANICAL CODES AND REGULATIONS
- D. THE MECHANICAL DESIGN/BUILD CONTRACTOR SHALL PROVIDE, IN ACCORDANCE WITH THE SPECIFICATIONS, THE REQUIRED NUMBER OF SETS OF MECHANICAL PLANS FOR REVIEWING SHOWING: I. DUCT LAYOUT.
- 2. LOCATION, MANUFACTURER, MODEL NUMBER AND CAPACITY OF THE HYAC SYSTEM COMPONENTS AS WELL AS THERMOSTAT LOCATIONS.
- 3. FOR EACH HYAC UNIT INDICATED ON THE PLANS, IT'S EER, COP, AND/OR COMBUSTION EFFICIENCY.
- E. EVERY SPACE ACCOMMODATING HUMAN ACTIVITIES SHALL HAVE THE CLIMATE TEMPERATURE CONTROLLED IN ACCORDANCE WITH C.M.C. &
- F. ALL MECHANICAL AND GRAVITY VENTILATION SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH C.M.C. & C.B.C.
- G. ALL DUCT CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH C.M.C.
- H. THE MINIMUM INSULATION OF DUCT AND PLENUM (SUPPLY AND RETURN) SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH C.M.C.
- I. REQUIRED MAINTENANCE OF ALL MECHANICAL EQUIPMENT SHALL BE PROVIDED TO THE OWNER THROUGH THE CONTRACTOR.
- J. DRYER VENTING SHALL BE MIN. 26 GA. SHEET METAL DUCTING, 4" MIN DIAMETER PRIOR TO INSTALLATION, CONTRACTOR SHALL VERIFY THAT SPECIFIC VENT LENGTH CONDITIONS AT EACH UNIT ARE APPROVED BY DRYER MFR(S). ALTERNATIVE DESIGNS SHALL BE APPROVED BY DRYER MFR(S) & BUILDING OFFICIAL PRIOR TO INSTALLATION. DRYER YENTS SHALL BE PROVIDED WITH BACKDRAFT STOP.
- K PROVIDE COMBUSTION AIR FOR ANY GAS FIRED EQUIPMENT PER MER SPECS, C.B.C. AND C.M.C.
- L. MOTORIZED MECHANICAL EQUIPMENT SHALL BE PROVIDED WITH NOISE ISOLATION CONNECTIONS.
- M. PRIOR TO FRAMING, MECHANICAL & PLUMBING CONTRACTOR SHALL PROVIDE 'SCHEMATIC' INTEGRATION DRAWINGS WITH PROPOSED LAYOUT, ARCHITECT SHALL HAVE THE OPPORTUNITY TO REVIEW DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ANY CHANGES (AT NO EXTRA CHARGE) TO ENSURE PROPER INTEGRATION WITH THE INTENT OF THE DRAWINGS.

DIV 16 ELECTRICAL NOTES

16.01 ELECTRICAL

- A. ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF ELECTRICAL JUNCTION BOXES, ACCESS PANELS, AND SIGNAGE RACEWAYS WITH SIGN CONTRACTOR.
- B. ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS, SERVICE REQUIREMENTS, AND EXACT LOCATIONS OF SERVICE FACILITIES.
- ANY HOOK-UP, DISCONNECT SWITCHES, RELAYS, ETC. PRIOR TO ANY START OF WORK.
- D. THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH
- E. LOCATIONS SHOWN ON ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER ELECTRICAL DRAWINGS.
- ALL ELECTRICAL INSTALLATIONS SHALL COMPLY WITH F. GOVERNING APPROVED EDITIONS OF THE LOCAL ELECTRICAL CODES.
- G. LIGHT SHALL CONFORM TO CURRENT EDITION, OF C.B.C., C.E.C. 4 TITLE 24.
- H. FIXED WINDOWS SHALL BE SEALED TO LIMIT AIR INFILTRATION.
- I. MINIMUM LIGHTING LEVEL WATTAGE AND REDUCTION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH
- J FIXTURES SHALL BE RATED FOR THE SPECIFIC LOCATION
- THE WEATHER SHALL BE WEATHERPROOF AND G.F.C.I.
- L. RECEPTACLES IN THE KITCHEN AND BATHROOM SHALL BE INSTALLED ABOVE THE WORK TOP UNLESS OTHERWISE
- M. RECEPTACLES SHALL BE INSTALLED VERTICALLY AT 12" PLUS ABOVE THE FLOOR, AT A MAXIMUM DISTANCE NOTED IN THE C.B.C. & C.E.C. UNLESS INDICATED OTHERWISE.
- N WALL SWITCHES SHALL BE 42" ABOVE THE FINISH FLOOR.
- O. RECEPTACLES IN KITCHENS AND BATHROOMS, WITHIN 6'-0" OF ANY SINKS, TUBS, AND/OR SHOWERS SHALL BE ON
- PROVIDED WITH ARC FAULT CIRCUIT INTERRUPTERS.
- Q ELECTRICAL DRAWINGS SHALL BE DESIGN/BUILD (OWNER TO APPROVE & ARCHITECT TO REVIEW)
- TO A COMMON AREA CLOSET (OWNER SHALL APPROVE LOCATION PRIOR TO INSTALLATION)

- C. ELECTRICAL CONTRACTOR SHALL CHECK WITH OTHER TRADES FOR LOCATION OF EQUIPMENT WHICH REQUIRES
- MECHANICAL DRAWINGS FOR CONTROL WIRING DIAGRAMS, EXACT LOCATIONS AND SIZE OF EQUIPMENT.

- TITLE 20-1542.
- K ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO
- NOTED ON THE ELECTRICAL PLANS.
- G.F.C.I. CIRCUITS.
- P. RECEPTACLES INSTALLED IN SLEEPING AREAS SHALL BE
- R CABLE/ PHONE/ TV/ INTERNET SHALL BE WIRE TO "HOME RUN"

DWG

 \square W

EXT

EXS

FOC

FOF

FOM

FOS

FEC

FLCO

FLUOR

FD

FTG

FND

DRAWING

DUMBWAITER

EXTRA STRONG

FACE OF FINISH

FACE OF STUDS

FINISH (ED)

CABINET

FLASHING

FIRE PLACE

FLOOR (ING)

FLOOR JOIST

FLOOR PLATE

FLUORESCENT

FOUNDATION

FURRED (ING)

FOOTING

FINISH FLOOR

FACE OF CONCRETE

FACE OF MASONRY

FIRE EXTINGUISHER

FIRE EXTINGUISHER

FLOOR CLEANEST

FACE BRICK

ELEVATION

EXTERIOR

ABBREVIATIONS:

GAGE, GAUGE ABOYE AFF ABOVE FINISH FLOOR GALYANIZED IRON ACC ACCESS GENERAL CONTRACT ACCESS PANEL AP GLASS, GLAZING AC ACOUSTICAL GLB GLASS BLOCK ADD **ADDENDUM** GRAB BAR ADJ **ADJACENT** GRADE. GRADING GWB/GYP GYPSUM DRY WALL AGG AGGREGATE A/C AIR CONDITIONING GPPL GYPSUM PLASTER ALT HWD ALTERNATE HARDWOOD HDR ALUMINUM HEADER HEATING/VENTILATION/ HYAC AB ANCHOR BOLT APX **APPROXIMATE** AIR CONDITIONING ARCH ARCHITECT (URAL) HEIGHT AC ASPHALT / CONCRETE HOLLOW METAL BRG BEARING HOR HORIZONTAL BM BENCH MARK HOSE BIBB BEL BELOW INSIDE DIAMETER BLK BLOCK INT INTERIOR BLOCKING BLKG INVERT INY BD BOARD LAM LAMINATE (D. BOT BOTTOM LAY LAYATORY BRZ BRONZE LEFT HAND BUILDING BLDG LIGHT BUR BUILT UP ROOF LIVE LOAD CAB CABINET MB MACHINE BOLT CSMT CASEMENT MALLEABLE IRON CAST IRON MANHOLE CB CATCH BASIN MFR MANUFACTURE (ER) CLG CEILING MAB MARBLE CFCI CONTRACTOR FURNISH. MASONRY CONTRACTOR INSTALL MAX MAXIMUM CHAM CHAMFER MEDICINE CABINET CIR CIRCLE MED MEDIUM CLR CLEAR (ANCE) MEM MEMBRANE COL COLUMN MIRROR CONC CONCRETE MISC MISCELLANEOUS CMU CONCRETE MASONRY MOD MODULAR MLD MOLDING, MOULDING CONST CONSTRUCTION MULL MULLION CEILING JOIST NAT NATURAL CONTROL JOINT NORTH CFL COUNTER FLASHING NOT IN CONTRACT CS COUNTERSINK NOT TO SCALE CY CUBIC YARD ON CENTER (S) DP DAMP PROOFING OFC! OWNER FURNISH, DL DEAD LOAD CONTRACTOR INSTALL DEMOLISH, DEMOLITION DEM *O*FDI OWNER FURNISH, DEMOUNTABLE OWNER INSTALL DEP DEPRESSED PED PEDESTAL DTL DETAIL PER PERIMETER DIAG DIAGONAL PLAM PLASTIC LAMINATE DIA DIAMETER PWD / PLY PLYWOOD DIM DIMENSION PYC POLYVINYL CHLORIDE DIV DIVISION PROPERTY LINE QUARRY TILE DOUBLE HUNG RAD RADIUS DOWNSPOUT RWC RAINWATER CONDUCTOR DRAIN TILE

REG

RD

RO

SPEC

STD

STO

SD

STR

SYS

TEL

T&G

TOS

TOW

VCT WSCT

wc

WD

REGISTER

ROOM

SHEET

SOUTH

SQUARE

STEEL

STANDARD

STORM DRAIN

STRUCTURAL

TELEPHONE

TELEVISION

TOP OF SLAB

TOP OF WALL

TOWEL BAR

VERTICAL GRAIN

WATER CLOSET

WATERPROOFING

WROUGHT IRON

VINYL COMPOSITION TILE

TREAD

TYPICAL

WAINSCOT

WINDOW

WITHOUT

WOOD

STORAGE

SYSTEM

SIMILAR

ROOF DRAIN

ROUGH OPENING

SPECIFICATION (S)

STAINLESS STEEL

TONGUE AND GROOVE

RUBBER BASE

SHEATHING

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PROJECT

2221 OAK PARK

Sheet title

REVISIONS

PROJECT #

22210AKPARKLANE

DATE DRAWN

SHEET NO.

California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, installed in close proximity to the location or the proposed location of the EV space at the time of original CHAPTER 3 construction in accordance with the California Electrical Code. I.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. GREEN BUILDING 4.304 OUTDOOR WATER USE When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with SECTION 301 GENERAL equirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. Efficient Landscape Ordinance (MWELO), whichever is more stringent. space shall count as at least one standard automobile parking space only for the purpose of complying with any 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in 4.106.4.2.5 Electric Vehicle Ready Space Signage. applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 the application checklists contained in this code. Voluntary green building measures are also included in the Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans application checklists and may be included in the design and construction of structures covered by this code, Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. I.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/ 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing additions or alterations of existing residential buildings where the addition or alteration increases the multifamily buildings. building's conditioned area, volume, or size. The requirements shall apply only to and/or within the DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or specific area of the addition or alteration. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or **EFFICIENCY** of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in EVs at all required EV spaces at a minimum of 40 amperes. sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such Construction documents are intended to demonstrate the project's capability and capacity for facilitating future Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved lighting fixtures are not considered alterations for the purpose of this section. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. **DIVISION 4.2 ENERGY EFFICIENCY** 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate percent of the non-hazardous construction and demolition waste in accordance with either Section 1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and management ordinance. 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy other important enactment dates. Commission will continue to adopt mandatory standards. 2. When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION Excavated soil and land-clearing debris. individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential 2. Alternate waste reduction methods developed by working with local agencies if diversion or 4.303 INDOOR WATER USE buildings, or both. Individual sections will be designated by banners to indicate where the section applies recycle facilities capable of compliance with this item do not exist or are not located reasonably specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating high-rise buildings, no banner will be used. urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, 3. The enforcing agency may make exceptions to the requirements of this section when isolated iobsites are located in areas beyond the haul boundaries of the diversion facility. b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or **SECTION 302 MIXED OCCUPANCY BUILDINGS** Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan EV chargers are installed for use. plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final in conformance with Items 1 through 5. The construction waste management plan shall be updated as 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building completion, certificate of occupancy, or final permit approval by the local building department. See Civil 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power necessary and shall be available during construction for examination by the enforcing agency. shall comply with the specific green building measures applicable to each specific occupancy. Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per buildings affected and other important enactment dates. Identify the construction and demolition waste materials to be diverted from disposal by recycling, dwelling unit when more than one parking space is provided for use by a single dwelling unit. 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall reuse on the project or salvage for future use or sale. comply with Chapter 4 and Appendix A4, as applicable. **4.303.1.1** Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or Exception: Areas of parking facilities served by parking lifts. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense bulk mixed (single stream). Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Specification for Tank-type Toilets. 3. Identify diversion facilities where the construction and demolition waste material collected will be I.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more Chapter 4 and Appendix A4, as applicable. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume 4. Identify construction methods employed to reduce the amount of construction and demolition waste The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to DIVISION 4.1 PLANNING AND DESIGN of two reduced flushes and one full flush. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated **ABBREVIATION DEFINITIONS: 4.303.1.2** Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. by weight or volume, but not by both. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types Department of Housing and Community Development The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 California Building Standards Commission I.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the Division of the State Architect, Structural Safety EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical 4.303.1.3 Showerheads enforcing agency, which can provide verifiable documentation that the percentage of construction and Office of Statewide Health Planning and Development system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all **OSHPD** demolition waste material diverted from the landfill complies with Section 4.408.1. EVs at all required EV spaces at a minimum of 40 amperes. **4.303.1.3.1 Single Showerhead.** Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA Note: The owner or contractor may make the determination if the construction and demolition waste The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved Additions and Alterations WaterSense Specification for Showerheads. materials will be diverted by a waste management company. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one .408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined CHAPTER 4 Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only lbs.sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in RESIDENTIAL MANDATORY MEASURES reduced by a number equal to the number of EV chargers installed over the five (5) percent required. allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead **4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE.** Projects that generate a total combined **SECTION 4.102 DEFINITIONS** weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds a. Construction documents shall show locations of future EV spaces. 4.303.1.4 Faucets per square foot of the building area, shall meet the minimum 65% construction waste reduction 4.102.1 DEFINITIONS requirement in Section 4.408.1 The following terms are defined in Chapter 2 (and are included here for reference) b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential layatory faucets shall **4.408.5 DOCUMENTATION**. Documentation shall be provided to the enforcing agency which demonstrates FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar not be less than 0.8 gallons per minute at 20 psi. compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4... 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power pervious material used to collect or channel drainage or runoff water. Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials dwelling unit when more than one parking space is provided for use by a single dwelling unit. faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also buildings shall not exceed 0.5 gallons per minute at 60 psi. 1. Sample forms found in "A Guide to the California Green Building Standards Code Exception: Areas of parking facilities served by parking lifts. (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in **4.303.1.4.3** Metering Faucets. Metering faucets when installed in residential buildings shall not deliver documenting compliance with this section. 4.106 SITE DEVELOPMENT 3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. more than 0.2 gallons per cycle. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Where common use parking is provided, at least one EV charger shall be located in the common use parking **4.106.1 GENERAL**. Preservation and use of available natural resources shall be accomplished through evaluation Department of Resources Recycling and Recovery (CalRecycle). and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, area and shall be available for use by all residents or guests. 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons management of storm water drainage and erosion controls shall comply with this section. per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not 4.410 BUILDING MAINTENANCE AND OPERATION When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less an automatic load management system (ALMS) may be used to reduce the maximum required electrical disc, web-based reference or other media acceptable to the enforcing agency which includes all of the than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers following shall be placed in the building: or more, shall manage storm water drainage during construction. In order to manage storm water drainage shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) Note: Where complying faucets are unavailable, aerators or other means may be used to achieve during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall 1. Directions to the owner or occupant that the manual shall remain with the building throughout the property, prevent erosion and retain soil runoff on the site. have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical life cycle of the structure. capacity to the required EV capable spaces. 4.303.1.4.5 Pre-rinse spray valves. Operation and maintenance instructions for the following Retention basins of sufficient size shall be utilized to retain storm water on the site. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance a. Equipment and appliances, including water-saving devices and systems, HVAC systems, 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar 4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 photovoltaic systems, electric vehicle chargers, water-heating systems and other major disposal method, water shall be filtered by use of a barrier system, wattle or other method approved Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1. (d)(7) and shall be equipped with an integral automatic shutoff. appliances and equipment. by the enforcing agency. b. Roof and yard drainage, including gutters and downspouts. Compliance with a lawfully enacted storm water management ordinance. Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels FOR REFERENCE ONLY: The following table and code section have been reprinted from the California c. Space conditioning systems, including condensers and air filters. shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section d. Landscape irrigation systems. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or e. Water reuse systems. are part of a larger common plan of development which in total disturbs one acre or more of soil. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) EVCS shall comply with at least one of the following options: TABLE H-2 Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent .106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will 1. The charging space shall be located adjacent to an accessible parking space meeting the requirements of and what methods an occupant may use to maintain the relative humidity level in that range. manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY 6. Information about water-conserving landscape and irrigation design and controllers which conserve water include, but are not limited to, the following: VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 2.The charging space shall be located on an accessible route, as defined in the California Building Code, 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation Water collection and disposal systems PRODUCT CLASS 8. Information on required routine maintenance measures, including, but not limited to, caulking, MAXIMUM FLOW RATE (gpm) French drains Exception: Electric vehicle charging stations designed and constructed in compliance with the California [spray force in ounce force (ozf)] painting, grading around the building, etc. Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 9. Information about state solar energy and incentive programs available. 5. Other water measures which keep surface water away from buildings and aid in groundwater 4.106.4.2.2.1.2, Item 3. Product Class 1 (≤ 5.0 ozf) 10. A copy of all special inspections verifications required by the enforcing agency or this code. 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible 4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. space around residential structures. **Exception**: Additions and alterations not altering the drainage path. The charging spaces shall be designed to comply with the following: Product Class 2 (> 5.0 ozf and \leq 8.0 ozf) 1.20 Information and/or drawings identifying the location of grab bar reinforcements. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 1. The minimum length of each EV space shall be 18 feet (5486 mm). **4.410.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. 2. The minimum width of each EV space shall be 9 feet (2743 mm). 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling 3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial ordinance, if more restrictive. 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is infrastructure are not feasible based upon one or more of the following conditions: Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the **Exception**: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate California Plumbing Code. 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional percent slope) in any direction **4.303.3 Standards for plumbing fixtures and fittings.** Plumbing fixtures and fittings shall be installed in local utility infrastructure design requirements, directly related to the implementation of Section accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 4.106.4, may adversely impact the construction cost of the project. 4.106.4.2.2.1.3 Accessible EV spaces. 1701.1 of the California Plumbing Code. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall DIVISION 4.5 ENVIRONMENTAL QUALITY comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready parking facilities. spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section **SECTION 4.501 GENERAL** THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway TABLE - MAXIMUM FIXTURE WATER USE irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main 1.Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall FIXTURE TYPE **FLOW RATE** proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close 5.102.1 DEFINITIONS concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere proximity to the location or the proposed location of the EV space. Construction documents shall identify the SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI The following terms are defined in Chapter 2 (and are included here for reference) 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall overcurrent protective device. have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device. LAVATORY FAUCETS (RESIDENTIAL) cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in LAVATORY FAUCETS IN COMMON & PUBLIC COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and accordance with the California Electrical Code. installed in close proximity to the location or the proposed location of the EV space, at the time of original 0.5 GPM @ 60 PSI medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood. USE AREAS construction in accordance with the California Electrical Code. structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated 4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent KITCHEN FAUCETS 1.8 GPM @ 60 PSI wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination 2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide ocation shall be permanently and visibly marked as "EV CAPABLE". METERING FAUCETS 0.2 GAL/CYCLE information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and **DIRECT-VENT APPLIANCE.** A fuel-burning appliance with a sealed combustion system that draws all air for WATER CLOSET 1.28 GAL/FLUSH electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere. raceways and related components that are planned to be installed underground, enclosed, inaccessible or in

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED AN AMERICA THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USE

0.125 GAL/FLUSH

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VALERIE SKOWRON 2221 OAK PARK LANE SANTA BARBARA, CA 93105

PROJECT

2221 OAK PARK

SHEET TITLE

revisions

Project # 22210AKPARKLANE

DATE DRAWN

sheet no.

Table 4 504 3 shall apply

California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

500

760

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

NOT APPLICABLE
RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER,

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O3/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). 4.503 FIREPLACES 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances. 4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system. 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section. **4.504.2.1** Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507. **4.504.2.2 Paints and Coatings.** Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR

Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air

Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

VOC LIMIT

150

100

50

65

50

50

70

250

50

510

490

325

250

550 80

250

140

250

50

50

30

Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the

enforcing agency. Documentation may include, but is not limited to, the following:

TABLE 4.504.1 - ADHESIVE VOC LIMIT_{1,2}

(Less Water and Less Exempt Compounds in Grams per Liter)

Manufacturer's product specification.

Field verification of on-site product containers.

ARCHITECTURAL APPLICATIONS

INDOOR CARPET ADHESIVES

OUTDOOR CARPET ADHESIVES

WOOD FLOORING ADHESIVES

RUBBER FLOOR ADHESIVES

CERAMIC TILE ADHESIVES

VCT & ASPHALT TILE ADHESIVES

DRYWALL & PANEL ADHESIVES

STRUCTURAL GLAZING ADHESIVES

OTHER ADHESIVES NOT LISTED

SPECIALTY APPLICATIONS

PLASTIC CEMENT WELDING

CONTACT ADHESIVE

TOP & TRIM ADHESIVE

METAL TO METAL

PLASTIC FOAMS

ADHESIVE PRIMER FOR PLASTIC

SPECIAL PURPOSE CONTACT ADHESIVE

STRUCTURAL WOOD MEMBER ADHESIVE

SUBSTRATE SPECIFIC APPLICATIONS

POROUS MATERIAL (EXCEPT WOOD)

PVC WELDING

CPVC WELDING

ABS WELDING

MULTIPURPOSE CONSTRUCTION ADHESIVE

SINGLE-PLY ROOF MEMBRANE ADHESIVES

SUBFLOOR ADHESIVES

COVE BASE ADHESIVES

CARPET PAD ADHESIVES

compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of

TABLE 4.504.2 - SEALANT VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter) SEALANTS 250 ARCHITECTURAL 760 MARINE DECK 300 NONMEMBRANE ROOF ROADWAY 250 450 SINGLE-PLY ROOF MEMBRANE THER SEALANT PRIMERS ARCHITECTURAL NON-POROUS 250 775

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

ARCHITECTURAL COATINGS2.3

MODIFIED BITUMINOUS

MARINE DECK

THER

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	200
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

- EXEMPT COMPOUNDS
- 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.
- 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions

from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for

See California Department of Public Health's website for certification programs and testing labs.

nttps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

THICKNESS OF 5/16" (8 MM).

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health. "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers. Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications. Chain of custody certifications.
- 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR. Title 17. Section 93120, et sea.).
- 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA
- 0121, CSA 0151, CSA 0153 and CSA 0325 standards. 5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

- A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,
- 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

- 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements
- found in Section 101.8 of this code. 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end
- of each piece verified. 3. At least three random moisture readings shall be performed on wall and floor framing with documentation
- acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying ecommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the

- 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a
- a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of
- b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

- 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or
- 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be

- sized, designed and have their equipment selected using the following methods:
- 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),
- ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential
- Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

State certified apprenticeship programs.

702 QUALIFICATIONS

- Public utility training programs.
- 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- . Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building
- performance contractors, and home energy auditors. Successful completion of a third party apprentice training program in the appropriate trade.
- 4. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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PROJECT

2221 OAK PARK

SHEET TITLE

revisions

PROJECT # 22210AKPARKLANE

DATE DRAWN

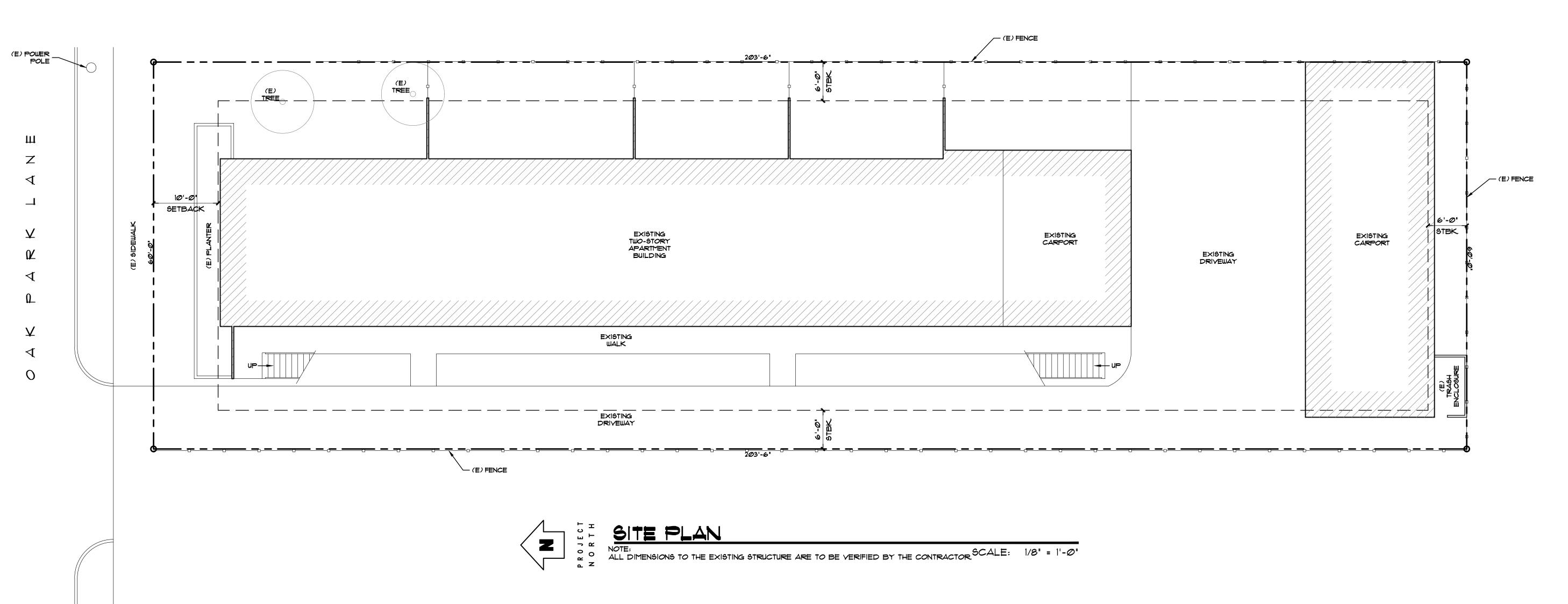
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2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER,

THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

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PROJECT

2221 OAK PARK LANE

Sheet title

SITE PLAN

REVISIONS

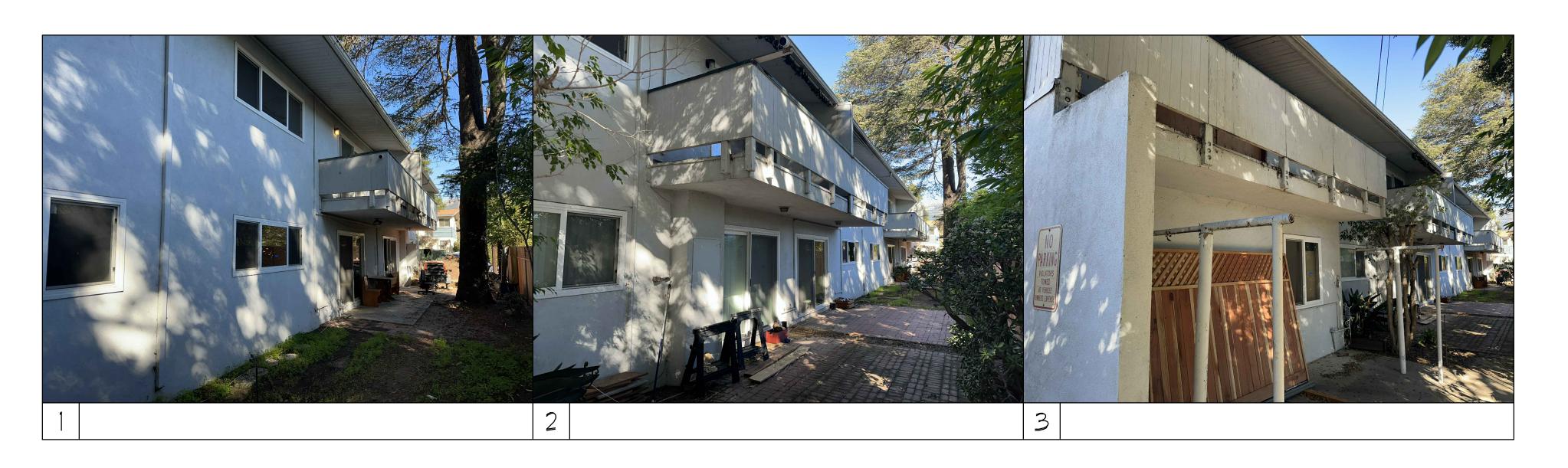
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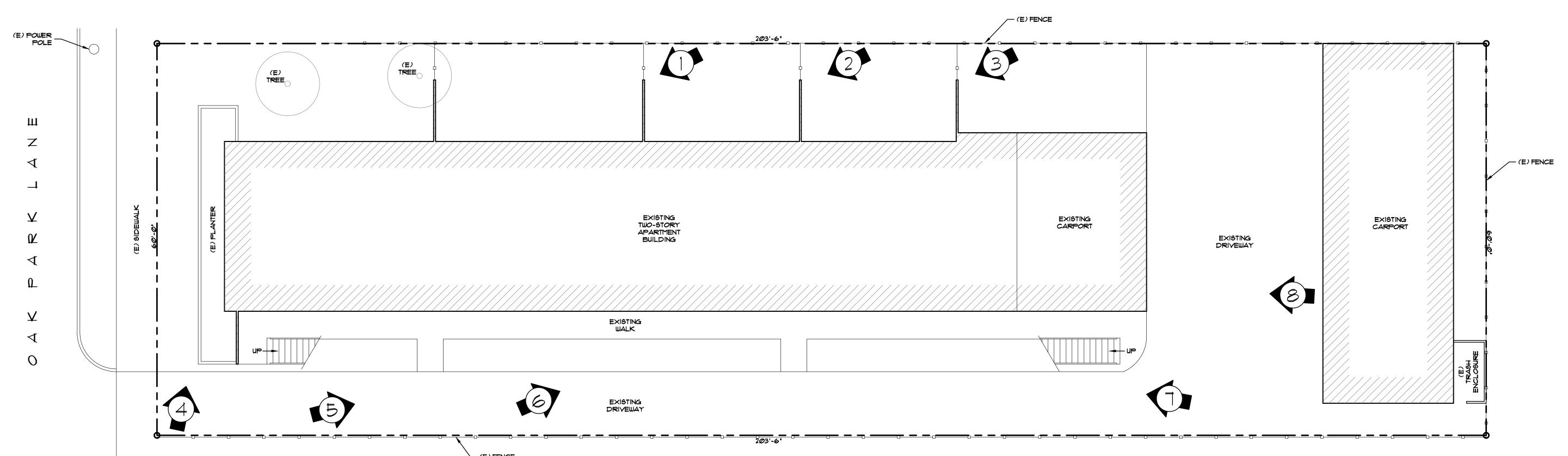
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PROJECT

2221 OAK PARK LANE

Sheet title

PHOTO BOARD

REVISIONS

PROJECT #

22210AKPARKLANE

DATE DRAWN

Sheet No.



DEMO PLAN LEGEND:

(E) 2X STUD WALL TO REMAIN

(E) 2X STUD WALL TO BE REMOVED

(E) ITEM TO BE REMOVED

-- (E) ITEM TO BE REMOVED

(R) REMOVE (RL) RELOCATE



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PROJECT

2221 OAK PARK LANE

Sheet title

IST # 2ND FLOOR EXISTING/DEMO PLAN

REVISIONS

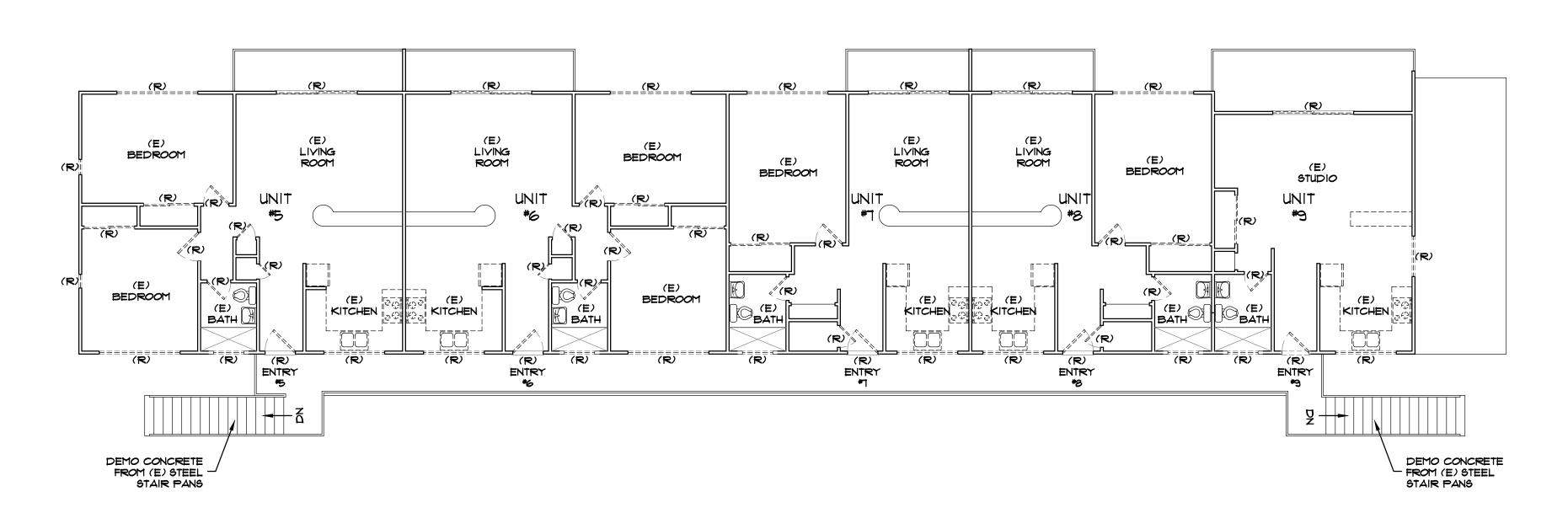
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22210AKPARKLANE

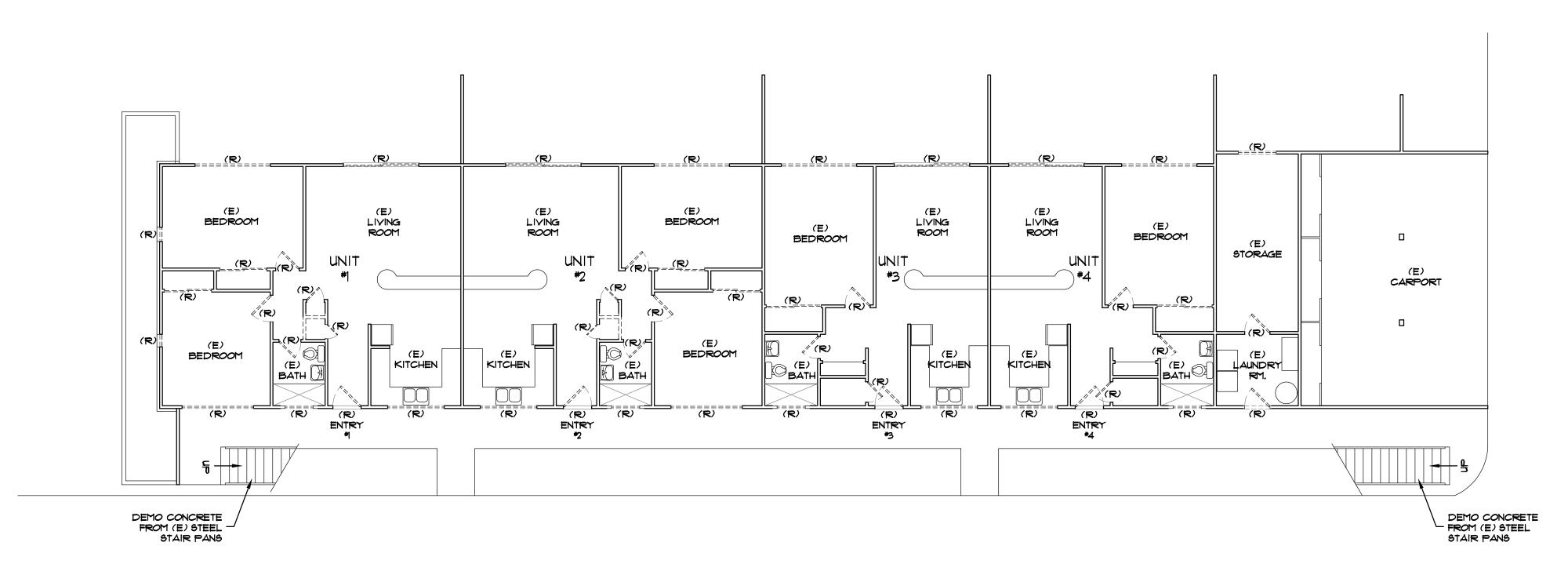
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SHEET NO.

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FLOOR PLAN NOTES:

- 1.) NEW ROMEX WIRING THROUGHOUT EACH UNIT.
- 2.) EXISTING DRYWALL AND INSULATION TO REMAIN IN ALL UNITS EXCEPT UNIT #9.
- 3.) SHOWERHEADS: MAX 1.8 GPM @ 80 PSI AND MULTIPLE SHOWERHEADS SERVING ONE SHOWER SHALL HAVE A COMBINED FLOW RATE OF ALL SHOWERHEADS OF 1.8 GPM AT 80 PSI. 2019 CALIFORNIA GREEN BUILDING CODE SECTION 4.303.
- 4.) SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBANT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR, R3Ø1.2 CRC.
- 5.) SHOWERS AND SHOWER-TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION.

FLOOR PLAN LEGEND:

2x STUD WALL @ 16" O.C. NEW MASONRY WALL

(E) STUD WALL

(E) EXISTING (N) NEW

FLOOR PLAN KEYNOTES:

- 1 (N) MINI-SPLIT.
- ____ MICROWAYE ATTACHED TO UPPER CABINETS, PROVIDE 4 110 CFM VENT THRU CABINET & TO O.S.A., OWNERS TO → SELECT.
- _ 36" HIGH COUNTER TOP & 6" BACK SPLASH W/CABINETS 5 BELOW, OWNERS TO SELECT COUNTER TOP MATERIAL AND
- 6 12" DEEP UPPER CABINETS, OWNERS TO SELECT ALL CABINETRY.

- NEW TUB/SHOWER COMBO. OWNERS TO SELECT. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

- , NEW 9,000 BTU BLUERIDGE BMY917C CONDENSER. 2 545 dBA. ATTACH TO EXISTING CONCRETE PER → MANUFACTURER'S SPECS.
- 30" CLEAR, ELECTRIC STOVE/RANGE W/CONVECTION OVENS BELOW, OWNERS TO SELECT.
- → ALL CABINETRY.
- 1 30' CLEAR, REFRIGERATOR SPACE, OWNERS TO SELECT.
- NEW 40 GALLON 'RHEEM' PROTERRA PLUG-IN HEAT PUMP WATER HEATER WITH HYDRO BOOST AND LEAKGUARD.
- NEW CONCRETE IN EXISTING STEEL STAIR PANS WITH TUFFLEX COATING ON TOP.
- II NEW DUCTED HEAT PUMP.

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CLIENT

VALERIE SKOWRON 2221 OAK PARK LANE SANTA BARBARA, CA 93105

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ARCHITECTURE & PLANNING

Thomas

1847 State St. Santa Barbara, CA 93101 Tel 805.770.7576

PROJECT

2221 OAK PARK LANE

Sheet title

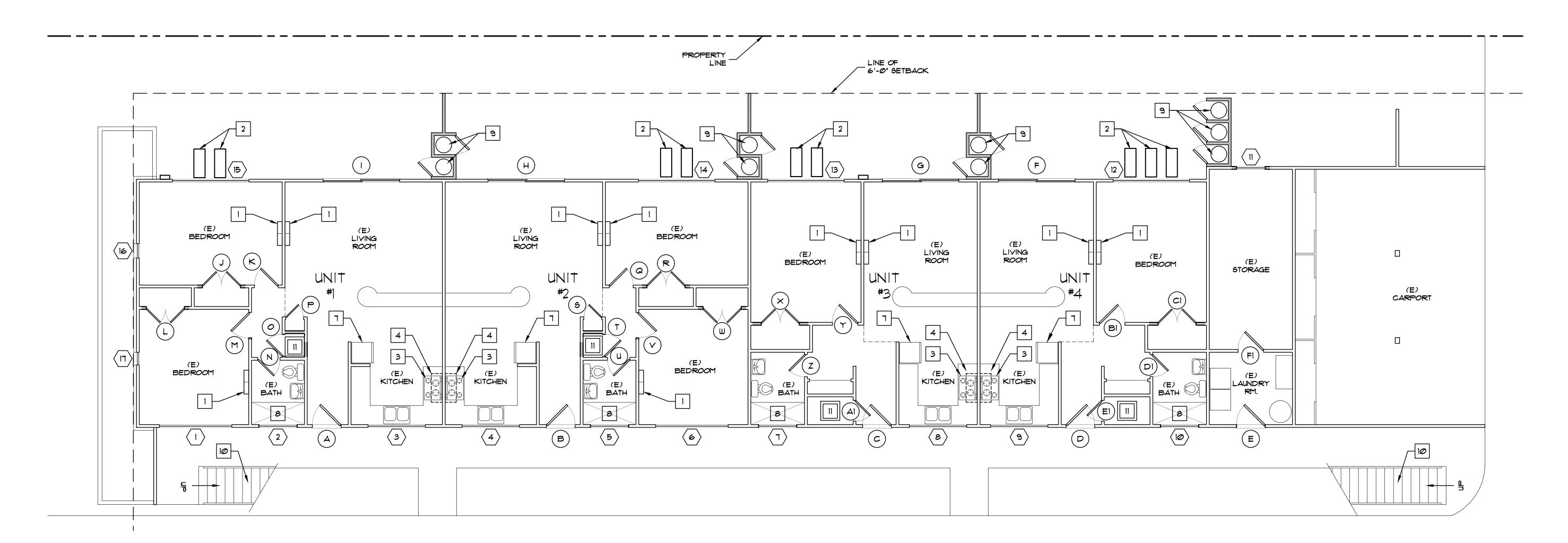
PROPOSED FIRST FLOOR PLAN

REVISIONS

PROJECT # 22210AKPARKLANE

SHEET NO.

DATE DRAWN



PROPOSED FIRST FLOOR PLAN

SCALE: 3/16"=1'-0"

NOTE: ALL DIMENSIONS TO THE EXISTING STRUCTURE ARE TO BE VERIFIED BY THE CONTRACTOR.

FLOOR PLAN NOTES:

- 1.) NEW ROMEX WIRING THROUGHOUT EACH UNIT.
- 2.) EXISTING DRYWALL AND INSULATION TO REMAIN IN ALL UNITS EXCEPT UNIT #9.
- 3.) SHOWERHEADS: MAX 1.8 GPM @ 80 PSI AND MULTIPLE SHOWERHEADS SERVING ONE SHOWER SHALL HAVE A COMBINED FLOW RATE OF ALL SHOWERHEADS OF 1.8 GPM AT 80 PSI. 2019 CALIFORNIA GREEN BUILDING CODE SECTION 4.303.
- 4.) SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBANT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR, R3Ø7.2 CRC.
- 5.) SHOWERS AND SHOWER-TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION.
- 6.) PROVIDE NEW INSULATION IN CEILING PER DETAIL 3/49.1.

FLOOR PLAN LEGEND:

2× STUD WALL @ 16" O.C. NEW MASONRY WALL

(E) STUD WALL

(E) EXISTING (N) NEW

- 1 (N) MINI-SPLIT.
- 30" CLEAR, ELECTRIC STOVE/RANGE W/CONVECTION OVENS BELOW, OWNERS TO SELECT.
- , MICROWAYE ATTACHED TO UPPER CABINETS, PROVIDE 4 110 CFM VENT THRU CABINET & TO O.S.A., OWNERS TO SELECT.
- 5 BELOW, OWNERS TO SELECT COUNTER TOP MATERIAL AND → ALL CABINETRY.

- II NEW TUFFLEX DECKING

FLOOR PLAN KEYNOTES:

, NEW 9,000 BTU BLUERIDGE BMY917C CONDENSER. 2 54.5 dBA. ATTACH TO EXISTING CONCRETE PER → MANUFACTURER'S SPECS.

- _ 36" HIGH COUNTER TOP & 6" BACK SPLASH W/CABINETS
- 6 12" DEEP UPPER CABINETS, OWNERS TO SELECT ALL CABINETRY.
- 1 30" CLEAR, REFRIGERATOR SPACE, OWNERS TO SELECT.
- NEW TUB/SHOWER COMBO. OWNERS TO SELECT. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- NEW CONCRETE IN EXISTING STEEL STAIR PANS WITH TUFFLEX COATING ON TOP.

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PROJECT

2221 OAK PARK LANE

SHEET TITLE

PROPOSED SECOND FLOOR PLAN

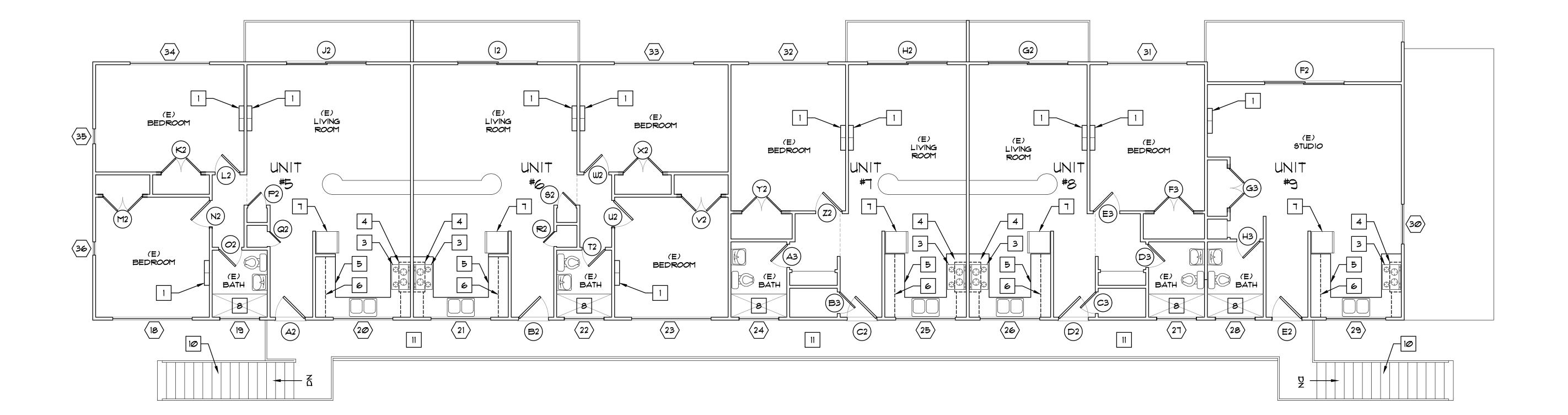
REVISIONS

DATE DRAWN

PROJECT # 22210AKPARKLANE

SHEET NO.

A-2.2



Z

PROPOSED SECOND FLOOR PLAN

SCALE: 3/16"=1'-0"

NOTE: ALL DIMENSIONS TO THE EXISTING STRUCTURE ARE TO BE VERIFIED BY THE CONTRACTOR.

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PROJECT

2221 OAK PARK LANE

Sheet title

PROPOSED ROOF PLAN

REVISIONS

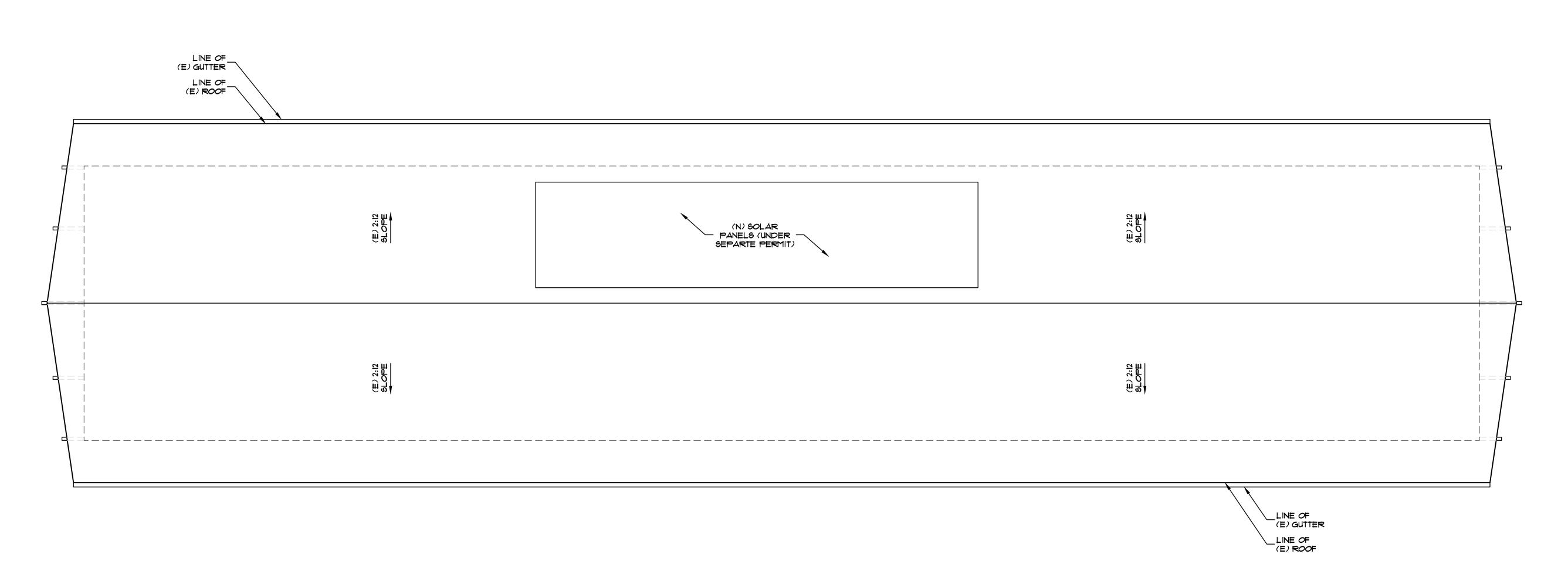
PROJECT #

22210AKPARKLANE

DATE DRAWN

SHEET NO.

A-4.1

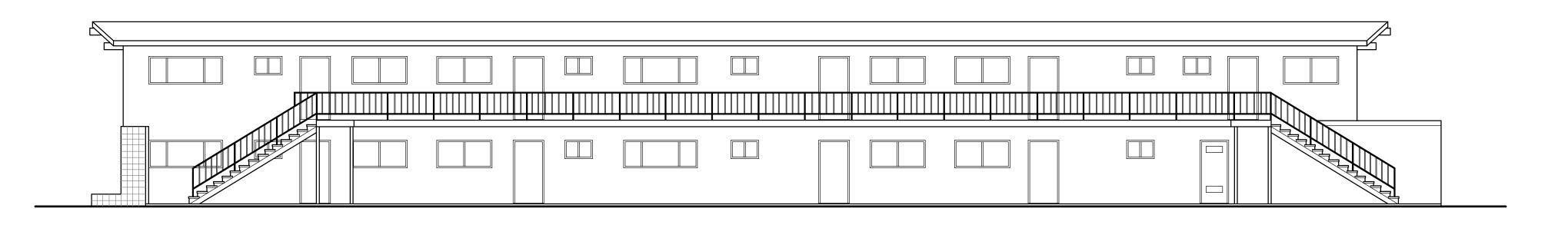


P R O L E C T H H H H H

PROPOSED ROOF PLAN

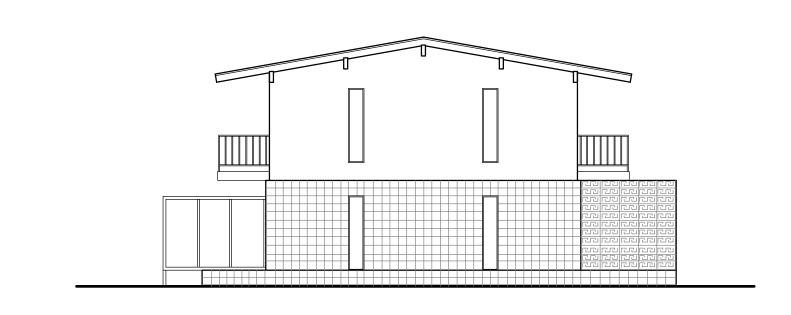
SCALE: 3/16"=1'-0"

NOTE: ALL DIMENSIONS TO THE EXISTING STRUCTURE ARE TO BE VERIFIED BY THE CONTRACTOR.



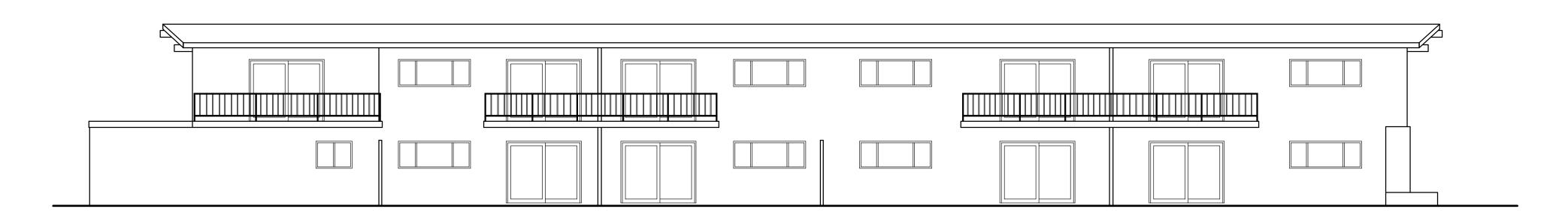
EXISTING WEST ELEVATION

SCALE: 1/8"=1'-Ø"



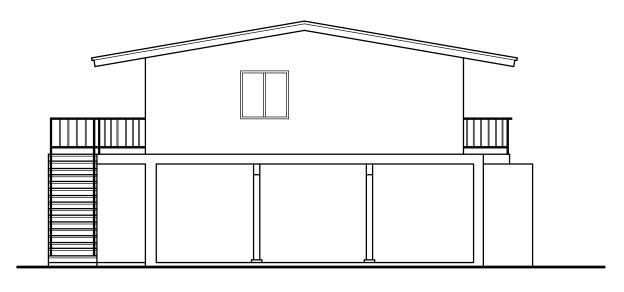
EXISTING NORTH ELEVATION

SCALE: 1/8"=1'-0"



existing east elevation

SCALE: 1/8"=1'-0"



EXISTING SOUTH ELEVATION

SCALE: 1/8"=1'-0"

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PROJECT

2221 OAK PARK LANE

Sheet title

EXISTING ELEVATIONS

REVISIONS

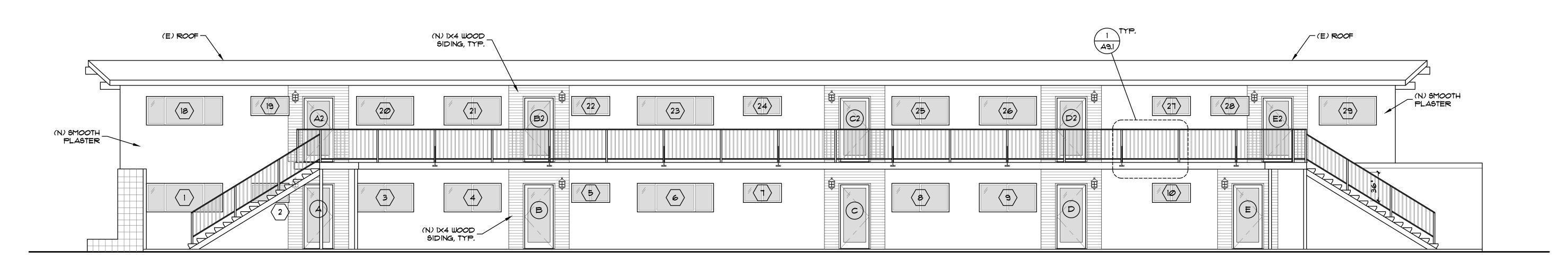
PROJECT #

22210AKPARKLANE

DATE DRAWN

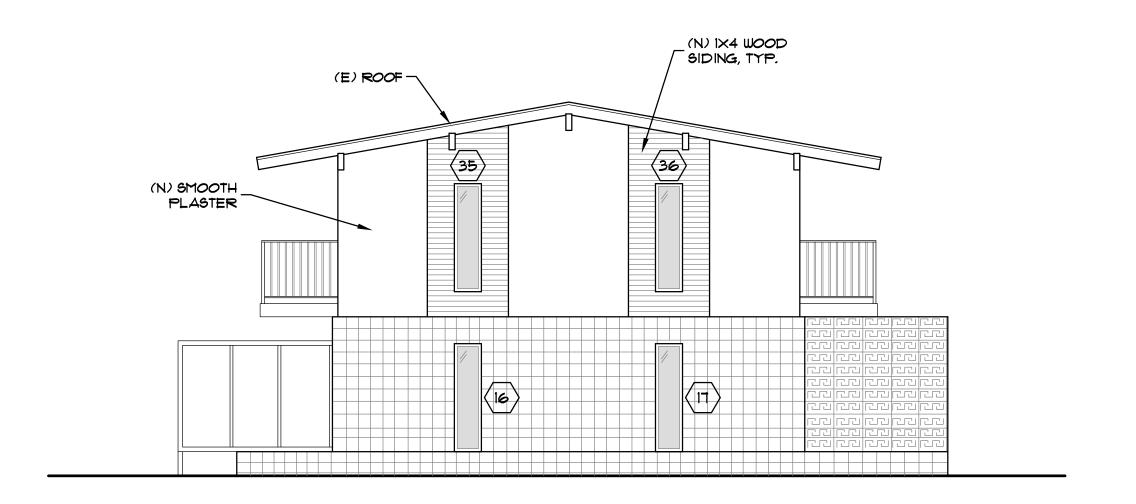
SHEET NO.

A-6.0



PROPOSED WEST ELEVATION

SCALE: 3/16"=1'-0"



PROPOSED NORTH ELEVATION

SCALE: 3/16"=1'-0"

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PROJECT

2221 OAK PARK LANE

Sheet title

PROPOSED ELEVATIONS

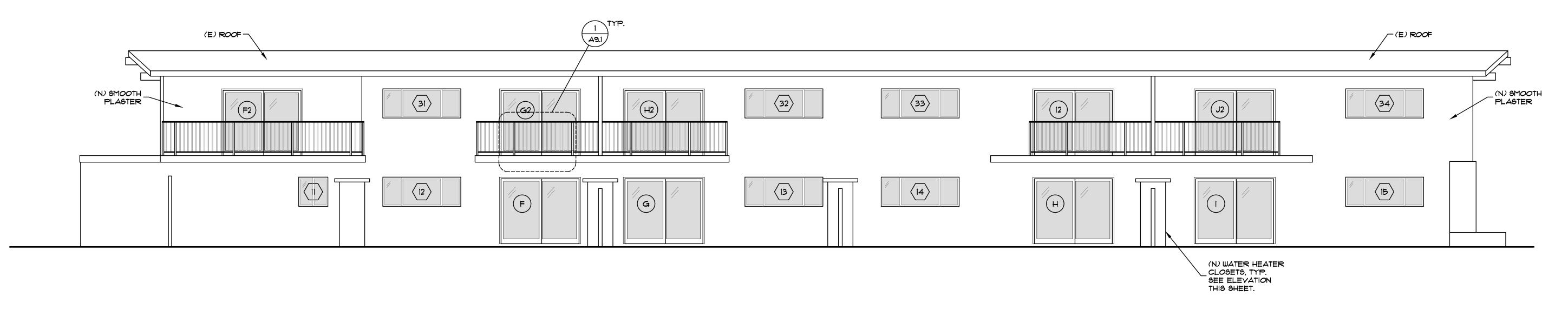
REVISIONS

PROJECT #

22210AKPARKLANE DATE DRAWN

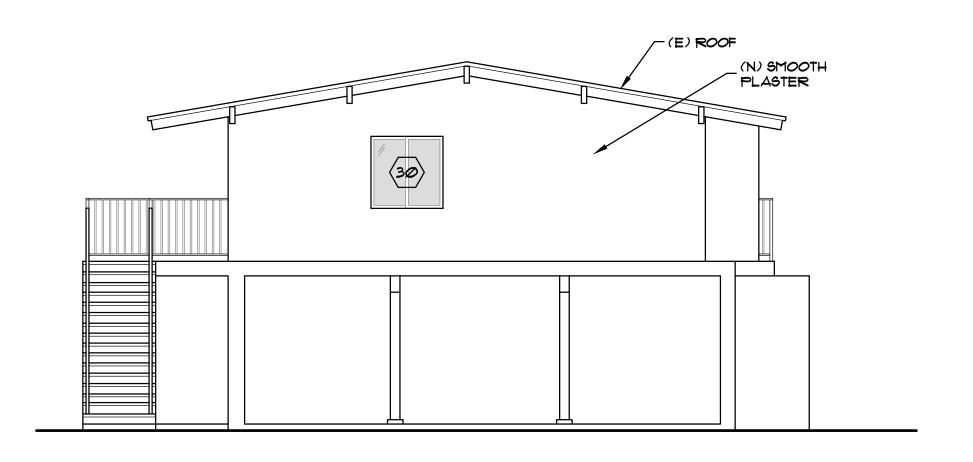
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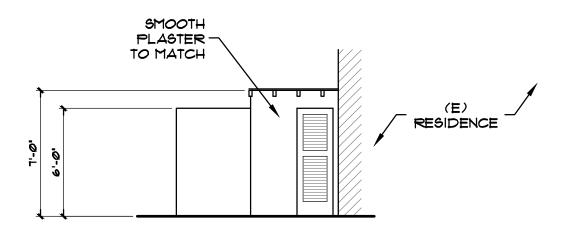
PROPOSED EAST ELEVATION

SCALE: 3/16"=1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 3/16"=1'-0"



WATER HEATER CLOSET ELEVATION

SCALE: 3/16"=1'-0"

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2221 OAK PARK LANE

Sheet title

PROPOSED ELEVATIONS

REVISIONS

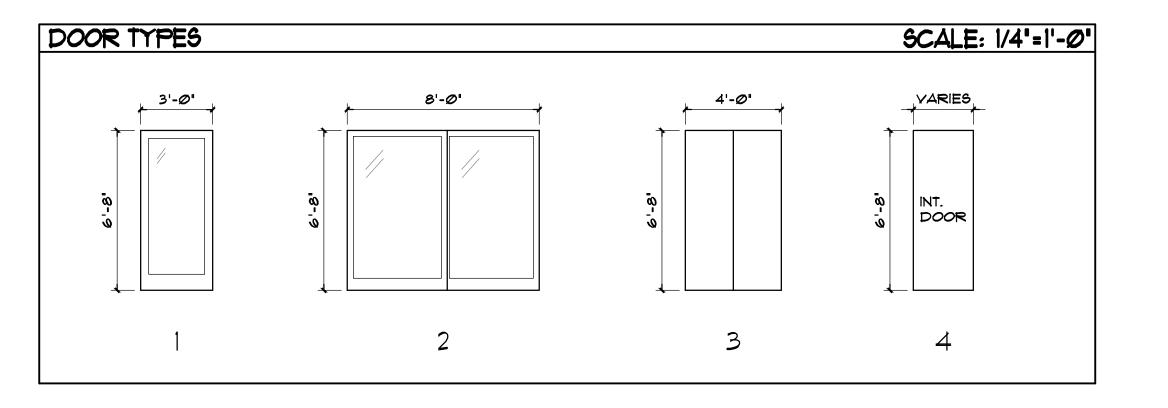
PROJECT #

22210AKPARKLANE

DATE DRAWN

SHEET NO.

A-6.2



卢										
		VE96	TYPE							
000 R	DOOR SIZE	THICKNESS	D000R	CONSTRUCTION / MATERIAL	DESCRIPTION	U-FACTOR	SHGC	REMARKS:	HDR HGT. SEE FRAMING	LOCATION
	6T FL <i>OO</i> R	•			1	<u> </u>	<u> </u>			!
$\overline{}$	3'-0' × 6'-8"	1-3/4"	l i	WOOD, GLASS	ENTRY	28	.18	TEMP GLASS	6'-8'	UNIT #1 EN
$\overline{}$	8'-0' × 6'-8'		 		ENTRY	28	.18	TEMP GLASS	6'-8'	UNIT #2 EN
=		1-3/4'	 	WOOD, GLASS	 					
┵	8'-Ø' x 6'-8 '	1-3/4'	<u> </u>	WOOD, GLASS	ENTRY	28	.18	TEMP GLASS	6'-8'	UNIT *3 EN
2) 3	8'-0' × 6'-8"	1-3/4'	1	WOOD, GLASS	ENTRY	28	.18	TEMP GLASS	6'-8"	UNIT *4 EN
E) 3	8'-0' × 6'-8"	1-3/4'	1	WOOD, GLASS	ENTRY	28	.18	TEMP GLASS	6'-8"	LAUNDRY
F) 8	3'-0' × 6'-8 '	1-3/4'	2	WOOD, GLASS	SLIDER	.2ד	.22	TEMP GLASS	6'-8'	UNIT *4
3 8	3'-0' × 6'-8 '	1-3/4'	2	WOOD, GLASS	SLIDER	.27	22	TEMP GLASS	6'-8'	UNIT *3
$\overline{}$	3'-0' × 6'-8"	1-3/4'	2	WOOD, GLASS	SLIDER	27	22	TEMP GLASS	6'-8'	UNIT *2
≼⊢										
┽⊢	3'-0' × 6'-8"	1-3/4'	2	WOOD, GLASS	SLIDER	.27	.22	TEMP GLASS	6'-8'	UNIT #
┽⊢	PR2'-0' x 6'-8'	1-3/4'	3	WOOD	CLOSET				6'-8'	UNIT #
<u> </u>	!'-6' × 6'-8 '	1-3/4'	4	WOOD	PASSAGE				6'-8'	UNIT #
	PR2'-0' x 6'-8"	1-3/4'	3	WOOD	CLOSET				6'-8'	UNIT #
<u>ग</u> 2	!'-8' × 6'-8 '	1-3/4'	4	MOOD	PASSAGE				6'-8'	UNIT #
┭┪	!'-4' × 6'-8"	1-3/4'	4	MOOD	PASSAGE				6'-8"	UNIT #
$\overline{}$!'-4' × 6'-8"	1-3/4"	4	WOOD	CLOSET				6'-8'	UNIT #
$\overline{}$	'-10' × 6'-8'	1-3/4'	4	WOOD	CLOSET				6'-8'	UNIT #
_										
	'-6' x 6'-8'	1-3/4'	4	WOOD	PASSAGE				6'-8'	UNIT *2
	PR2'-0' x 6'-8"	1-3/4"	3	WOOD	CLOSET				6'-8'	UNIT *2
ا (ق	'-10' × 6'-8"	1-3/4"	4	WOOD	CLOSET				6'-8'	UNIT *2
T) 2	!'-4' × 6'-8"	1-3/4"	4	WOOD	CLOSET				6'-8'	UNIT #2
J) 2	!'-4' × 6'-8"	1-3/4"	4	WOOD	PASSAGE				6'-8 '	UNIT #2
┭	!'-8' × 6'-8 '	1-3/4'	4	WOOD	PASSAGE				6'-8'	UNIT #2
┽⊢	PR2'-0' x 6'-8'	1-3/4'	_	WOOD	CLOSET				6'-8'	UNIT *2
$\overline{}$		1-3/4'	 	WOOD	CLOSET				6'-8'	UNIT *3
$\overline{}$			-							
┽⊢	!'-8' x 6'-8 "	1-3/4'	\vdash		PASSAGE				6'-8'	UNIT *3
Z) 2	!'-4' × 6'-8 "	1-3/4'	4	WOOD .	PASSAGE				6'-8'	UNIT *3
41) 2	!'-2' × 6'-8 '	1-3/4'	4	MOOD	CLOSET				6'-8'	UNIT *3
3) 2	!'-8' x 6'-8 '	1-3/4'	4	WOOD	PASSAGE				6'-8'	UNIT *4
3) (PR2'-0' x 6'-8"	1-3/4'	3	MOOD	CLOSET				6'-8'	UNIT *4
$\overline{}$!'-4' × 6'-8"	1-3/4'	4	WOOD	PASSAGE				6'-8'	UNIT *4
₹—	!'-2' × 6'-8 '	1-3/4'	4	WOOD	CLOSET				6'-8'	UNIT *3
$\neg \vdash$		1-3/4'		WOOD	PASSAGE				6'-8'	LAUNDRY
	!'-8' x 6'-8 '	1-3/4			I ACCAGE				10 -0	
	ND FLOOR				T	T.,		I	T.,	<u></u>
$\overline{}$	8'-Ø' x 6'-8 '	1-3/4'	<u> </u>	WOOD, GLASS	ENTRY	28	.18	TEMP GLASS	6'-8'	UNIT #5 EN
32) 3	8'-Ø' × 6'-8 '	1-3/4"	1	WOOD, GLASS	ENTRY	28	.18	TEMP GLASS	6'-8'	UNIT % EN
				WOOD, GLASS	ENTRY	28	.18	TEMP GLASS	6'-8'	UNIT #7 EN
$\overline{}$	8'-Ø' × 6'-8 '	1-3/4'	1						0-0	
2) 3			1	WOOD, GLASS	ENTRY	28	.18	TEMP GLASS	6'-8'	UNIT *8 EN
2) 3 2) 3	3'-0' × 6'-3" 3'-0' × 6'-3"	1-3/4"		WOOD, GLASS	ENTRY	28	.l8 .l8	TEMP GLASS		UNIT *8 EN
2) 3 2) 3 2) 3	8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8"	1-3/4' 1-3/4' 1-3/4'	1	WOOD, GLASS			.18		6'-8'	
2) 3 22) 3 22) 3 22) 8	8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8"	1-3/4' 1-3/4' 1-3/4'	1	WOOD, GLASS	ENTRY SLIDER	28	.18	TEMP GLASS	6'-8' 6'-8'	AB C* TINU C* TINU
22 3 22 3 22 3 22 8 22 8	8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4'	2 2	WOOD, GLASS WOOD, GLASS	ENTRY SLIDER SLIDER	28 21 21	.18 22 22	TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8'	UNIT #9 EN UNIT #9 UNIT #8
3 3 3 3 3 3 3 3 3 3 2 3 8 3 2 8 3 8 2 8 2	8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	1 2 2 2	WOOD, GLASS WOOD, GLASS WOOD, GLASS	ENTRY SLIDER SLIDER SLIDER	28 21 21 21	.18 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8'	C* TINU C* TINU C* TINU C* TINU T* TINU
3 3 3 3 3 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	1 2 2 2 2	WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8'	C* TINU C* TINU C* TINU T* TINU C* TINU
3 3 3 3 3 3 3 2 2 8 2 8 2 8 2 8 2 8 2 8	8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	1 2 2 2 2	WOOD, GLASS WOOD, GLASS WOOD, GLASS	ENTRY SLIDER SLIDER SLIDER	28 21 21 21	.18 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8'	C* TINU C* TINU C* TINU C* TINU T* TINU
32 3 32 3 32 3 32 2 8 32 8 42 8 42 8 42 8	8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	1 2 2 2 2 2	WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8'	C* TINU C* TINU C* TINU T* TINU C* TINU
2 3 2 3 2 3 2 2 8 2 8 2 8 2 8 2 8 2 8 2 8 2 8	8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	1 2 2 2 2 2 2	WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *9 EN UNIT *8 TINU T* TINU T* TINU T* TINU T* TINU T* TINU T* TINU
22 3 322 3 322 3 322 2 22 2 22 2 22 2 2	8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	1 2 2 2 2 2 2 3	WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS	ENTRY SLIDER SLIDER SLIDER SLIDER SLIDER CLOSET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *9 EN UNIT *8 UNIT *6 TINU *6 TINU *5 UNIT *5 UNIT *5
22) 3 32) 3 32) 3 32) 3 32) 8 32) 8	8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	2 2 2 2 2 3 4	WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *9 EN UNIT *9 UNIT *8 UNIT *6 UNIT *5 UNIT *5 UNIT *5
22) 3 32) 3 22) 3 22) 22) 22 22) 23 22) 24 22) 25 22) 27 22) 28 22) 26 22) 26 26 26 26 26 26 26 26 26 26 26 26 26 2	8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" PR2'-0' × 6'-8" PR2'-0' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	2 2 2 2 2 3 4	WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE CLOSET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *5 EN UNIT *6 UNIT *5 UNIT *5 UNIT *5 UNIT *5 UNIT *5 UNIT *5
22 3 3 3 2 2 3 2 2 2 2 2 2 2 2 2 2 2 2	8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-6' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4	WOOD, GLASS WOOD WOOD WOOD	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE CLOSET PASSAGE PASSAGE	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *5 EN UNIT *5 UNIT *6 UNIT *6 UNIT *5 UNIT *5 UNIT *5 UNIT *5 UNIT *5 UNIT *5
22) 3 32) 3 32) 3 32) 2 22) 2 22) 2 22) 2 22) 2 22) 2 22) 2 21) 2 22) 2 2 22) 2 22) 2 2 22) 2 22) 2 22	8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8" 1'-8' × 6'-8" 1'-8' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	1 2 2 2 2 2 2 3 4 3 4 4 4 4	WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD WOOD WOOD WOOD WOOD	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE CLOSET PASSAGE PASSAGE CLOSET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *5 EN UNIT *6 UNIT *6 UNIT *6 UNIT *5
22 3 3 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 8'-0' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8" 1'-8' × 6'-8" 1'-8' × 6'-8" 1'-8' × 6'-8" 1'-8' × 6'-8" 1'-8' × 6'-8" 1'-6' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4	WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD WOOD WOOD WOOD WOOD WOOD	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE CLOSET PASSAGE CLOSET CLOSET CLOSET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *5 EN UNIT *5 UNIT *6 UNIT *6 UNIT *5
22 3 3 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4 4	WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE CLOSET PASSAGE CLOSET CLOSET CLOSET CLOSET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *9 EN UNIT *9 UNIT *6 UNIT *6 UNIT *5
22 3 3 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" FR2'-0' × 6'-8" FR2'-0' × 6'-8" ''-6' × 6'-8" ''-6' × 6'-8" ''-6' × 6'-8" ''-6' × 6'-8" ''-6' × 6'-8" ''-6' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4	WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD WOOD WOOD WOOD WOOD WOOD	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE CLOSET PASSAGE CLOSET CLOSET CLOSET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *5 EN UNIT *6 UNIT *6 UNIT *6 UNIT *5
22 3 3 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4 4	WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE CLOSET PASSAGE CLOSET CLOSET CLOSET CLOSET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *9 EN UNIT *9 UNIT *6 UNIT *6 UNIT *5
22 3 3 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8" 1'-6' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4 4 4 4	WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 6LIDER CLOSET PASSAGE CLOSET PASSAGE CLOSET CLOSET CLOSET CLOSET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *9 EN UNIT *9 UNIT *9 UNIT *7 UNIT *6 UNIT *5
22 3 3 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 3'-0' × 6'-8" 1'-6' × 6'-8' 1'-6' × 6'-8' 1'-6' × 6'-8' 1'-6' × 6'-8' 1'-6' × 6'-8' 1'-6' × 6'-8' 1'-6' × 6'-8' 1'-6' × 6'-8' 1'-6' × 6'-8' 1'-6' × 6'-8' 1'-6' × 6'-8' 1'-6' × 6'-8'	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4 4 4 4 4	WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE CLOSET PASSAGE CLOSET CLOSET CLOSET CLOSET CLOSET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *9 EN UNIT *9 UNIT *6 UNIT *6 UNIT *5 UNIT *6 UNIT *6 UNIT *6
22 3 3 2 2 3 2 2 2 2 2 2 2 2 2 2 2 2 2	S'-O' × 6'-8" FR2'-O' × 6'-8" S'-O' × 6'-8" FR2'-O' × 6'-8" S'-S' × 6'-8"	1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4 4 4 4 4	WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 6LOSET PASSAGE CLOSET PASSAGE CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET PASSAGE	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *9 EN UNIT *9 UNIT *8 UNIT *6 UNIT *5 UNIT *6 UNIT *6 UNIT *6 UNIT *6 UNIT *6
22 3 3 3 2 2 3 2 2 2 2 2 2 2 2 2 2 2 2	S'-O' × 6'-8" FR2'-O' × 6'-8"	1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4 4 4 4 4 4 4 4 4	WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE CLOSET PASSAGE CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET PASSAGE PASSAGE PASSAGE CLOSET PASSAGE	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *9 EN UNIT *9 UNIT *6 UNIT *6 UNIT *5 UNIT *6
22 3 3 3 2 2 3 2 2 2 2 2 2 2 2 2 2 2 2	S'-0' × 6'-8" FR2'-0' × 6'-8" S'-6' × 6'-8"	1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4 4 4 4 4 4 3 4 3	WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE CLOSET PASSAGE CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET PASSAGE CLOSET PASSAGE PASSAGE CLOSET PASSAGE CLOSET PASSAGE CLOSET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *9 EN UNIT *9 UNIT *9 UNIT *6 UNIT *5 UNIT *6
22 3 3 3 2 2 3 2 2 2 2 2 2 2 2 2 2 2 2	S'-O' × 6'-8" FR2'-O' × 6'-8" S'-O' × 6'-8" FR2'-O' × 6'-8" S'-S' × 6'-8" FR2'-O' × 6'-8"	1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4 4 4 4 4 4 3 4 3	WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 6LOSET PASSAGE CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET PASSAGE CLOSET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *9 EN UNIT *9 UNIT *9 UNIT *6 UNIT *5 UNIT *6
22 3 3 3 2 2 3 2 2 2 2 2 2 2 2 2 2 2 2	S'-0' × 6'-8" FR2'-0' × 6'-8" FR2'-0' × 6'-8" S'-6' × 6'-8" FR2'-0' × 6'-8" S'-6' × 6'-8" FR2'-0' × 6'-8" S'-6' × 6'-8" FR2'-0' × 6'-8"	1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4 4 4 4 4 4 3 4 3	WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE CLOSET PASSAGE CLOSET CLOSET CLOSET CLOSET PASSAGE PASSAGE CLOSET CLOSET PASSAGE	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *9 EN UNIT *9 UNIT *9 UNIT *6 UNIT *5 UNIT *6 UNIT *7
22 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	S'-O' × 6'-8" FR2'-O' × 6'-8" S'-O' × 6'-8" FR2'-O' × 6'-8" S'-S' × 6'-8" FR2'-O' × 6'-8"	1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4 4 4 4 4 4 3 4 3	WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 6LOSET PASSAGE CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET PASSAGE CLOSET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *9 EN UNIT *9 UNIT *9 UNIT *6 UNIT *5 UNIT *6
22 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	S'-0' × 6'-8" FR2'-0' × 6'-8" FR2'-0' × 6'-8" S'-6' × 6'-8" FR2'-0' × 6'-8" S'-6' × 6'-8" FR2'-0' × 6'-8" S'-6' × 6'-8" FR2'-0' × 6'-8"	1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4 4 4 4 4 4 3 4 3	WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE CLOSET PASSAGE CLOSET CLOSET CLOSET CLOSET PASSAGE PASSAGE CLOSET CLOSET PASSAGE	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *9 EN UNIT *9 UNIT *9 UNIT *6 UNIT *5 UNIT *6 UNIT *7
22 3 3 2 2 3 3 2 2 3 3 2 2 3 3 2 2 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 3 3 3 2 3 3 3 2 3 3 3 2 3 3 3 2 3 3 3 3 2 3 3 3 3 2 3	S'-O' × 6'-8" FR2'-O' × 6'-8"	1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4 4 4 4 4 4 4 4 4	WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE CLOSET PASSAGE CLOSET CLOSET CLOSET CLOSET PASSAGE CLOSET CLOSET CLOSET CLOSET PASSAGE	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8' 6'-8'	UNIT *9 EN UNIT *9 UNIT *9 UNIT *7 UNIT *5 UNIT *6 UNIT *7 UNIT *7
22 3 3 2 2 3 3 2 2 3 3 2 2 3 3 2 2 3 3 2 2 3 3 2 2 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 3 2 3	S'-O' × 6'-8" FR2'-O' × 6'-8" S'-S' × 6'-8"	1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4 4 4 4 4 4 4 4 4	WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOGET PASSAGE CLOGET PASSAGE CLOGET CLOGET CLOGET PASSAGE CLOGET PASSAGE CLOGET CLOGET PASSAGE CLOGET PASSAGE CLOGET PASSAGE CLOGET PASSAGE CLOGET PASSAGE CLOGET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8'	UNIT *9 UNIT *9 UNIT *9 UNIT *6 UNIT *5 UNIT *6 UNIT *7 UNIT *7 UNIT *7
22 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	S'-O' × 6'-8" FR2'-O' × 6'-8" S'-O' × 6'-8" S'-O' × 6'-8" FR2'-O' × 6'-8" S'-S' × 6'-8" FR2'-O' × 6'-8"	1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 4 4 4 4 4 4 4 4 4 4 4 4 4	WOOD, GLASS	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOGET PASSAGE CLOGET PASSAGE CLOGET CLOGET CLOGET PASSAGE CLOGET PASSAGE CLOGET CLOGET PASSAGE CLOGET PASSAGE CLOGET PASSAGE CLOGET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8'	UNIT *9 UNIT *9 UNIT *9 UNIT *6 UNIT *5 UNIT *6 UNIT *7 UNIT *7 UNIT *8 UNIT *8
22 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 2 3 3 3 2 3 3 3 2 3 3 3 2 3	S'-O' × 6'-8" FR2'-O' × 6'-8"	1-3/4' 1-3/4'	1 2 2 2 2 2 3 4 3 4 4 4 4 4 4 4 4 4 4 4 4	WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE CLOSET CLOSET CLOSET CLOSET CLOSET PASSAGE CLOSET PASSAGE CLOSET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8'	UNIT *9 UNIT *9 UNIT *9 UNIT *6 UNIT *5 UNIT *6 UNIT *7 UNIT *7 UNIT *7 UNIT *7 UNIT *8 UNIT *8 UNIT *8 UNIT *8 UNIT *8
22 3 3 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	S'-O' × 6'-8" S'-S' × 6'-8"	1-3/4' 1-3/4'	1 2 2 2 2 2 2 3 4 4 4 4 4 4 4 4 4 4 4 4 4	WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD GLASS WOOD WOOD WOO	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 1006ET PASSAGE CLOSET PASSAGE CLOSET CLOSET CLOSET CLOSET PASSAGE CLOSET CLOSET CLOSET CLOSET PASSAGE CLOSET PASSAGE CLOSET PASSAGE CLOSET PASSAGE CLOSET PASSAGE CLOSET CLOSET PASSAGE CLOSET PASSAGE CLOSET CLOSET PASSAGE CLOSET PASSAGE CLOSET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8'	UNIT *9 UNIT *9 UNIT *9 UNIT *6 UNIT *5 UNIT *6 UNIT *7 UNIT *8 UNIT *8 UNIT *8 UNIT *8
22 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	S'-O' × 6'-8" FR2'-O' × 6'-8"	1-3/4' 1-3/4'	1 2 2 2 2 2 2 3 4 4 4 4 4 4 4 4 4 4 4 4 4	WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD, GLASS WOOD	ENTRY 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER 9LIDER CLOSET PASSAGE CLOSET CLOSET CLOSET CLOSET CLOSET PASSAGE CLOSET PASSAGE CLOSET	28 21 21 21 21 21	.18 22 22 22 22 22	TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS TEMP GLASS	6'-8' 6'-8'	UNIT *9 UNIT *9 UNIT *9 UNIT *6 UNIT *5 UNIT *5 UNIT *5 UNIT *5 UNIT *5 UNIT *5 UNIT *6 UNIT *7 UNIT *7 UNIT *7 UNIT *7 UNIT *8

DOOR NOTES

- 1.) ALL NEW DOORS TO BE MINIMUM 20 MINUTE RATED
- 2.) VERIFY ALL DOOR RO. DIMENSIONS IN FIELD BEFORE ANY DOOR FABRICATION. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE IN WRITING THE CORRECT MEASUREMENTS FOR ALL DOORS TO THE DOOR MANUF.
- 3.) ALL FRENCH DOORS & FOLDING DOORS TO BE TEMPERED DUAL LOW-E GLAZING, PER FIRE CODE SEC. 10-83
- 4.) ALL TRANSOMS ABOVE DOORS TO BE TEMPERED DUAL LOW-E GLAZING, PER FIRE CODE SEC. 10-83.
- 5.) FOR WOOD DOORS, THE HEAD, JAMBS & THRESHOLD BY MANUF. AND TO BE PAINTED, OWNERS TO SELECT COLOR.
- 6.) INTERIOR TO BE PAINTED, U.N.O., OWNERS TO SELECT COLOR.
- 1.) ALL MOLDING TO BE PAINTED, OWNERS TO SELECT COLOR.
- 8.) MATCH FINISH WINDOW/DOOR HEAD HEIGHT WHERE APPLICABLE.
- 9.) THE NFRC THERMAL PERFORMANCE LABEL SHALL REMAIN ON DOORS UNTIL FINAL INSPECTION.

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VALERIE SKOWRON 2221 OAK PARK LANE SANTA BARBARA, CA 93105

PROJECT

2221 OAK PARK LANE

Sheet title

DOOR SCHEDULE

REVISIONS

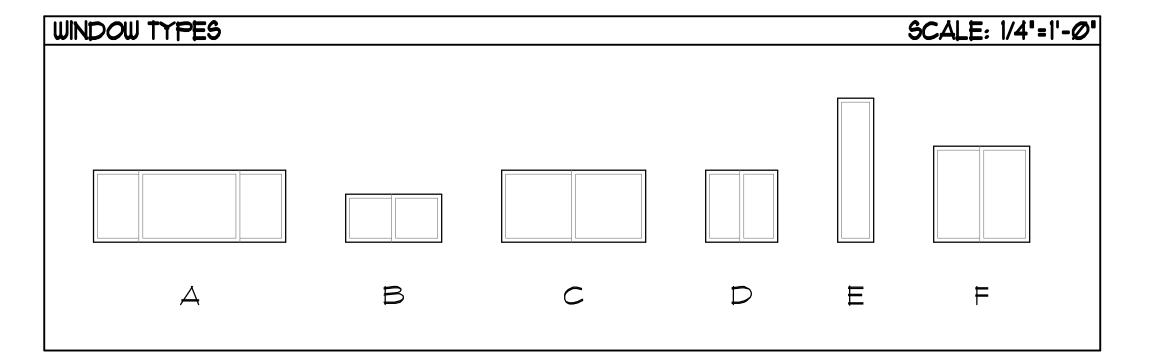
PROJECT #

22210AKPARKLANE

DATE DRAWN

SHEET NO.

A-8.1



بـ										
	WINDOW SIZE	WINDOW TYPE	CONSTRUCTION / MATERIAL	DESCRIPTION	U-FACTOR	SHGC	REMARKS:	SILL HGT.	HDR HGT. SEE FRAMING	LOCATION
	IST FLOOR									
ij	8'-0" × 3'-0"	A	METAL CLAD	SLIDE/FIX/SLIDE	.27	.21	DUAL PANE, EGRESS	3'-8'	6'-8'	UNIT #
2	4'-@" × 2'-@"	В	METAL CLAD	SLIDER	28	.21	DUAL PANE, FROSTED GLASS	4'-8'	6'-8'	UNIT #
3	6'-0' × 3'-0'	C	METAL CLAD	SLIDER	.27	.21	DUAL PANE	3'-8'	6'-8'	UNIT #
4)	6'-0' × 3'-0'	С	METAL CLAD	SLIDER	<i>2</i> 7	.21	DUAL PANE	3'-8'	6'-8'	UNIT *2
$\overline{\mathfrak{D}}$	4'-@" × 2'-@"	В	METAL CLAD	SLIDER	28	.21	DUAL PANE, FROSTED GLASS	4'-8'	6'-8'	UNIT 12
5	8'-0" × 3'-0"	A	METAL CLAD	SLIDE/FIX/SLIDE	.27	.21	DUAL PANE, EGRESS	3'-8'	6'-8'	UNIT *2
Ū	4'-0" × 2'-0"	В	METAL CLAD	SLIDER	28	.21	DUAL PANE, FROSTED GLASS	4'-8'	6'-8'	UNIT *3
<u> </u>	6'-0' × 3'-0'	c	METAL CLAD	SLIDER	.27	.21	DUAL PANE	3'-8'	6'-8'	UNIT *3
3	6'-0' × 3'-0'	c	METAL CLAD	SLIDER	.27	.21	DUAL PANE	3'-8'	6'-8'	UNIT *4
<u></u>	4'-@" × 2'-@"	В	METAL CLAD, FROSTED GL	4.96IDER	.28	.21	DUAL PANE, FROSTED GLASS	4'-8'	6'-8'	UNIT *4
ij	3'-@" × 3'-@"	Þ	METAL CLAD	SLIDER	.28	.21	DUAL PANE	3'-8'	6'-8'	(E) STORAGE
2)	8'-0" × 3'-0"		METAL CLAD	SLIDE/FIX/SLIDE	.27	.21	DUAL PANE, EGRESS	3'-8'	6'-8'	UNIT *4
3	8'-0" × 3'-0"	A	METAL CLAD	SLIDE/FIX/SLIDE	.27	.21	DUAL PANE, EGRESS	3'-8'	6'-8'	UNIT *3
Ð	8'-0" × 3'-0"	A	METAL CLAD	SLIDE/FIX/SLIDE	.27	.21	DUAL PANE, EGRESS	3'-8'	6'-8'	UNIT *2
5	8'-0" × 3'-0"	A	METAL CLAD	SLIDE/FIX/SLIDE	.27	.21	DUAL PANE, EGRESS	3'-8'	6'-8'	UNIT #
<u> </u>	1'-6" × 6'-0"	E	METAL CLAD	FIX	26	.23	DUAL PANE	5'-2"	6'-8'	UNIT #
7)	1'-6" × 6'-0"	ĪE	METAL CLAD	FIX	26	23	DUAL PANE	5'-2"	6'-8'	UNIT #1
	2ND FLOOR	_!			l	1			l	
s)	8'-@' × 3'-@'	T _A	METAL CLAD	SLIDE/FIX/SLIDE	.27	.21	DUAL PANE, EGRESS	3'-8'	6'-8'	UNIT #5
_	4'-@" × 2'-@"	_	METAL CLAD	SLIDER	28	.21	DUAL PANE, FROSTED GLASS	4'-8'	6'-8'	UNIT #5
$\overline{}$	6'-0' × 3'-0'	c	METAL CLAD	SLIDER	.27	.21	DUAL PANE	3'-8'	6'-8'	UNIT #5
$\overline{}$	6'-0' × 3'-0'	 c	METAL CLAD	SLIDER	.27	.21	DUAL PANE	3'-8'	6'-8'	UNIT *6
₹	4'-@" × 2'-@"	В	METAL CLAD	SLIDER	28	.21	DUAL PANE, FROSTED GLASS	4'-8'	6'-8'	UNIT *6
$\overline{}$	8'-@' × 3'-@'	┪	METAL CLAD	SLIDE/FIX/SLIDE		.21	DUAL PANE, EGRESS	3'-8'	6'-8'	UNIT *6
╗		_	METAL CLAD	SLIDER	28	.21	DUAL PANE, FROSTED GLASS	4'-8'	6'-8'	UNIT #1
$\overline{}$	6'-0' × 3'-0'	_	METAL CLAD	SLIDER	.27	21	DUAL PANE	3'-8'	6'-8'	UNIT #1
$\overline{}$	6'-0' × 3'-0'	T_c	METAL CLAD	SLIDER	.27	.21	DUAL PANE	3'-8'	6'-8'	UNIT *8
╗	4'-@" × 2'-@"	+	METAL CLAD	SLIDER	28	.21	DUAL PANE, FROSTED GLASS	4'-8'	6'-8'	UNIT *8
1		_	METAL CLAD	SLIDER	.28	.21	DUAL PANE, FROSTED GLASS	4'-8'	6'-8'	UNIT #9
╮		_	METAL CLAD	SLIDER	27	.21	DUAL PANE	3'-8'	6'-8'	UNIT #9
╮		+	METAL CLAD	SLIDER	27	21	DUAL PANE	2'-8'	6'-8'	UNIT *4
$\overline{}$	8'-@' × 3'-@'	+	METAL CLAD	SLIDE/FIX/SLIDE		21	DUAL PANE, EGRESS	3'-8'	6'-8'	UNIT *8
╗			METAL CLAD	SLIDE/FIX/SLIDE		21	DUAL PANE, EGRESS	3'-8'	6'-8'	UNIT #T
╗	8'-@' × 3'-@'	_	METAL CLAD	SLIDE/FIX/SLIDE		.21	DUAL PANE, EGRESS	3'-8'	6'-8'	UNIT #6
2) 4)		+	METAL CLAD	SLIDE/FIX/SLIDE		21	DUAL PANE, EGRESS	3'-8'	6'-8'	UNIT #5
$\overline{}$		+	METAL CLAD	FIX	26	23	DUAL PANE	5'-2"	6'-8'	UNIT #5
<u>5</u>	1'-6' × 6'-0'	_	METAL CLAD	FIX	26	23	DUAL PANE	5'-2"	6'-8'	UNIT #5

<u>WINDOW NOTES:</u> 1.) SEE DETAILS ON SHEET A-9.1

- 2.) VERIFY ALL WINDOW R.O. DIMENSIONS IN FIELD BEFORE ANY WINDOW FABRICATION. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE IN WRITING THE CORRECT MEASUREMENTS FOR ALL WINDOWS TO THE WINDOW MANUF.
- 3.) ALL WINDOWS TO BE DUAL LOW-E GLAZING, PER FIRE CODE SEC. 10-83.
- 4.) ALL TRANSOMS ABOVE WINDOWS TO BE TEMPERED DUAL LOW-E GLAZING, PER FIRE CODE SEC. 10-83.
- 5.) FOR WOOD WINDOWS, THE HEAD, JAMBS & SILL BY MANUF. AND TO BE PAINTED, OWNERS TO SELECT COLOR.
- 6.) INTERIOR TO BE PAINTED, U.N.O., OWNERS TO SELECT COLOR.
- 7.) ALL MOLDING TO BE PAINTED, OWNERS TO SELECT COLOR.
- 8.) MATCH FINISH WINDOW/DOOR HEAD HEIGHT WHERE APPLICABLE.
- 9.) MATCH FINISH WINDOW/DOOR HEAD HEIGHT WHERE APPLICABLE.
- 10.) THE NFRC THERMAL PERFORMANCE LABEL SHALL REMAIN ON WINDOWS UNTIL FINAL INSPECTION.

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VALERIE SKOWRON 2221 OAK PARK LANE SANTA BARBARA, CA 93105

PROJECT

2221 OAK PARK LANE

Sheet title

WINDOW SCHEDULE

REVISIONS

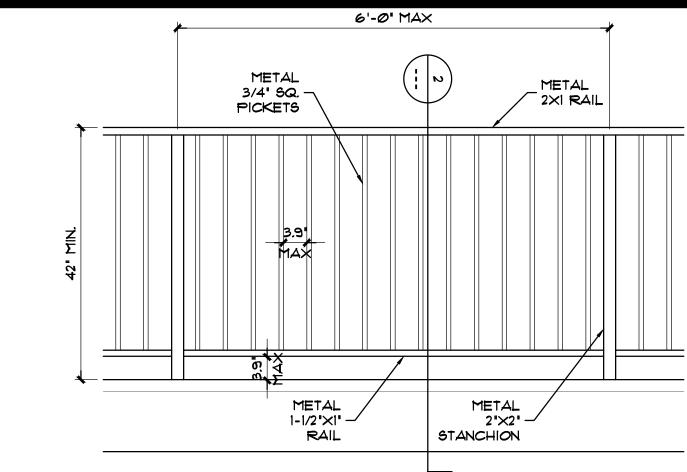
PROJECT #

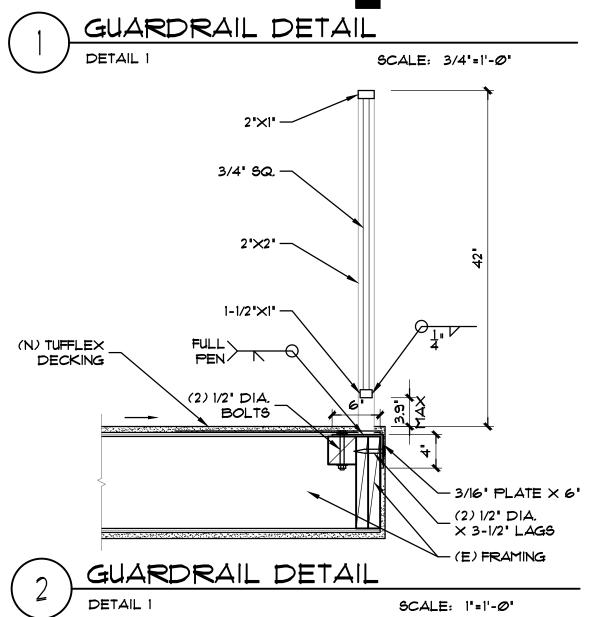
22210AKPARKLANE

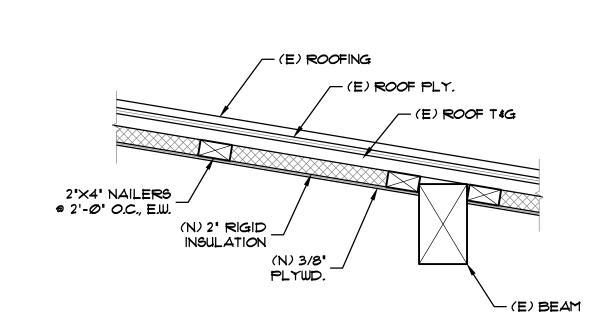
DATE DRAWN

SHEET NO.

A-8.2









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PROJECT

2221 OAK PARK LANE

Sheet title

REVISIONS

PROJECT #

22210AKPARKLANE DATE DRAWN

SHEET NO.

A-9.1

ERVICE: 120/240V 1Φ	3VV		MA	IN BI	(R.:	MLC)				BUS	5: 2:	25A				LOC: LAUNDRY
																	MTG.: FLUSH
REMARKS	LO	AD	R	L T	M I	P	T R	C	C	T R	P	R E	L	M	LO	AD	REMARKS
	ΦА	ФВ	C	G	s c	L E	P	R	R	I P	L E	С	G	S	ФА	ΦВ	
ELECTRIC DRYER	2500		1			2	30	1	2	40	2			1	3600		EV CHARGER
101/		2500				Х	X	3	4	Х	X			1		3600	.11
WASHER	1200		1			1	20	5	6	40	2			1	3600		- 40
LAUNDRY RM		500	2	2				7	8	X	Х					3600	31
EXTREC	540	100000000000000000000000000000000000000	3					9	10	40	2			1	3600	- Assumotive	-10
EXT LIGHTS		600		12				11	12	Х	Х			1		3600	41
RRIGATION CONTROL	100				1			13	14	40	2			1	3600		- 40
SPARE								15	16	Х	X					3600	31
ii.								17	18								SPACE
•								19	20								11
								21	22								31
1,00								23	24								31
110					11.7			25	26								311
SPACE								27	28					1-1			11
1						1		29	30								- 11
, N.S.								31	32			,)					30
ii.								33	34								-311
Tir.								35	36					1			11
1						1		37	38								-11
(1)								39	40								30
п								41	42		- 11						:11
OTAL WATTS= 36740			ФА=	18.7	40		-			ΦR=	18,0	000		<u> </u>			5

ERVICE: 120/240V 1Φ:	3W		MA	N BI	KR.:	ML	О					BUS	3: 1:	25A				LOC.: SEE PLAN
QUARE D HOMELINE	OR EQ	UAL	*******	-	-	- Allerton												MTG.: FLUSH
REMARKS	LOAD		R	T	M 1	P 0 L	T R	0 -		C	T R	0	R E	L T	M	LOAD		REMARKS
	ФА	ФВ	C	G	s c	L	P	RC		R	P	L	С	G	s c	ФА	ФВ	MAINTANNA.
SMALL APPLIANCE				22 2		1	20	1		2	30	2			1			HP UNIT
.10						1	20	3		4	X	Х						
DISHWASHER			9	77	85	1	20	5	*	6	30	2	8 - 8		1			HP WH
DISPOSAL						1	20	7		8	X	X						
MICROWAVE		,				1	20	9		10	15	2			1			FC UNIT
SPARE				et		1	20	11		12	X	Х	7 6					
MOKE DETECTORS						1	20	13		14	50	2	1					RANGE
BATHROOM				8		1	20	15	4	16	X	X	2		- 0			W
						1	20	17		18	20	1	1					SPARE
GEN LTG						1	20	19		20	20	1	0 1					
0				0		1	20	21		22	20	1	R 9				U.	,
- 0				8 .		1	20	23		24	20	1					1	7
				8					ë N									

LUG, TYPICAL-BOND TO BUILDING-STRUCTURAL STEEL - NEUTRAL BUS - MAIN BONDING JUMPER - GROUND BUS -BOND TO METAL PIPING CONNECT TO-SYSTEMS : COLD WATER GROUND ROD PIPING, GAS PIPING, ETC. BONDING DIAGRAM

100/2

SCALE: NONE

100/2

SINGLE LINE DIAGRAM

3

ROD

ROD

#2/3 SER W/ #8GND -

SCALE: NONE +--(2)4"C. W/ SCE CONDUCTORS 600/2 BONDING C SEE B EO. 600A BUS 120/240V 103M

100/2

100/2

100/2

100/2

100/2

100/2

TYPICAL UNIT ELECTRICAL LOAD CALCULATION

tem#	DESCRIPTION	QTY.	VA	%VA	TOTAL VA
A.	Lighting & Receptacle, Required Appliance and Laundry				
	Loads				
	1. Lighting & Receptacles: ENTER QTY. IN SQ. FT . =>	900	3		2,70
	2. Small Appliance Circuits:	2	1,500		3,00
	3. Laundry Circuits:	0	1,500		
	SUBTOTAL				5,70
	N.E.C. Demand for above loads (per N.E.C. Table 220-11)			- 55500 - 500.	
	1. First 3,000 VA @ 100%		3,000	100%	3,00
	2. Next 117,000 VA @ 35%		2,700	35%	94
	3. Remaining Load @ 25%		D	25%	
	SUBTOTAL FOR ITEM A:		1		3,94
В.	Fixed appliances			1	200 0000
	Microwave	1	1,000	100%	1,00
	Dishwasher	1	800	100%	80
	Disposal	1	850	100%	85
				75%	
				75%	
				75%	
				75%	
				75%	
				75%	
				75%	
			36	75%	
				100%	
				100%	
	SUBTOTAL FOR ITEM B:				2,65
C.	HP/FC	1	3,000	100%	3,00
D.	4P0CT(8P14-P2TC)	7.7	(400) (400)	100%	
E.	HP WH	1	4,500	100%	4,50
F.				100%	1
G.				100%	
H.				100%	
l.			1	100%	
J.				100%	
K.				100%	
L.				100%	
M.				100%	
N.		- 4		100%	
0.				100%	
P.				100%	
Q.	Electric Range	4	8,000	100%	8,00
V-194	SUBTOTAL FOR ITEMS C THRU END::		0.62000	20 P-21000	15,50
	TOTAL DWELLING UN	IT LOAD	2 120/240V.	1 PHASE	22,09
	TOTAL DWELLING UNIT LOAD				92.

ELECTRICAL LOAD CALCULATIONS 6.563 SF X 3VA/SF 19,689**VA** 18 SMALL APPLIANCE CIRCUIT: 18X1500VA 27,000VA 9 RANGES @ 8000VA 72,000**VA** 9 APPLIANCES (MICRO, D/W, DISP) @ 2650 23,850VA 9 HP/FC UNITS @ 3800VA = 34,200**VA** 9 HP WH @ 4500VA = 40,500**VA** SUBTOTAL = 217,239**VA** CEC 220,84 43% = 93,413**VA** At 120/240v 1Ph 3W = 389A Panel H = 153 A

TOTAL = 542A

UGPS/MAIN

<u>(N)METERING</u>

-COMMERCIAL

METER

- 2"C. W/ 3#3/O, 1#6GND

GENERAL NOTES

- 1. VISIT JOB SITE AND VERIFY EXISTING CONDITIONS PRIOR TO BID.
- 2. THE ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES. WHERE PLANS CALL FOR A HIGHER STANDARD THAN APPLICABLE CODES, THE PLANS SHALL GOVERN.
- 3. CONDUIT RUNG ARE SHOWN DIAGRAMMATICALLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD TO SUIT FIELD CONDITIONS.
- 4. ALL ELECTRICAL EQUIPMENT, APPLIANCES AND LIGHTING FIXTURES SHALL BE LISTED BY A REGOGNIZED TEST LAB AND BEAR THAT LABEL OF APPROVAL
- 5. CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIAL AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
- 6. FURNISH DISCONNECT SWITCHES AT REMOTE MOTORS.
- 7. ALL SPACES AS INDICATED ON PANELS OR SWITCHBOARDS SHALL BE COMPLETE WITH HARDWARE AND BUSSING FOR FUTURE BREAKER OR
- B. CHECK ARCHITECTURAL PLANS FOR DOOR SWINGS BEFORE INSTALLING SWITCH OUTLETS.
- 9. GROUNDING AND BONDING SHALL BE PER CODE PLUS ANY ADDITIONAL PROVISIONS SPECIFIED OR SHOWN ON DRAWINGS.
- IO. ALL CONDUIT RUNG SHALL CONTAIN A CODE SIZED GREEN GROUND WIRE
- THESE PLANS ARE NOT COMPLETE UNTIL APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- 12. ALL FEEDER CONDUCTORS SHALL BE IN CONDUIT. BRANCH CIRCUITS MAY BE NON-METALLIC SHEATHED CABLE
- 19. ALL CONDUCTORS SHALL BE COPPER WITH TYPE THHN/THWN INSULATION.
- 14. COORDINATE WITH SERVING ELECTRICAL UTILITY COMPANY AND MAKE PROVISIONS FOR ELECTRICAL SERVICE ACCORDINGLY. INCLUDE ALL SERVICE COSTS AND UTILITY COMPANY CHARGES IN BID.
- 15. COORDINATE WITH SERVING TELEPHONE UTILITY COMPANY AND MAKE PROVISIONS FOR TELEPHONE SERVICE ACCORDINGLY. INCLUDE ALL SERVICE COSTS AND ANY UTILITY COMPANY CHARGES IN BID.
- 16. COORDINATE WITH SERVING CABLE TELEVISION COMPANY AND MAKE PROVISIONS FOR CABLE TELEVISION SERVICE ACCORDINGLY. INCLUDE ALL SERVICE COSTS AND ANY UTILITY COMPANY CHARGES IN BID.
- 17. ALL PERMITS SHALL BE OBTAINED AND PAID FOR BY CONTRACTOR.
- 18. ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHEN, FAMILY ROOM, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FALLT/BRANCH CIRCUIT INTERRUPTER, COMBINATION TYPE, A BRANCH/FEEDER TYPE, A LISTED SUPPLEMENTAL ARC PROTECTION CIRCUIT BREAKER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. [CEC 210.12(A)(1)THROUGH(6)]
- 19. ALL NON-LOCKING TYPE 125-VOLT, 15 AND 20 AMPERE RECEPTACLES IN A PWELLING UNIT SHALL BE LISTED TAMPER-RESISTAN RECEPTACLES. (EXCEPTIONS: (I)RECEPTACLE MORE THAN 5'-6" ABOVE THE FLOOR (2) RECEPTACLES PART OF A LUMINAIRE OR APPLIANCE, (3)A SINGLE RECEPTACLE OR A DUPLEX RECEPTACLE FOR TWO APPLIANCES THAT ARE NOT EASILY MOVED AND LOCATED WITHIN DEDICATED SPACE AND ARE CORD-AND-PLUG CONNECTED AS PER CEC 400.10(A)(6), (A)(7) OR (A)(8), AND (4)NON-BROUNDING RECEPTACLES USED FOR REPLACEMENTS AS PERMITTED IN CEC 4064(DX2), [CEC 40612].
- 20. SMOKE DETECTORS SHALL BE 120V, PHOTOELECTRIC/ION COMBINATION UNITS WITH BATTERY BACK UP. THEY SHALL BE INTERCONNECTED.
- 21. HALLWAY DETECTOR SHALL BE COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR. THEY SHALL BE INTERCONNECTED WITH SMOKE
- 22. LIGHT FIXTURES IN BATHTUB OR SHOWER AREAS SHALL BE MARKED "AS SUITABLE FOR DAMP LOCATIONS" PER CEC 410.10.
- 23. WP EXTERIOR RECEPTACLES SHALL HAVE HUPPEL #ML500 EXTRA DUTY COVERS OR EQUAL ALL RECEPTACLES IN DAMP OR WET (WP) SHALL BE LISTED WEATHER-RESISTANT TYPE AND DE GECI. [CEC 406.9].
- 24. MANUFACTURER'S LITERATURE SHOWING PROPOSED LED LIGHT FIXTURES ARE HIGH EFFICACY AND CALIFORNIA CERTIFIED IS TO BE ON SITE AT THE TIME OF FIELD INSPECTION. CALIFORNIA ENERGY CODE 150.
- 25. AT LEAST ONE FIXTURE INSTALLED IN GARAGES, CLOSETS, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR PER CALIFORNIA ENERGY CODE 150(K)2.
- 26. AT LEAST ONE LIGHT FIXTURE IN EACH BATHROOM SHALL BE CONTROLLED BY A VACANCY SENSOR PER CALIFORNIA CODE 150(K)2.
- 27. TWO MINIMUM I" DIAMETER METALLIC CONDUITS SHALL BE PROVIDED THAT ORIGINATE AT A READILY ACCESSIBLE ATTIC LOCATION WITH PROXIMITY TO A GOLAR ZONE AREA COMPLYING WITH CALIFORNIA ENERGY CODE, SECTION 110.10 AND TERMINATE AT A MINIMUM 4" FROM THE ELECTRICAL PANEL. THE ELECTRICAL PANEL JUNCTION BOX AND SEGMENT OF CONDUIT RUN IN THE ATTIC SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR.
- 28. RECESSED LUMINARIES INSTALLED IN INSLLATED CEILINGS SHALL HAVE AN I.C. RATING AND SHALL BE CERTIFIED AS AIR TIGHT.
- 29. LUMINARIES WITH SCREW BASE SOCKETS SHALL NOT BE RECESSED IN A CEILING.
- 30. LLMINARIES WITH SCREW BASE SOCKETS SHALL BE MARKED AS JAS-2019-E COMPLIANT AND SHALL ONLY CONTAIN JAB COMPLIANT
- 31. ALL JAB COMPLIANCE LUMINARIES SHALL BE CONTROLLED BY DIMMERS OR VACANCY SENSORS.
- 32. WHERE BRANCH-CIRCUIT WIRING IS MODIFIED, REPLACED OR EXTENDED IN AREAS SPECIFIED IN CEC 1/0.12(A), THE BRANCH CIRCUIT SHALL BE PROTECTED BY EITHER A LISTED COMBINATION-TYPE AFCI LOCATED AT THE ORIGIN OF THE BRANCH CIRCUIT OR A LISTED OUTLET BRANCH-CIRCUIT TYPE AFCI LOCATED AT THE FIRST RECEPTAGLE OF THE EXISTING BRANCH CIRCUIT. PLEASE NOTE THIS ON PLANS. CEC 2/08].
- 33. ALL KITCHEN COUNTERTOP RECEPTACLES ARE TO BE GECI PROTECTED. RECEPTACLES WITHIN & FEET FROM THE TOP INSIDE EDGE OF THE BOWL OF THE SINK, RECEPTACLES WITHIN & FEET OF THE OUTSIDE EDGE OF ANY BATHTUB OR SHOWER STALL, AND RECEPTACLES IN LAUNDRY AREAS ARE TO BE GFCI PROTECTED. [CEC 2/0.8].

SYMBOLS

--- CONDUIT EXISTING CONDUIT CONCEALED IN WALL OR CEILING

- CONDUIT CONCEALED UNDER FLOOR OR BELOW GRADE

CONDUIT STUBBLED OUT AND CAPPED

O- CONDUIT TURNED UP

CONDUIT TURNED DOWN

HATCH MARKS INDICATE NO. OF #12 WIRES IN CODE SIZED CONDUIT (3) MAX. IN 1/2" C., (5) MAX. IN 3/4" C.,

(8) MAX. IN I'C., NO MARKS = 2#12

HOME RUN: LETTER INDICATES PANEL, NUMBER(S) INDICATES

SAWCUT GROUND CONNECTION

DISTRIBUTION SWITCHBOARD OR PANEL

PANEL, BRANCH CIRCUIT TYPE, SURFACE AND FLUSH

SIGNAL TERMINAL CABINET, SURFACE & FLUSH

FLUCRESCENT FIXTURE

OUTLET DATA: BAR INDICATES WALL MOUNT, LETTER INDICATES SWITCH CONTROL, NO. INDICATES CIRCUIT.

SURFACE FIXTURE ON FLUSH OUTLET.

LIGHT FIXTURE WITH JUNCTION BOX ABOVE FOR THRU WIRING EXIT LIGHT WITH ARROWS AS SHOWN ON PLANS, WALL AND CEILING MOUNT

 \boxtimes LOW LEVEL EXIT SIGN, +6" AFF, +4" FROM DOOR JAMB LIGHT FIXTURE DESIGNATION, LETTER INDICATES TYPE. NO. INDICATES WATTAGE. SEE FIXTURE SCHEDULE.

MECHANICAL EQUIPMENT DESIGNATION. SEE MECHANICAL DRAWINGS.

SPECIAL RECEPTACLE - SEE PLAN $M \rightarrow$ METER

FLUSH FLOOR RECEPTACLE

RECEPTACLE, DUPLEX, ISA, 125V, NEMA 5-ISR +18" UND.

DUPLEX RECEPTACLE MTD. ABOVE BACKSPLASH

DUPLEX RECEPTACLE W/LOWER HALF SWITCHED

GROUND FAULT CIRCUIT INTERRUPTING RECEPTACLE DOUBLE DUPLEX RECEPTAGLE

CEILING RECEPTACLE

 \rightarrow RECEPTACLE, DUPLEX, 20A, 125V, NEMA 5-20R +18" UND

JUNCTION BOX 4" SQUARE, 1-1/2" DEEP UNO.

THERMOSTAT F.B.O. +48"

12/ MOTOR, NO. INDICATES HORSEPOWER

CLOCK OUTLET +7-6" LIND.

DISCONNECT SWITCH, NON-FLISED

DISCONNECT SWITCH FUSED HORSEPOWER RATED OR SIZED AS

COMBINATION MAGNETIC STARTER WITH DISCONNECT SWITCH AND

MAGNETIC MOTOR STARTER W/OVERLOADS IN EACH PHASE

DIMMER W/INTEGRAL "ON-OFF" SW.

PUSHBUTTON

PHOTOCELL

SMOKE DETECTOR

TELEPHONE/COMPUTER/DATA OUTLET, TWO GANG BOX W/I GANG

COVERPLATE & GROMMETED OPENING +18" LINO.

CABLE TV OUTLET +18" UND.

MOTION SENSOR

EXISTING SWITCH

SINGLE POLE SWITCH

DOUBLE POLE SWITCH QUIET TOOGLE TYPE RATED AT 20A, 120/277V A.C. +42" UNO.

THREE WAY SWITCH

SWITCH W/PILOT LT.

MANUAL MOTOR STARTER

FIRE ALARM CONTROL PANEL GROUND FALLT CIRCUIT INTERRUPTING

LABOR SAVING TANDEM

MLO MAIN LUGS ONLY

CONDUIT ONLY

FURNISHED BY OTHERS, INSTALL & CONNECT U.N.O. UNLESS NOTED OTHERWISE

WEATHERPROOF

NATIONAL ELECTRICAL CODE NOT IN CONTRACT

EXISTING

REMOVE

RELOCATE

SURFACE MOUNT UNDERGRAUND

CWP COLD WATER PIPE ABOVE FINISHED FLOOR

HEATING AND AIR CONDITIONING RATED CIRCUIT BRE

NOTE: NOT ALL SYMBOLS SHOWN ARE USED ON THIS PROJEC

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ARCHITECTURE & PLANNING

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CLIENT

VALERIE SKOWRON 2221 OAK PARK LANE SANTA BARBARA, CA 93105

PROJECT

2221 OAK PARK LANE

Sheet title

ELECTRICAL NOTES, SYMBOLS AND DETAILS

REVISIONS

S 627 OLIVE STREET PROJECT # EANTA BARBARA CA 98101 (805) 569-9218 FAX (906) 569-2406 22210AKPARKLANE umail : malensy8jmps.nsf

ELECTRA AL ENGINEERING

LIGHT NG DESIGN

CA REGIST ATION NO E13083

23839

Sheet No.

DATE DRAWN

	TIFICATE OF INSTALLATION		CALIFORNIA ENERGY COR	CF2R-LTG
Ligh	ting - Single Family Dwellings			(Page
Proje:	Name: 2221 CAK PARK LANE	Enforcement Agency:	Fermit Number,	1.5100196100
Decli	g Address.	Chy	Zip Code.	
	nstalled Lighting and Controls);	
	ct Yes or No according to whether your work on the proj Sections B through H for applicable requirements.	ect includes each of the following typ	oes of lighting and controls.	Yor
01	High Efficacy Juminaires installed in any interior rooms	s. (See Section B.)	- 7	1,00
02	JA8 compliant luminaires and controls installed in any	21.5 (C. 1) 1 (C. 1)		
03	Recessed downlight luminaire in ceilings in any interio	r rooms. (See Section C.)		
04	Screw-based luminaires installed in any interior rooms	s, (See Section D.)	7	
05	Enclosed or recessed luminaires installed in any interior	or rooms. (See Section D.)		
06	Lighting and controls in bathrooms. (See Section E.)			
07	Lighting and controls in laundry rooms. (See Section E			
80	Lighting and controls in utility rooms. (See Section E.)			
10	Lighting and controls in garage. (See Section E.)			
10	Outdoor lighting and controls. (See Section H.) Blank electrical boxes installed more than 5 feet from	finished floor /See Sertion E.V		
12	Internally illuminated address signs. (See Section G.)	minaneu noor, (see section r.)		
)	4		73	ă).
B, H	ligh Efficacy Luminaires and Controls	M NEUTRALITATIO		
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01	 Light sources of one of the lighting technolo IAS compliant light sources and the light sou 			
02	150.0(k)2J: Dimming controls for all luminaires with di vacancy sensors.			occupancy
03	150.0(k)2A: Forward phase cut dimmers used with LEI	Stight on year shall comply with NEW	(A CC) 7A	
	ecessed Downlight Luminaires in Ceilings	80. 8	uirements in this table have be	
C. R 01 02	ecessed Downlight Luminaires in Ceilings 150.0(k)1Cv: Do not contain screw based sockets, The luminaire shall be marked with "JA8-2019".	83. 8		
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	F2R-LTG-01-E (Revised 01/20) TIFICATE OF INSTALLATION		CF2R-LTG-01-E						
50153									
3116567	iting – Single Family Dwellings	Enforcement Agency:	(Page 2 of 3)						
	thand 2221 OAK PARK LANE	The Assessment of the Assessme	100000000000000000000000000000000000000						
Jecu	'g -dd-ess.	City.	Σρ Code.						
E. A	dditional Lighting Controls								
01	150.0(k)2J: In bathrooms, garages, laundry rooms, and		in each of these spaces is controlled by an						
OL	occupant or vacancy sensor providing automatic-off functionality.								
02	150.0(k)2B: Exhaust fans are controlled separately from	공사하다 하면 경기를 이루었는 사람들이 있는 사람들이 아니는 아니는 사람들이 사용하다 만든 것이다.	[24] [25] [25] [25] [25] [25] [25] [25] [25						
03	150.0(k)2C: Lighting has readily accessible wall-mount								
04	150.0(k)2D: Lighting controls and equipment are instal								
05	150.0(k)2E: No controls bypasses a dimmer, occupancy to comply with Section 150.0(k)	y sensor or vacancy sensor function wh	ere that dimmer or sensor has been installed						
06	150.0(k)2F: Lighting controls comply with the applicab								
2000	150.0(k)2G: Energy Management Control Systems use								
07	control in accordance with Section 110.9, meet the installation certificate requirements in Section 130.4, meets the EMCS requirements in Section 130.0(e), and complies with all other applicable requirements in Section 150.0(k)2.								
08	150.0(k)2H: A multi-scene programmable controller u accordance with Section 110.9, and complies with all of								
09	150.0(k)2K: Undercabinet lighting is controlled separa	tely from ceiling installed lighting.							
The	responsible person's signature on this compliance docu	ment affirms that all applicable requi	rements in this table have been met.						
F. B	lank Electrical Boxes								
01	150.0(k)1B; The number of blank electrical boxes insta								
	other device, are not greater than the number of bedr	: THE THE THE TO THE TOTAL CONTROL OF THE TOTAL CONTROL OF THE	30 (1981) P. P. O. P. M.						
The	responsible person's signature on this compliance docu	ment affirms that all applicable requi	rements in this table have been met.						
3. /	Address Signs								
	150.0(k)4: Internally illuminated address signs. Interna	lly illuminated address signs shall eithe	WC						
01	 Comply with Section 140.8. Applicable nonre 	sidential sign lighting compliance form	s shall also be submitted; or						
	 Consume no more than 5 Watts of power. 								
The	responsible person's signature on this compliance docu	ment affirms that all applicable requi	rements in this table have been met.						
	March Low Report Condense of Property States Appelle								
_	ingle Family Outdoor Lighting	ability at 100 Bale as one at 100 Bale							
01	150.0(k)1A and Table 150.0-A: High efficacy outdoor lip		70 C C C C C C C C C C C C C C C C C C C						
	1 150 0/k)34: Outdoor lighting is controlled by a manual	ON and OFF quittels that same its access	fithe full accion actions attached						

150.0(k)3A: Outdoor lighting is controlled by a manual ON and OFF switch that permits one of the following automatic actions:

The responsible person's signature on this compliance document affirms that all applicable requirements in this table have been met.

Controls that override to ON shall not be allowed unless the override automatically returns the automatic control to its normal operation

An energy management control that provides the specified lighting control functionality and complies with all requirements applicable to

Registration Date/Time:

Controlled by a photocell and either a motion sensor or an automatic time switch control; or

Controlled by an astronomical time clock control.

the specified controls may be used to meet the above requirements.

CA Building Energy Efficiency Standards - 2019 Residential Compliance

Responsible Builder/Installer St	gnature:			
Position With Company (Lide):	Company (1/zle):			
CSLB License:				
Phone:	Date Signed:			
	-ii.			
	Position With Company (1 de): CSLB License:			

CA Building Energy Efficiency Standards - 2019 Residential Compliance

STATE OF CALIFORNIA

Lighting – Single Family Dwellings CEC-CF2R-LTC-01-E (Revised 01/20)

CERTIFICATE OF INSTALLATION

Lighting - Single Family Dwellings

Secondary Coverings	Enforcement Agency.	Permit Number,	CF2R-LTG-01-E User Instructions
Froject Name: 2221 OAK PARK LAVE Decling Address:	City	Zis Code.	There are two version of the residential lighting Certificate of Installation. This version, the CF2R-LTG-01-E, is primarily used for
30-20-38 45-46-6-7-20-4-7	30011		demonstrating compliance with the residential lighting Standards for single-family dwellings.
DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	90		The LTG-01 shall also be used to demonstrate compliance with the residential lighting requirements for high-rise residential dwelling units;
 I certify that this Certificate of Installation documentation is ac 	1 P. C.	20	outdoor lighting that is attached to a high-rise residential or hotel/motel building, and is separately controlled from the inside of a dwelling unit
Documentation Author Name:	Documentation Author Signature		or guest room; fire station dwelling accommodations; hotel and motel guest rooms; and, dormitory and senior housing dwelling
Documentation Author Company Name:	Date Signed		accommodations. When using the CF2R-LTG-01-E to demonstrate compliance with the lighting in the dwelling units, compliance with lighting that is not in the dwelling units, such as lighting in common areas, shall be demonstrated using the nonresidential lighting compliance
Address	CEA/HERS Certification identifica	tion (if applicable)	documentation.
Litv/State/Zpt	Phane:		The other version of the residential lighting Certificate of Compliance, the CF2R-LTG-02-E, is used for demonstrating compliance with the
RESPONSIBLE PERSON'S DECLARATION STATEMENT	[III]/		residential lighting Standards for low-rise multi-family dwellings. The primary difference between the LTG-02 and LTG-01 is that the LTG-02 includes additional requirements for demonstrating compliance with residential outdoor lighting, and common areas associated with low-rise
I certify the following under penalty of perjury, under the laws of ti	he State of California:		multi family dwelling units.
 The information provided on this Certificate of Installation is t 		47	MODELLO AND
I am either: a) a responsible person eligible under Division 3 or responsibility for the system design, construction, or installati			Section A. Installed Lighting and Controls This table is used to identify the scope of the work being covered by the responsible person signing this document. One person may be
scope of work identified on this Certificate of Installation, and			responsible for all of the measures in this table, or several people may each be responsible for only a portion of the measures. If several people
representative of the responsible person and attest to the der			are responsible, each person must separately fill out this Certificate of Installation for those measures for which they are responsible. In some
3. The constructed or installed features, materials, components	그리 사용 이렇게 보고 있어요 없어 이 얼마면서 보고 있다. 그 사용을 모르겠다.	20	situations, such as for alterations and additions, only some of the measures may be included in the total scope of work.
Installation conforms to all applicable codes and regulations a Compliance, plans, and specifications approved by the enforce		e requirements given on the Certificate of	For rows 1 through 12 - insert 'Y' for each measure that is included in the scope of work, and insert 'N' for each measure that is not included in
4. I will ensure that a registered copy of this Certificate of Install	ation shall be posted or made ava		the scope at work.
the building, and made available to the enforcement agency t			
Certificate of Installation is required to be included with the di Responsible Builder/Installer Name:	ocumentation the builder provide Responsible Builder/Installer Signatur	20.110 110 11 A Property 100 100 Area 11 110 100 100 100 100 100 100 100 100	Section B. High Efficacy Luminaires and Controls This table is a list of mandatory requirements for high efficacy luminaires.
. 4X	AV 2006		This capte is a list of manuactory regularities for man energy communication.
Company Name: (Installing Subcontractor or General Contractor of Huilder/Owner)	Position With Company (Lide):		Section C. Recessed Downlight Luminaires in Ceilings
Address:	CSLB License:		This table is a list of mandatory requirements for recessed downlight luminaires in ceilings.
City/State/Zig:	Phone:	Date Signed:	Section D. Additional Luminaire Requirements
		- Th	This table is a list of additional requirements for luminaires.
			Section E. LED Luminaires
			This table is a list of mandatory requirements for LED luminaires.
			Section F. Blank Electrical Boxes
			This table is a list of mandatory requirements for blank electrical boxes.
			Section G. Address Signs
			This table is a list of mandatory requirements for address signs.
			Section H. Single Family Outdoor Lighting
			This table is a list of mandatory requirements for single family outdoor lighting.
Pogistration Number - Devistr	ration Date/Time:	HERS Provider:	
Registration Number: Registr	radori Datej Linie:	HERS Provider:	CA Building Energy Efficiency Standards - 2019 Residential Compliance January 2020

CERTIFICATE OF INSTALLATION - USER INSTRUCTIONS

CF2R-LTG-01-E User Instructions

Lighting - Single Family - LTG-01

CÁLIFORNIA ENERCY COMMISSION

CF2R-LTG-01-E

(Page 3 of 3)

January 2020

LED FIXTURE SCHEDULE LED MODULE TYPE MANUFACTURER AND CATALOG NUMBER TYPE COLOR TEMP WATTS DRIVER OPTIC/LENS REMARKS 5" ROUND 2700K 15 FRPC DIFFUSE JSF 5IN 07LM 27K 90CRI 120FRPC SLIM SURFACE 11 DIFFUSE W/C LIGHT LP LED 22IN SWW4 90CRI WH 3000K FRPC WEDGE FULL CUT-OFF FLAT 0-10V WDGE2 LED P3 30K 80CRI VW DDBXD 3000K 20 CLEAR SCONCE

January 2020

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CF2R-LTG-01-E

(Page 1 of 1)

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CLIENT

VALERIE SKOWRON 2221 OAK PARK LANE SANTA BARBARA, CA 93105

PROJECT

2221 OAK PARK

Sheet title

REVISIONS

richt ne praien CA REGIST ATTON NO E13083 627 OLIVE SYRKET

SANTA BARBARA CA SELOI

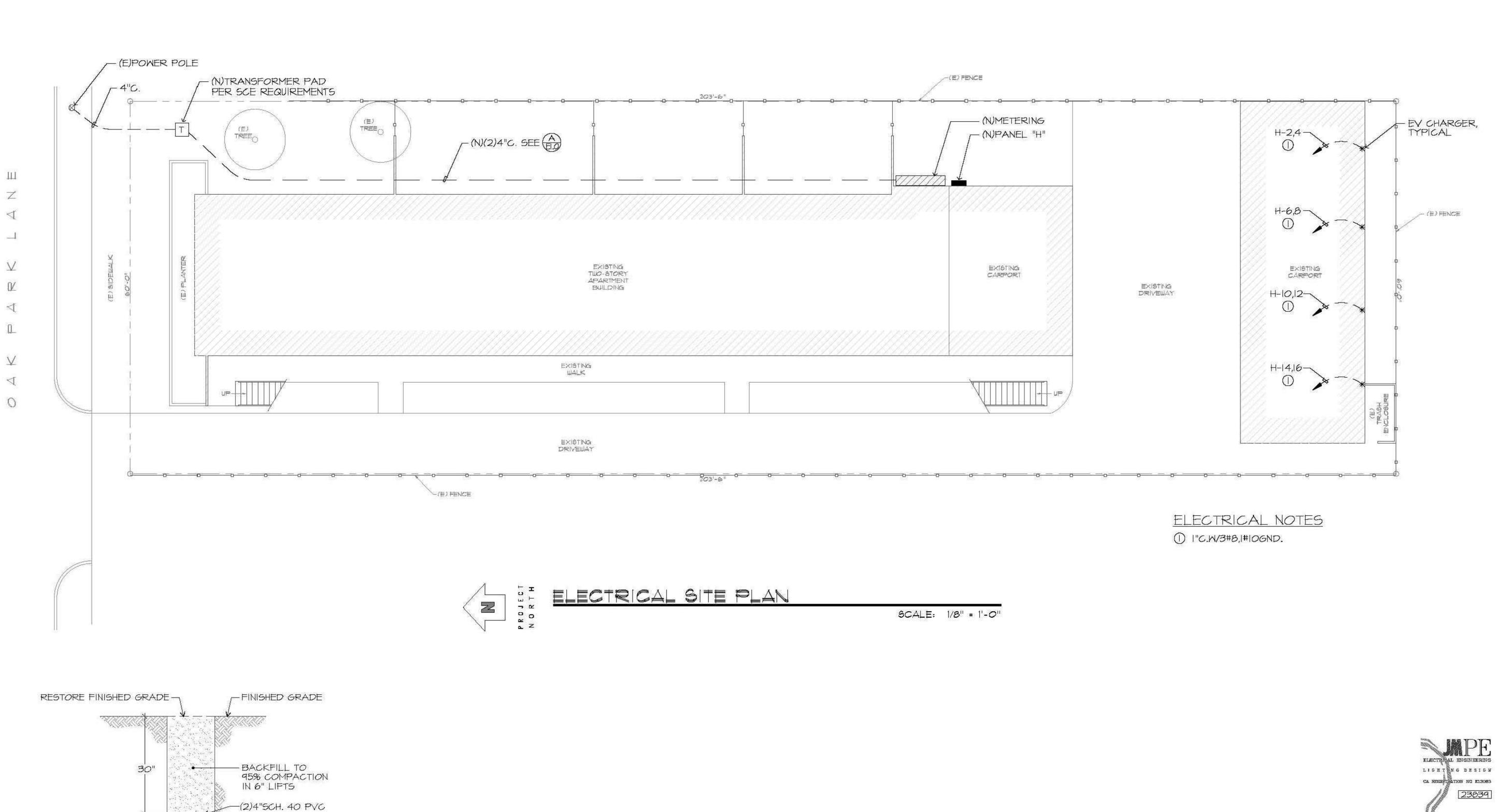
(805) 988-9818

FAX (806) 688-2406

umail : malonsy@fmps.net

PROJECT # 22210AKPARKLANE DATE DRAWN

SHEET NO.



TRENCH DETAIL

SCALE: NONE

-(B)

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VALERIE SKOWRON 2221 OAK PARK LANE SANTA BARBARA, CA 93105

PROJECT

2221 OAK PARK LANE

Sheet title

ELECTRICAL SITE PLAN

REVISIONS

627 OLIVE STRRET

BANTA BARRARA CA SENOL

(805) 568-9218

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small: melensy@jmpe.net

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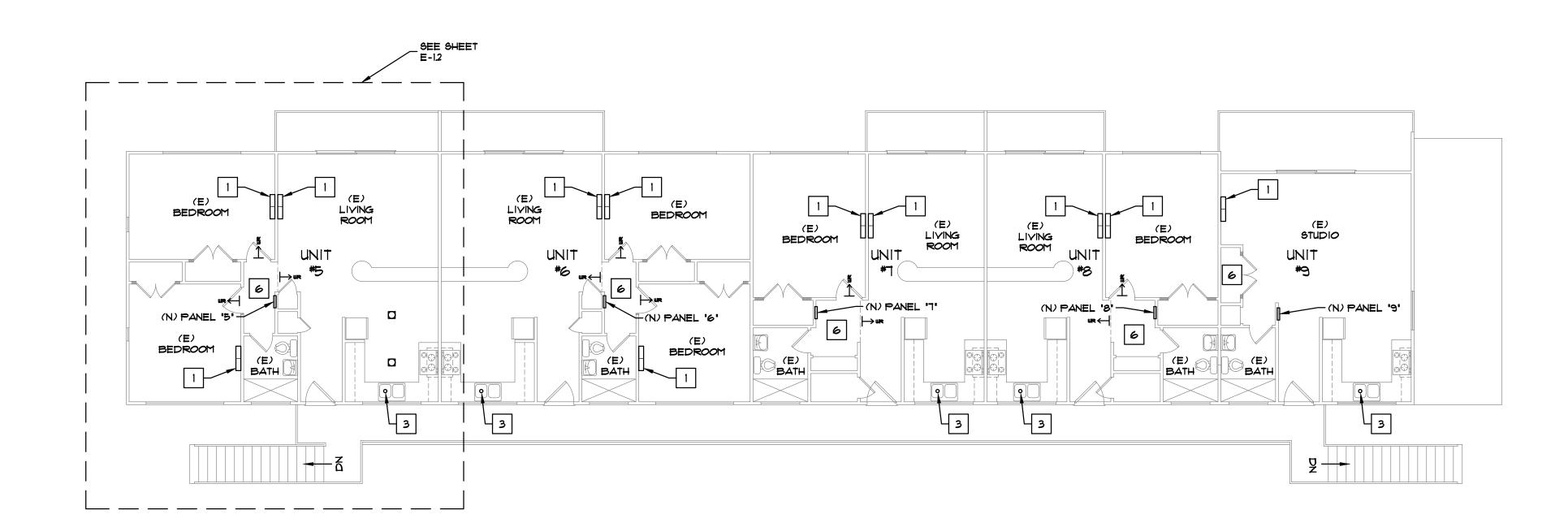
PROJECT #

22210AKPARKLANE DATE DRAWN

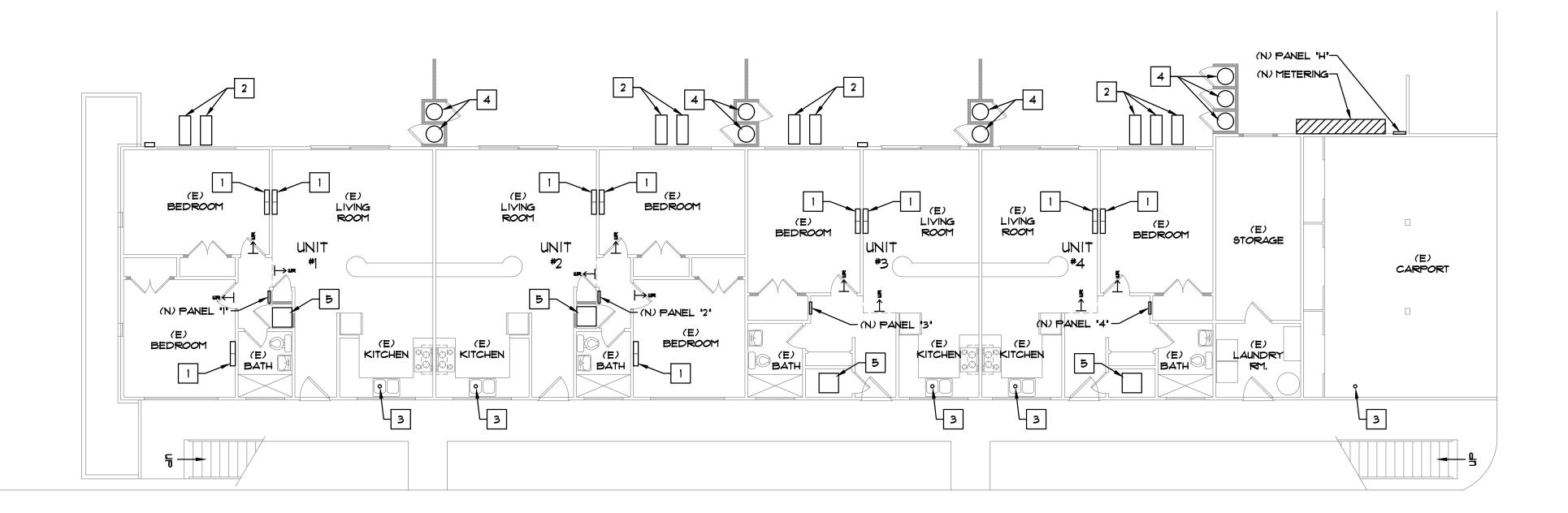
SHEET NO.

E-1.0

MECHANICAL LEGEND: → WR WALL REGISTER A WALL RETURN AIR THERMOSTAT



PROPOSED 2ND FLOOR ELECTRICAL PLAN SCALE: 1/8"=1'-Ø" " ~ NOTE: ~ Z ALL DIMENSIONS TO THE EXISTING STRUCTURE ARE TO BE VERIFIED BY THE CONTRACTOR.



ELECTRICAL LEGEND:

DUPLEX CONVENIENT OUTLET, AFCI TYP.

GROUND FAULT INTERCEPTOR DUPLEX CONVENIENT OUTLET WATER PROOF OUTLET

SINGLE POLE SWITCH HIGH EFFICACY, RECESSED LIGHT

WALL MOUNTED LIGHT (FL = FLUORESCENT)

EXHAUST FAN, 50 CFM, THRU ROOF TO O.S.A. CONTROLLED BY HUMIDISTAT

WHERE APPLICABLE

CEILING FIXTURE

SMOKE DETECTOR, 110V, INTERCONNECTED WITH BATTERY BACKUP

CARBON MONOXIDE DETECTOR/ALARM, 110V, INTERCONNECTED WITH BATTERY BACKUP

FLOOR PLAN NOTES:

1.) NEW ROMEX WIRING THROUGHOUT EACH UNIT.

2.) NEW ELECTRICAL FIXTURES IN EXISTING LOCATIONS.

3.) ALL ELECTRICAL TO BE EXISTING IN UNITS #1-#8 EXCEPT FOR ADDED CANS AND GARBAGE DISPOSALS IN KITCHENS.

4.) UNIT *9 TO HAVE ALL NEW ELECTRICAL.

5.) ALL NEW ELECTRICAL TO CONFORM TO THE 2022 CEC.

FLOOR PLAN KEYNOTES:

1 NEW MINI-SPLIT.

7 NEW 9,000 BTU BLUERIDGE BMY917C CONDENSER. 2 54.5 dBA. ATTACH TO EXISTING CONCRETE PER MANUFACTURER'S SPECS.

3 NEW GARBAGE DISPOSAL, OWNERS TO SELECT.

NEW 40 GALLON 'RHEEM' PROTERRA PLUG-IN HEAT PUMP WATER HEATER WITH HYDRO BOOST AND LEAKGUARD.

5 DUCTED HEAT PUMP.

6 DUCTED HEAT PUMP IN ATTIC.

MECHANICAL LEGEND:

CEILING REGISTER

WALL REGISTER

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CLIENT

VALERIE SKOWRON 2221 OAK PARK LANE SANTA BARBARA, CA 93105

PROJECT

2221 OAK PARK

Sheet title

ELECTRICAL PLANS

REVISIONS

PROJECT # 22210AKPARKLANE

DATE DRAWN

SHEET NO.

E-1.1

PROPOSED IST FLOOR ELECTRICAL PLAN SCALE: 1/8"=1'-Ø"

LIGHTING NOTES

- I. ALL INSTALLED LIGHTING

 TO BE HIGH EFFICACY PER

 REQUIREMENTS OF 2022 CEC SECTION

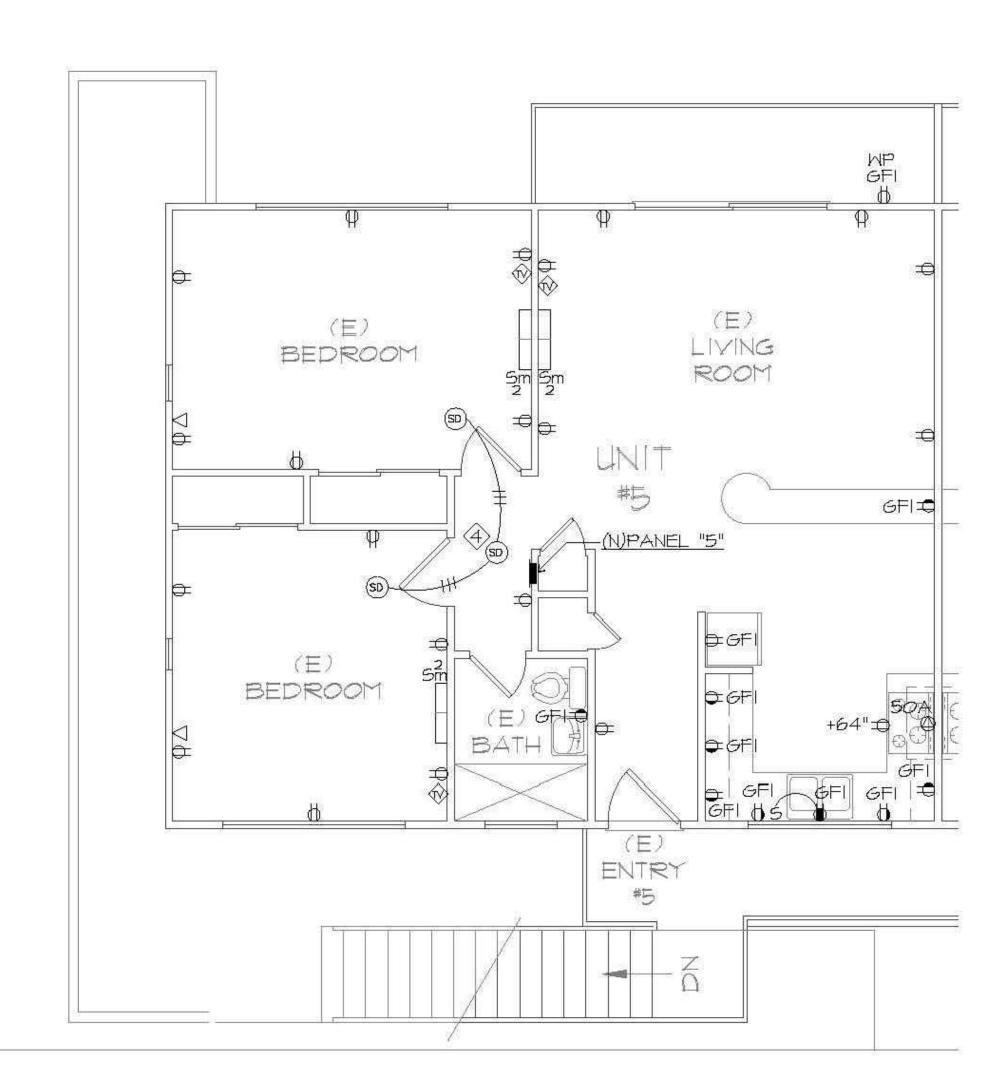
 I50.0(k) AND JOINT APPENDIX JA8.
- 2. BUILDER SHALL PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE THAT INCLUDES A LIST OF ALL INSTALLED LAMPS AND LUMINAIRES.
- 3. ANY JAS COMPLIANT LAMP MUST BE CONTROLLED BY A VACANCY SENSOR OR DIMMER BASED ON TYPE OF LUMINAIRE OR LAMP INSTALLED.
- 4. RECESSED FIXTURES SHALL BE IC RATED AND ASTM E283 CERTIFIED.

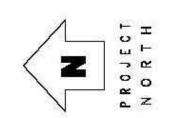
 RECESSED FIXTURES SHALL NOT CONTAIN A SCREW BASE SOCKET AND MUST BE INSTALLED WITH A LIGHT SOURCE THAT IS JAB CERTIFIED, SHALL NOT CONTAIN LIGHT SOURCES THAT ARE LABELED "NOT FOR USE IN ENCLOSED FIXTURES" OR "NOT FOR USE IN RECESSED FIXTURES."
- IN BATHROOMS, LAUNDRY ROOMS, GARAGES, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR.
- 6. THE NUMBER OF ELECTRICAL BOXES LOCATED ABOVE FINISHED FLOOR THAT DO NOT CONTAIN A LUMINAIRE OR OTHER DEVICE SHALL NOT EXCEED THE NUMBER OF BEDROOMS. THESE BOXES MUST BE SERVED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL.

BEDROOM (E) IVING ROOM BEDROOM (E) IVING ROOM (E) IVING

ELECTRICAL NOTES

- I. ALL OUTLETS IN DWELLING UNITS SHALL BE PROTECTED BY A LISTED ARC FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE PER CEC 210.12
- 2. TAMPER RESISTANCE RECEPTACLE SHALL BE INSTALLED IN DWELLING UNITS PER CEC 406.II
- 3. SMOKE DETECTORS SHALL BE 120V, INTERCONNECTED, PHOTOELECTRIC/ION UNITS WITH BATTERY BACK UP
- HALLWAY DETECTORS SHALL BE COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR.
 PART #KIDDE KN-COSM-BA
- 5 HOMERUN VIA PHOTOCELL
- 6. RESIDENCE SHALL BE PROTECTED BY APPROVED FIRE WARNING SYSTEM PER NFPA 72





ENLARGED UNIT POWER PLAN

SCALE: 1/4"=1'-0"

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CLIENT

VALERIE SKOWRON 2221 OAK PARK LANE SANTA BARBARA, CA 93105

PROJECT

2221 OAK PARK Lane

Sheet title

ENLARGED UNIT POWER AND LIGHTING PLANS

REVISIONS

PROJECT #

RECTRIAL ENGINEERING

CA REGIST ATION NO E13083

827 OLIVE STREET

SET OLIVE STREET

BANTA BARBARA CA 98101

(405) 568-8218

FAX (805) 589-2405

email: maleney@jmps.net

www.jmps.net

23839

22210AKPARKLANE Date Drawn

Sheet No.

E-1.2

