

**CLENET  
 PURPERO  
 RESIDENCE**  
 1213 Harbor Hills Drive  
 Santa Barbara, CA 93109

**Progress Print  
 Not for Construction**



**TABLATIONS**

Client: Tera and Glenn Purper  
 Project Address: 1213 Harbor Hills Drive  
 Santa Barbara, CA 93109

Let number and APN:  
 Lot 111 - 025-460-0217  
 Lot 112 - 025-460-0217  
 Lot 113 - 025-460-0217  
 Lot 114 - 025-460-0217  
 Lot 115 - 025-460-0217

Existing Use: Single-Family Residence  
 Proposed Use: Single-Family Residence  
 Proposed FAR: 67.445 sq. ft.  
 Zone / Use: R-1

Proposed Description: Near 2-story residence with attached garage, driveway, and swimming pool, patio and spa.

Entry Level Building Area: 2,459 sq. ft. R. 2,468 gross sq. ft.  
 Entry Level Deck Area: 2,371 sq. ft. R. 2,380 gross sq. ft.  
 Total Area: 4,830 sq. ft. R. 4,848 gross sq. ft.

New attached Garage: 672 sq. ft. R. 775 gross sq. ft.  
 Entry Level Deck: 1,877 sq. ft. R. 1,886 gross sq. ft.  
 Lower Level: 887 sq. ft. R. 887 gross sq. ft.  
 Entry Level: 690 sq. ft. R. 690 gross sq. ft.  
 Driveway/Attachment: 2,200 sq. ft. R. 2,200 gross sq. ft.

Grading: See Civil Plans  
 N-2 (filling)  
 Construction: Open  
 General Notes: See site plan and description. Dimensioned. 3-shedding units per acre.  
 Property is located in High Fire Hazard Area.

**PROJECT DIRECTORY**

**Design:**  
 Steven Chappo-Purpero & Anthony Purpero  
 1213 Harbor Hills Drive  
 Santa Barbara, CA 93109  
 Ph: (805) 964-1878  
 Fax: (805) 964-1879  
 Email: info@designarc.com

**Architect:**  
 DesignARC, Inc.  
 1213 Harbor Hills Drive  
 Santa Barbara, CA 93109  
 Ph: (805) 964-1878  
 Fax: (805) 964-1879  
 Email: info@designarc.com

**Contractor:**  
 J. Robert Gump, ACP  
 715 State Street, Suite 204  
 Santa Barbara, CA 93101  
 (805) 964-2366  
 Fax: (805) 964-2367  
 Email: jrgump@jrgump.com

**City Engineer:**  
 Mike Green, Civil Engineer  
 Santa Barbara, CA 93101  
 Ph: (805) 964-3000  
 Email: mgreen@sbear.net

**SHEET INDEX**

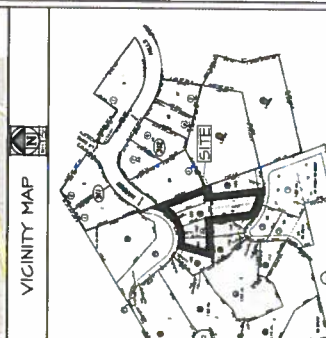
A1 Cover Sheet, Tabulations, Vicinity Map and Sheet Index  
 C1 Proposed Voluntary Hager (Existing Conditions)  
 C2 Proposed Voluntary Hager (Proposed Development)  
 C3 Proposed Voluntary Hager (Proposed Area Detail)  
 A2 Entry Level Floor Plan  
 A3 Entry Level Deck  
 A4 Entry Level Deck  
 A5 Entry Level Deck  
 A6 Entry Level Deck  
 A7 Entry Level Deck  
 A8 Entry Level Deck  
 A9 Entry Level Deck  
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 A99 Entry Level Deck  
 A100 Entry Level Deck

**COVER SHEET**  
 A1  
 City of Santa Barbara  
 Planning Division  
 MAY 25 2011  
 RECEIVED



**EXHIBIT B**

1213 HARBOR HILLS DRIVE  
 PROPOSED VOLUNTARY MERGER  
 SANTA BARBARA, CA



ADDRESS: 1213 HARBOR HILLS DRIVE  
 ZONING: E-1 (15,000 SF. MIN)  
 UTILITIES: WATER & SEWER: CITY OF SANTA BARBARA  
 ELECTRICAL: THE GAS CO.  
 GAS: THE GAS CO.  
 COK CABLE: T.V.

APN: COMBINE 6 ROGERS TRACT LOTS TO CREATE BUILDING SITE

LOT NUMBER	AREA	APN	OWNER
118	0,344 sq. ft.	35-400-31 (PART OF)	SHARON L. GLENET TRUST
121	9,288 sq. ft.	35-400-31 (PART OF)	SHARON L. GLENET TRUST
122	7,868 sq. ft.	35-400-39	GATHERCOLE, LLC
123	7,868 sq. ft.	35-400-39	GATHERCOLE, LLC
124	6,871 sq. ft.	35-400-41	GATHERCOLE, LLC
TOTAL:	41,443 sq. ft. (0.94 ac. and net)		Note: Separate assessment is private and therefore not abstracted from the gross area.

OWNER'S CONTACT: SHARON GLENET  
 Trustee of Sharon L. Glnet Trust  
 1213 HARBOR HILLS DRIVE, LLC  
 SANTA BARBARA, CA 93104  
 (805) 495-3466

AVG. PARCEL SLOPE: 4.10% PER M.C. 20.15.080  
 AVG. SLOPE WITHIN DEVELOPMENT LIMITS: 2.9%

WITHIN BUILDING FOOTPRINT	OUTSIDE OF BUILDING FOOTPRINT	TOTAL
450	91	541
450	195	645
TOTAL:		1186

RECOMPACTION: 60 @ DRIVEWAY  
 EXPORT: 423 CU. YDS.

**SITE DATA**  
 OBTAIN AMENDED CONDITIONAL CERTIFICATE OF COMPLIANCE AND PROPOSED VOLUNTARY MERGER IN ORDER TO CONSTRUCT NEW RESIDENCE ON VACANT LAND (IN RESIDENCE WILL BE SUPPORTED ON CANTONS).

**PROJECT DESCRIPTION**  
 C1. CONDITIONAL CERTIFICATE OF COMPLIANCE AND VOLUNTARY MERGER  
 C2. MAP STATISTICS, DATA  
 C3. SITE GRADING, DRAINAGE AND UTILITIES PLAN  
 C4. SITE GRADING, DRAINAGE AND UTILITIES PLAN WALL PROFILE, SECTION

DATE: 9/24/11  
 REVISIONS:

SCALE: 1" = 20' (VICINITY MAP)  
 SCALE: 1" = 40' (ASSESSORS MAP)

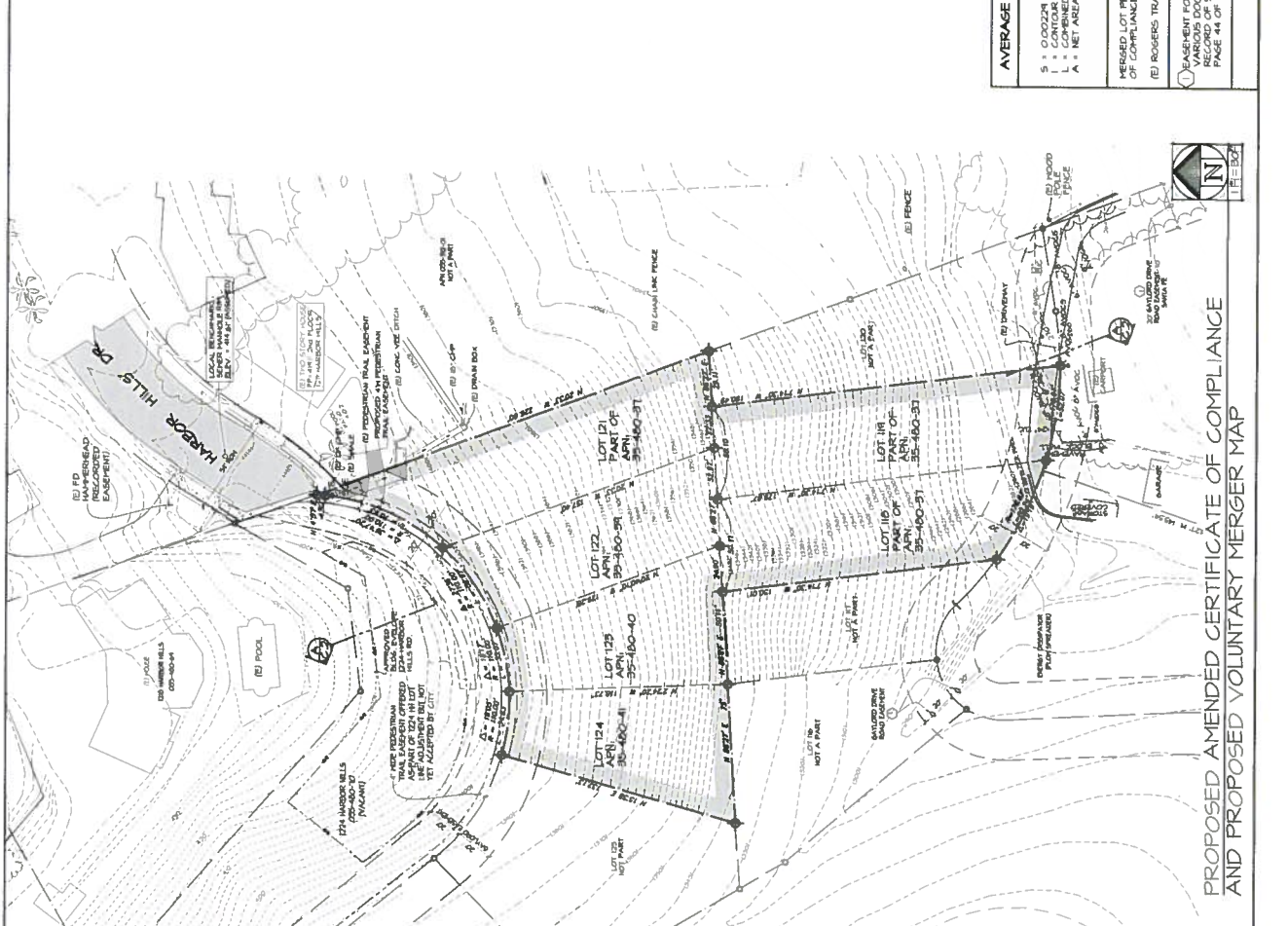
PROJECT: 1213 HARBOR HILLS DRIVE  
 SHEET: 1 OF 3

DESIGNED BY: PER AMENDED CERTIFICATE OF COMPLIANCE  
 (R) ROGERS TRACT LINES

RECORDED FOR ROAD AND UTILITIES PURPOSES AS GRANTED IN RECORD OF SURVEY OF THE ROGERS TRACT RECORDED IN BOOK 20, PAGE 44 OF RECORDS OF SURVEY.

**AVERAGE SLOPE CALCULATION (PER MC 20.15.080)**  
 S = 0.000291 (4.10%)  
 L = 100' (COMBINED CONTIGUOUS LENGTH IN FEET = 9,780.79)  
 A = NET AREA IN ACRES = 1.04 ACRES

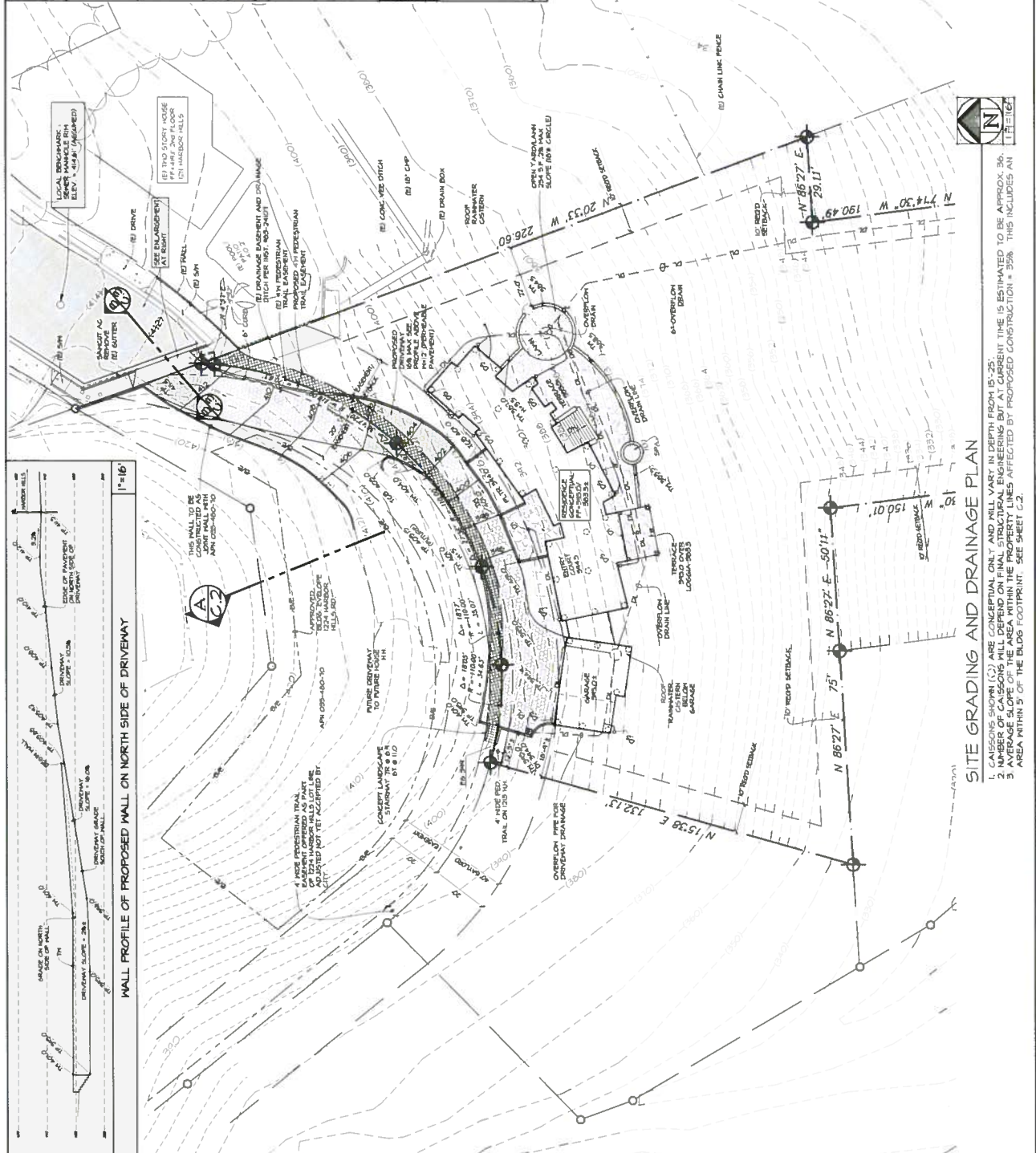
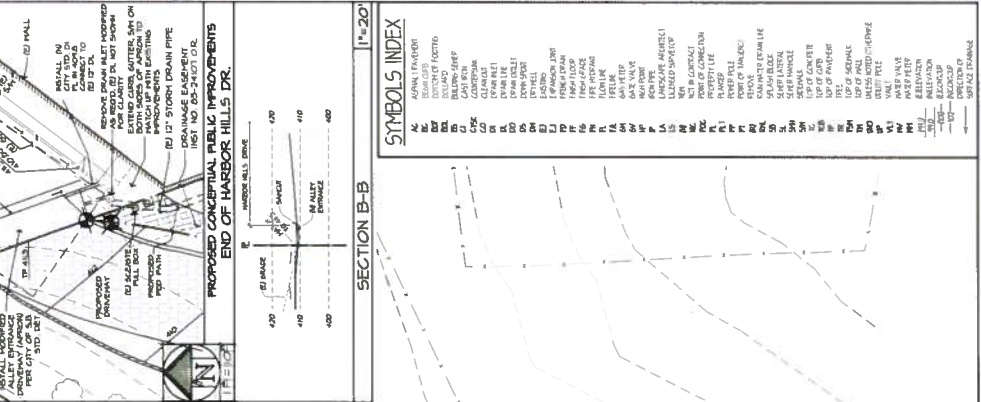
**EASEMENTS**



**PROPOSED AMENDED CERTIFICATE OF COMPLIANCE AND PROPOSED VOLUNTARY MERGER MAP**



AS DETERMINED BY THE CITY PUBLIC WORKS DEPARTMENT, THE PUBLIC STREET IMPROVEMENTS SHALL BE FINANCED BY THE CITY THROUGH THE CITY STREET IMPROVEMENT DISTRICTS. THE CITY PUBLIC WORKS DEPARTMENT SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE PUBLIC STREET IMPROVEMENTS. THE CITY PUBLIC WORKS DEPARTMENT SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE PUBLIC STREET IMPROVEMENTS. THE CITY PUBLIC WORKS DEPARTMENT SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE PUBLIC STREET IMPROVEMENTS.



**SITE GRADING AND DRAINAGE PLAN**

1. CAISSONS SHOWN (C) ARE CONCEPTUAL ONLY AND WILL VARY IN DEPTH FROM 15'-25'.
2. NUMBER OF CAISSONS WILL DEPEND ON FINAL STRUCTURAL ENGINEERING BUT AT CURRENT TIME IS ESTIMATED TO BE APPROX 36.
3. AVERAGE SLOPE OF THE AREA WITHIN THE PROPERTY LINES AFFECTED BY PROPOSED CONSTRUCTION = 35%. THIS INCLUDES AN AREA WITHIN 5' OF THE BLDG FOOTPRINT. SEE SHEET C.2.

1213 Harbor Hills Drive  
San Francisco, CA 94134  
Project Architect: AIA  
Master Bedroom: AIA  
Master Bath: AIA

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Project Architect: AIA  
Master Bedroom: AIA  
Master Bath: AIA

Revisions	Description	Date

**ENTRY LEVEL PLAN**

**A2**



SEE CIVIL PLANS FOR PROPOSED  
EXTERIOR TOPOGRAPHY & SPOT ELEVATIONS

SEE CIVIL PLANS FOR PROPOSED  
EXTERIOR TOPOGRAPHY & SPOT ELEVATIONS

**ENTRY LEVEL FLOOR PLAN**  
1/8" = 1'-0"

Dr. M. Cella, Licensed  
Professional Architect  
No. 31477 - 1019  
Project Architect AIA  
4401 S. Wilcox Ave.  
San Francisco, CA

**CLENET  
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RESIDENCE**  
1213 Harbor Hills Drive  
Sausalito, CA 94965

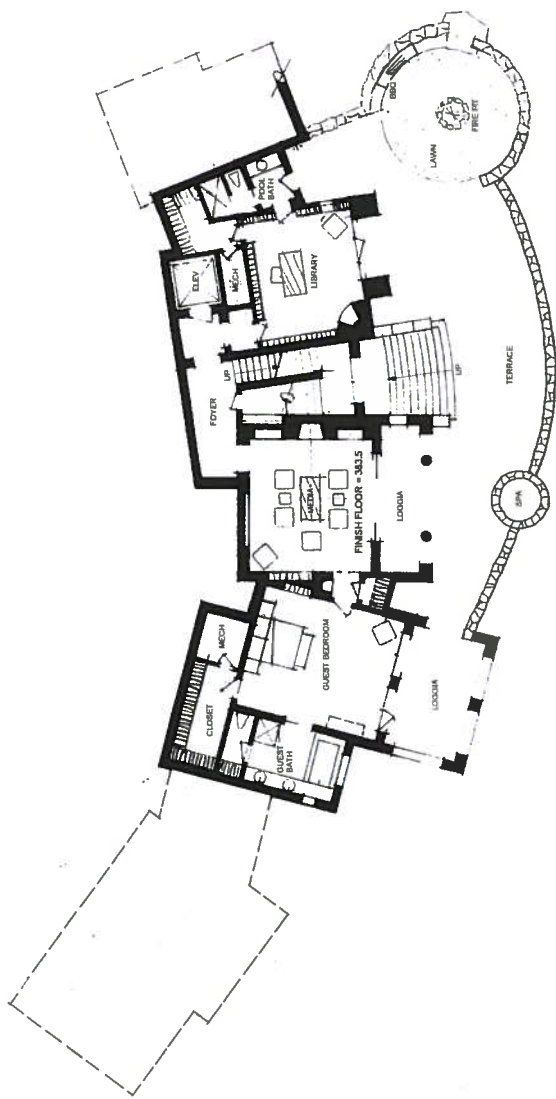
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REVISIONS

No.	Description	Date

**BASEMENT PLAN**

**A3**



SECTION PLANS FOR PROPOSED  
EXTERIOR TOPOGRAPHY & SPOT ELEVATIONS



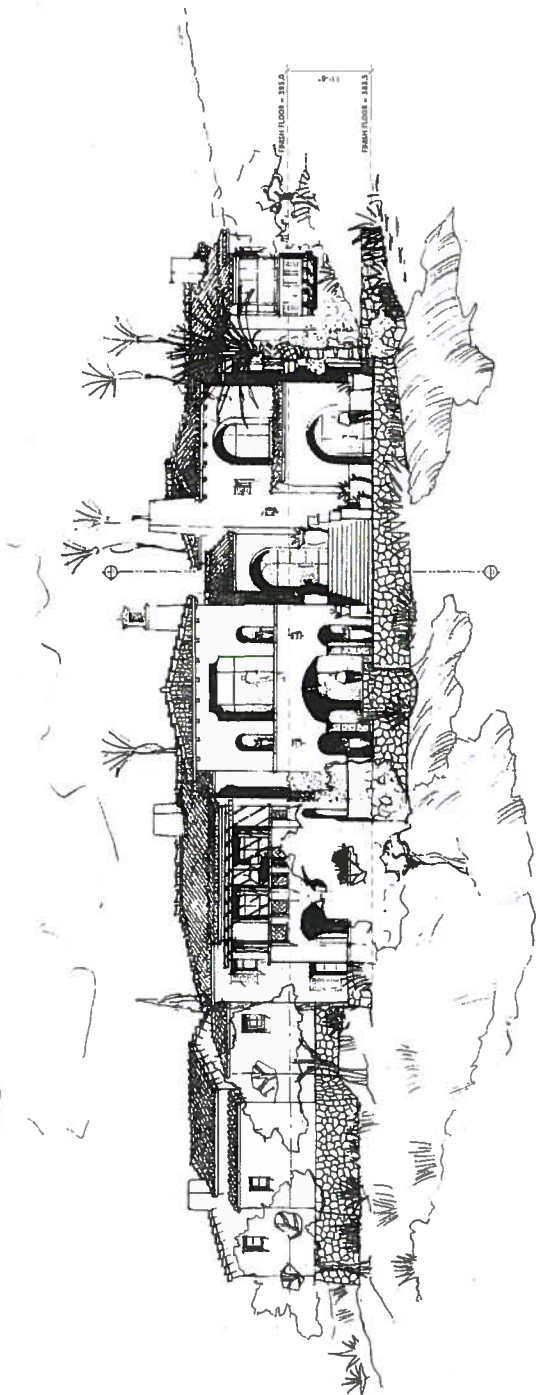
**BASEMENT FLOOR PLAN**  
1/8" = 1'-0"

1910 Calle Loma Alta  
San Diego, CA 92108  
Tel: 619.594.1234  
Fax: 619.594.1235  
www.designarc.com

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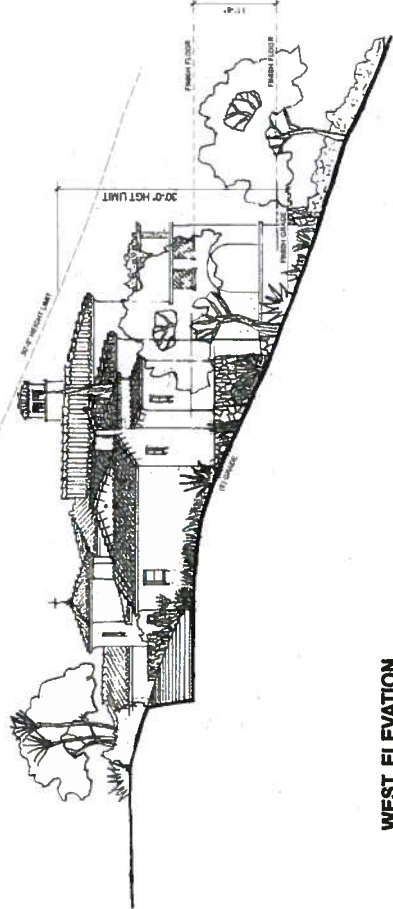
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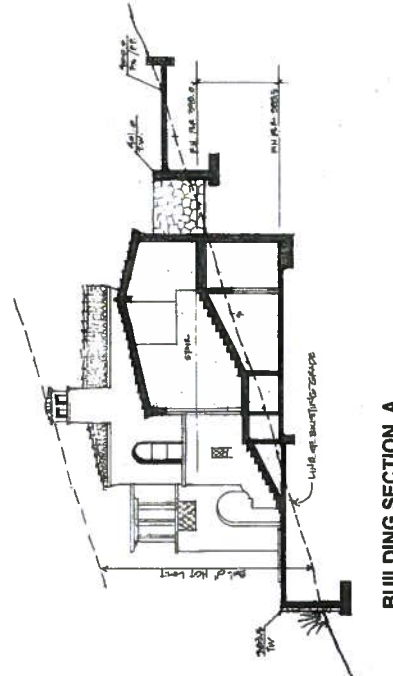


**SOUTH ELEVATION**  
1/8" = 1'-0"

- EXTERIOR MATERIALS:**
1. ALL EXTERIOR WALLS SHALL BE 2" PLASTER FINISHED GYPSUM.
  2. ROOF MATERIAL SHALL BE TWO PIECE CLAY MISSION BARREL TILE.
  3. ALL STONE WALLS ARE TO BE SANTA BARBARA SANDSTONE WITH CHERRYWOOD GROUT.
  4. ALL FIRST FLOOR EXTERIOR DECKING/STAIRS ARE TO BE CHEROKEE CREEK FLAGSTONE WITH MESA BUFF TINTED GROUT.
  5. ALL SECOND STORY DECK SURFACES TO BE TECH TILE.
  6. ALL EXTERIOR WOOD TO BE MEDIUM DARK STAINED DOUG FIR.
  7. ALL EXPOSED EXTERIOR WOOD TO BE MEDIUM DARK STAINED DOUG FIR.



**WEST ELEVATION**  
1/8" = 1'-0"



**BUILDING SECTION A**  
1/8" = 1'-0"

DATE: \_\_\_\_\_

BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

SCALE: \_\_\_\_\_

PROJECT: \_\_\_\_\_

DATE: \_\_\_\_\_

BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

SCALE: \_\_\_\_\_

PROJECT: \_\_\_\_\_

**ELEVATIONS**

**A4**



John Walker

39 W. Calle Laredo  
San Marcos, CA 92069  
TEL: 760.321.3334

Steve A. Buckner, AIA  
David B. Buckner, AIA  
Cecilia C. Carter, AIA

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All dimensions and materials are subject to change without notice. The architect shall not be responsible for the construction of the project. The contractor shall be responsible for the construction of the project. The architect shall not be responsible for the construction of the project. The contractor shall be responsible for the construction of the project.

Revisions	Description	Date

**ELEVATIONS**

**A5**

May 24, 2011



**NORTH ELEVATION**  
1/8" = 1'-0"

