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CITY OF SANTA BARBARA  
PLANNING DIVISION

# **Historic Structures/Sites Report**

**for**

## **The Montecito Country Club**

**920 Summit Road**

**MST 2005-00831**

**Prepared for:**

**Ty Warner Hotels & Resorts, LLC  
1180 Channel Drive, Santa Barbara, CA 93108**

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**October 14, 2008**

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## 1.0 INTRODUCTION

This Historic Structures/Sites Report is for 920 Summit Road, the Montecito Country Club (which includes APN 009-091-014, APN 009-091-019, APN 009-091-020, APN 015-211-009, APN 015-211-010, APN 015-280-014, APN 015-300-001, APN 015-300-002, APN 015-300-003, APN 009-151-006, and APN 009-151-007), Santa Barbara, California (Figures 1 - 7). The owner, Ty Warner Hotels and Resorts, proposes to undertake alterations to the existing property. The California Environmental Quality Act (CEQA) guidelines state that proposed projects are to be analyzed to determine potential effects to historic resources. Principal No. 8 of the City of Santa Barbara General Plan provides for the protection of cultural and historic resources. Guidelines for determining the significance of a property and the significance of impacts to historical resources that may result from a development project are outlined in the City of Santa Barbara Master Environmental Assessment (MEA) (City of Santa Barbara MEA: *Guidelines for archaeological Resources and Historic Structures and Sites* (January 2002)). The HSR will determine the significance of the property and its eligibility for listing as a City of Santa Barbara Landmark or Structure of Merit, as well as nomination to the California Register of Historical Resources and the National Register of Historic Places. If the property is determined to be historically significant the report will assess the significance of the proposed project's impact on the historic resources identified in this report. Prepared by *Post/Hazeltine Associates*, the HSR follows the guidelines for such studies as set forth in the City of Santa Barbara MEA.

## 2.0 PROJECT DESCRIPTION

The applicant proposes the following alterations to the property:

- Alter the fenestration of the south and west elevations of the clubhouse;
- Add an outdoor women's patio off of the Clubhouse's west elevation;
- Redesign the pedestrian access to the swimming pool and cabanas located near the southeast corner of the clubhouse;
- Install new landscaping and fencing around the pool;
- Demolish the golf cart storage building (formerly the Badminton Building) and replace it with a one-story golf pro shop;
- Demolish the existing tennis courts northwest of the clubhouse and replace them with new tennis courts and a tennis pro shop that incorporates an underground parking area for golf carts;
- Re-align the entrance drive from Hot Springs Road;
- Reconfigure the golf course this will include new tees, fairways, greens, landscaping, pathways and two sandstone bridges that will span two ephemeral drainages;
- Modify the existing parking areas and their landscaping;
- Re-landscape the immediate surrounding of the clubhouse;
- Demolish the existing maintenance buildings and Flammable Storage Building located near the western end of the property and replace them with a new

maintenance building and service located east of the clubhouse (Figures 8 – 1 & Appendix A) (MST 2005-00831, BLD 2008-02027, and BLD2008-02101).

Please note that the entrance to the property located on Hot Springs Road is within the County of Santa Barbara; consequently, proposed alterations to this feature will not be reviewed in this document.

### **3.0 DOCUMENTS REVIEW**

The following resources and information sources were consulted during the preparation of this report (a complete list of sources can be found in Section 11):

City of Santa Barbara: Community Development Department, Planning Division  
Street File for Montecito Country Club (920 Summit Road)  
Planning File for Montecito Country Club (920 Summit Road)

Montecito History Committee  
Files for the Montecito Country Club  
Consultation with Maria Herold  
Sanborn Fire Insurance Maps 1918-1958

Santa Barbara Historical Society, Gledhill Library  
Preliminary Sketch of Santa Barbara 1853. Field Notes of Surveyor, 1853. Bancroft Library, University of California, Berkeley (Copy on file at the Santa Barbara Historical Society, Gledhill Library).  
United States Coast Survey Map of Santa Barbara: 1852, 1870 and 1878.  
1887 Bird's Eye View of Santa Barbara. 1898 Bird's Eye View of Santa Barbara.  
United States Geological Survey, Santa Barbara County Special Maps: 1903 and 1909  
1917 Map of the City of Santa Barbara.

Santa Barbara Public Library  
Montecito City Directories 1910-1991.  
Santa Barbara City Directories: 1916-1991.

### **4.0 NEIGHBORHOOD SETTING AND ENVIRONMENTAL SETTING**

The project parcel, located adjacent to the northwest end of the unincorporated community of Montecito, is within the City of Santa Barbara's 667-acre Eucalyptus Hill neighborhood, an area defined by the base of Mission Ridge on the north, Old Coast Highway on the south, the city limits on the east and Sycamore Canyon on the west. The majority of the E-1 zoned neighborhood (permitting lots sizes up to 15,000 square feet) is within both the High Fire Hazard District and the Hillside Design District. The neighborhood is primarily residential in character, with commercial development confined to the Coast Village Road corridor. The neighborhood's houses represent in a range of architectural styles, including, among others, English Cottage, Spanish Colonial

Revival, Tudor Revival, Minimal Traditional, California Ranch, Mediterranean, and Contemporary.

The dominant landscape feature of the area is an elevated block of land traversed by Barker Pass Road, which then extends east from Sycamore Canyon to the foothills of the Santa Ynez Mountains. Originally, the area's endemic vegetation was comprised of coastal chaparral, however, in the 236 years that have elapsed since Spanish established a presidio in Santa Barbara in 1782, the natural environment of the neighborhood has been modified by a variety of human activities. These activities, including grazing and residential development, have profoundly altered the natural environment and have resulted in the loss of most of the endemic plant community that once characterized this part of Santa Barbara. With the exception of its steeper slopes and arroyos, the area's original plant communities have been almost entirely replaced by introduced plants, shrubs, and trees. Located on a 117-acre plot, encompassing 12 parcels, the Montecito Country Club is delineated on the south by Old Coast Highway, on the east by Hot Springs Road, on the north by Golf Club Road and on the west by a number of private parcels developed with single-family houses (Figure 5).

## **5.0 SITE HISTORY**

### **5.1 Early History of the Property and the Santa Barbara Country Club (1894-1916)**

In the pre-contact period the property that presently comprises the Montecito Country Club was located within the region inhabited by the Chumash. When the Spanish established a permanent settlement in Santa Barbara (the Presidio was founded in 1782, Mission Santa Barbara in 1786), the project parcel was incorporated within the boundaries of the Pueblo lands of Santa Barbara. Santa Barbara and its environs, like the rest of Alta California, remained under Spanish rule until 1822. In that year Mexico won its independence from Spain and California became a province of Mexico. It was at this time that the Mexican government began awarding small land grants to soldiers of the Presidio in lieu of salaries. Many of these parcels, including the project parcel, were located within the Pueblo lands in what is now the northeastern boundary line of the City of Santa Barbara. Little is known of the ownership of the property until the late nineteenth century when it was purchased by the Montecito Land Company. Subsequently, around 1915, the company sold its acreage to the Alston Land Association, whose two principle owners were Frederick F. Peabody and George O. Knapp (Myrick, second edition, 2001: 156-157).

The Montecito Country Club traces its origins back to 1894 with the founding of the Santa Barbara Country Club under the leadership of former Civil War officer, Major Joel A. Fithian. First located on beach frontage near what is now the Biltmore Hotel, the golf course and clubhouse (initially a three-hole course, it became an 18-hole course by 1906) remained at this location until 1916. During this period the club occupied a succession of buildings, most notably one designed, in 1912, by the architect, Francis Wilson (Wilson was engaged to design the new clubhouse after an arson fire destroyed the earlier

clubhouse in June of 1912) (*Santa Barbara Magazine*, Summer 2000: 81). However, just a few years after its completion, club members began to campaign for a new country club away from the nearby railroad tracks (Subsequently, the Wilson designed clubhouse was purchased and renovated as a residence for J. Percival Johnson and renamed *Mira Flores*. Today, it is occupied by The Music Academy of the West). In 1916, four years after the country club began to seek a new site they purchased a 60-acre parcel from the Alston Land Corporation, in what is now the present location of the Montecito Country Club; in that same year the architect, Bertram Goodhue was hired to design a new clubhouse (*Santa Barbara Magazine*, Spring 1979: 34-37) (see Appendix B for historic photos).

## 5.2 Bertram Grosvenor Goodhue

Bertram Goodhue's initial introduction to Santa Barbara came shortly after the-turn-of-the-twentieth century. Goodhue was already an architect of national renown when he was commissioned by his cousin, J. Waldron Gillespie, to design his estate, *El Fureidis*, in 1903. Seven years later, in 1910, Gillespie's neighbor, Henry Dater, hired Goodhue to design a residence and pool house for his Montecito property. In 1916, the same year Goodhue completed work on Dater's estate, *Dias Felices*, he was hired to design a new clubhouse for the Santa Barbara Country Club.

Bertram Grosvenor Goodhue was born in Pomfret, Connecticut, in 1869. He began his architectural career at the age of fifteen, in 1884, as an apprentice in the architectural firm of Renwick, Aspinwall, and Russell. In 1891, Goodhue won a competition to design a new structure for the Cathedral of St. Matthew, in Dallas. As a result of his winning the competition, Goodhue approached the architects Ralph Adams Cram and Charles Francis Wentworth to help him carry out the commission. The three men formed a partnership that ended when Wentworth died six years later. In 1897, James Ferguson joined Cram and Goodhue, to form the new partnership of Cram, Goodhue and Ferguson. The Boston firm soon rose to prominence, becoming one of the most prestigious architectural offices on the East Coast. While designing in varying permutations of historic revival styles, the firm was particularly noted for its execution in the Gothic Revival style.

Securing the commission for the Cadets' Chapel at the United States Military Academy at West Point (1903), led to the firm's opening a New York office. Headed by Bertram Goodhue, it marked the beginning of Goodhue's gradual separation from the firm and the establishment of his own independent practice. Among the firm's most notable commissions were St. Marks Church (1909), in Mount Kisco, New York and the Chapel of the Intercession (1910-1914), in New York City. In 1913, the firm dissolved its partnership with the completion of St. Thomas' Church, in New York City (1906-1913). From this point on Goodhue practiced independently. One of Goodhue's first major commissions as an independent architect was the design and layout of the Panama-California Exposition, in San Diego (1911-1915). Though begun while still affiliated with Cram and Ferguson, it is nevertheless, considered one of Goodhue's first major projects as an independent architect. His theatrically Churrigueresque designs and interpretative schemes of California Colonial architecture at the San Diego Exposition

gave impetus to the widespread dissemination of an emerging Spanish Colonial Revival style (it was shortly after his involvement with the exposition that he was commissioned to design the clubhouse for the Santa Barbara Country Club).

Goodhue is credited by architectural historians as being one of the most influential architects to popularize the Spanish Colonial Revival Style, an architectural style that enjoyed widespread popularity, particularly in California and the Southwest, during the 1920s and 1930s. As noted by architectural historian, Richard Oliver, “Goodhue’s fundamental artistic goal remained constant throughout his career; he always attempted to re-conceive traditional forms in a personal and imaginative way, free of the rules of orthodox styles, and his fresh traditionalism presaged modern architecture” (Oliver 1983:114-115).

As the years progressed Goodhue continued his successful practice as an architect. Unlike Goodhue’s more unfortunate contemporary, Louis Sullivan, who died the same year as Goodhue, he never suffered from a declining practice. In fact, shortly before Goodhue’s death, in 1924, he implemented the plans for two of his most important commissions, the Nebraska State Capital (1920) and the Main Branch of the Los Angeles Public Library (1923).

### **5.3 Santa Barbara Country Club (1916-1921)**

Bertram Goodhue began work on the clubhouse shortly after he was hired in July, 1916. Reflecting his interest in the regional architecture of California’s colonial past, Goodhue designed the clubhouse in the emerging Spanish Colonial Revival Style. In terms of its organization the gabled roofed building was largely inspired by Medieval ecclesiastical architecture, with the main lounge analogous to the church’s nave, the dining room, its transept arm and the service wing, the apse. The most dominant feature of the design was the tall tower located at the west end of the building. Goodhue designed the building to reflect the volumetric forms of church architecture with the major public rooms set at ninety degrees to each other. This is not surprising; while with Cram Goodhue and Ferguson, Goodhue and his partners were responsible for undertaking some of the most important ecclesiastical commissions in the early years of the twentieth century. In fact, when completed it was facetiously said by some that the plans for the clubhouse must have been substituted for the plans of a cathedral and “early punsters referred to the clubhouse as the ‘Church of St. Golfus’” (Myrick, second edition, 2001: 157; *Santa Barbara Magazine*, Summer 2000: 81).

As in most examples of the Spanish Colonial Revival Style, Goodhue designed the building with large, uninterrupted expanses of sheer stucco clad walls. Decorative elements, while kept to a minimum, were interspersed periodically along the wall plane with rich patches of applied ornament. The ornamentation was concentrated in three areas: 1) the openings in the tower; 2) above the two entrances on the south side of the building; and 3) around the entrance doorway in the north elevation. Relieving the solidity of the horizontally aligned building Goodhue provided periodic punctuations of

arcuated openings. At the east end a veranda was set behind a sequence of four open arches and on the south elevation's second story another veranda was recessed behind a series of five open arches. In only rare instances does the design break out of the building's enclosed volumes; in one such case, in order to provide outdoor dining space Goodhue designed an exterior dining accommodation that projected off of the dining room's north end.

Once the design of the clubhouse was finalized, bids went out for its construction. Ultimately, the contract was awarded to Winter and Nicholson of San Diego and on May 28, 1917 construction began (Myrick, second edition, 2001: 157). In addition to the multi-story clubhouse, an attached garage wing was built at the northwest corner of the clubhouse. The single-story garage wing was linear in configuration, with the garage bays facing out toward the west (According to the 1924 Sanborn map and an aerial photograph taken prior to 1939, sometime between 1924 and 1939 the garage wing was extended, the addition placed perpendicular to the existing garage) (1924 and 1942 Sanborn maps). At the same time preparation of the golf course was preceding. To lay out the course the club hired a local contractor, F. F. Flourney. In February of 1917 Flourney and a crew of 35 men began to grade the new course (Myrick, second edition, 2001: 157). By the fall of that year the first nine holes of the 18-hole golf course had been finished, but it would take another year before the remaining nine holes were completed (There is no indication at this time that the golf course was laid out by a professional golf architect. That would change, however, in 1922, when the club hired Max Behr to design a new course).

On February 22, 1918, the country club officially opened. As the *Morning Press* noted, "The Santa Barbara Country Club will open its new home this evening with a house-warming dinner dance in celebration of Washington's Birthday" (*Morning Press*, February 22, 1918). What began so auspiciously, however, soon turned problematic and within three years of its completion the Santa Barbara Country Club found itself in financial difficulty. The cost of the clubhouse and the 18-hole golf course proved to be more costly than anticipated. With an overrun of \$50,000 above the expected cost of \$150,000, members began to seek measures to pay the club's still outstanding bills. By the summer of 1921 it had reached such a crisis point that the club was forced to close, the last major event held there, a "coming out party" on August 6, 1921. For the remainder of the year, club activities were held in either member's homes or at other venues (Myrick, second edition, 2001: 158). Finally, on October 31, 1921, an arrangement was made to convey the ownership of the club to a new group of investors with the assets of the Santa Barbara Country Club, including the golf course and clubhouse, transferred to the now renamed Montecito Country Club (Myrick, second edition, 2001: 159).

#### **5.4 Montecito Country Club (1921 - 1922)**

In November of 1921 articles of incorporation were filed by C. K. G. Billings, Frederick F. Peabody, G. S. Edwards, Reginald W. Rives, and attorney, Francis Price (representing George O. Knapp) establishing the Montecito Country Club with Rives as its first

president (Myrick, second edition, 2001: 159). Former members of the Santa Barbara Country Club would be allowed to rejoin without initiation fees. During the period the club was closed a number of improvements were carried out, including the addition of two tennis courts, and the lengthening and reconfiguration of some of the golf course's fairways. In addition, for the first time, a water system was put in place to assure that the course would remain green year-around. The clubhouse also underwent remodeling. In the fall of 1921 the country club hired the nationally renowned architect, George Washington Smith to carry out the renovations.

Smith's remodeling scheme involved making both interior and exterior changes to the clubhouse. Several of the most significant alterations involved the enclosure of some of the clubhouse's open space, including the dining room's exterior dining area and the veranda on the east side, whose arcuated openings were enclosed with metal framed sash windows. Much of Smith's work, however, comprised making changes to the clubhouse's fenestration. On the north elevation he installed three new windows on the first floor and replaced two existing pairs of casement windows with large arched windows on the second floor. On the south elevation Smith inserted windows in the five arcuated openings of the south veranda, and replaced the three pairs of casement windows above the south veranda with three large arched windows. In addition, Smith redesigned the large window on the south side of the dining room, replacing its small paned windows with a plate glass window and installing a set of French doors beneath it. Finally, a monumental flight of stairs was designed to connect the south veranda with the ground floor.

## 5.5 George Washington Smith

By the time George Washington Smith was hired to remodel the Montecito Country Club, he already had designed some half dozen houses in Santa Barbara and was beginning to acquire a reputation among architects and critics as a skilled practitioner of Spanish Colonial Revival architecture (Gebhard, 1964:1). Smith's role as one of the leading proponents of the Spanish Colonial Revival Style was established early in his career with the plan of his first house, *El Hogar*, in 1918. The house created such a sensation it led to Smith abandoning his erstwhile career as a landscape painter (Gebhard, 1993:24).

George Washington Smith (named in honor of George Washington because he was born on the President's birth date) was born in East Liberty, Pennsylvania, on February 22, 1876, to Frank and Emily Smith (Gebhard, 1964:1) (Figure 11). The Smiths were an affluent family who could afford to send their son to study architecture, initially at the Lawrence Scientific School in Philadelphia and subsequently at Harvard University, where, in 1897, he received a Bachelor of Science degree in Architecture. The last year at Harvard was difficult, however. In 1896 Smith's father lost much of his money and could no longer support his son's education. Forced to find a means of financial support, Smith joined the newly formed Philadelphia architectural firm of Newman, Woodman and Harris where he worked as a draftsman and general supervisor of construction

(Gebhard, 1964:1). Smith found the salary too meager to support his lifestyle and left the company a few years later for the more lucrative world of business, initially working for a local firm in Philadelphia, and later joining a successful Philadelphia / New York brokerage firm.

In 1912, Smith married Mary Greenough, whose forebears derived their fortune in the mid-nineteenth century from the ownership of a fleet of clipper ships (personal communication, Bob Easton March 20, 2001). Shortly after his marriage Smith gave up his business career and set sail for Europe with his new wife. Determined to revive his career in the arts, Smith moved to Paris to study painting. Like many aspiring American artists he entered the Julian Academy of the Ecole des Beaux-Arts (Gebhard 1964: 3). Introduced to the work of the leading French Impressionists and Post Impressionists, Smith was particularly attracted to the work of Paul Cézanne and his “constructional logic” (Gebhard 1964: 3). Unfortunately, Smith’s nascent career as an artist in Paris was cut short by the outbreak of World War I in 1914 and in that same year the Smiths returned to New York. Two years later, in 1916, the peripatetic Smiths moved to Santa Barbara inspired, in part, by a painting trip to the Far West a year earlier.

Attempting to establish himself as a fine artist in Santa Barbara, it soon became apparent that Smith would never make a living selling his paintings. His career as an artist, which focused almost exclusively on *plein air* landscapes, a popular motif among other California painters, provided little success for Smith. Instead, greater enthusiasm was shown for his architectural design of his recently completed house, *El Hogar*. Smith patterned the scheme of his residence on the Andalusian farmhouse of Spain, whose principal characteristics are best exemplified by a simplified, almost “primitive” quality, in form, massing, and decorative treatment. This interpretation of the Spanish vernacular seemed to hold great appeal to a number of people, many of whom were just beginning to appreciate the historic adobe houses of Santa Barbara’s Spanish Colonial/Mexican period. This accelerated interest in the style came at a time when Period Revival and regional styles were particularly popular in America. A number of years later Smith noted that, “I soon found that people were not really eager to buy my paintings, which I was laboring over, as they were to have a white-washed house like mine.” (Boyd 1965: 57). In the course of his approximate twelve-year career, between 1918 and his death in 1930, Smith designed and built over 54 residential and non-residential structures. Although his commissions extended to several states outside California, the majority of his work took place in or near Santa Barbara. Of these, he was primarily involved in the building of houses for the city’s and county’s upper middle-income and wealthy classes, a number of whom were drawn from the same social circle of acquaintances as those known to Smith and his wife.

In a span of less than three years Smith’s reputation rose from obscurity to national prominence and in August of 1921, four of his early works were featured in an article in the prestigious professional journal, *Architectural Forum*. The journal article lauded Smith for his original interpretation of vernacular Spanish and Italian architecture, noting that:

*By no means, however, is his work mere reproduction or adaptation of existing architecture in Spain or Italy, or in books and photographs thereof, but, starting with the usual inescapable given conditions, he merely works in this vein, because he believes that it brings the best results, and these results are distinctly original* (Kent, *Architectural Forum*, August 1921).

These early designs established the primary features of Smith's interpretation of the Spanish Colonial Revival Style and were exemplified by the following characteristics: 1) the use of vernacular materials such as stucco, wood, and terra cotta, instead of highly finished luxury materials, such as marble, limestone or glazed terra cotta; 2) simplicity of the building's ornamental detail (with few exceptions, Smith eschewed the use of a classical architectural vocabulary (such as classically-inspired moldings or cornices); 3) the emphasis on broad uninterrupted wall surfaces punctuated by a careful use of openings (his fenestration was generally asymmetrically arranged); 4) the emphasis on the interplay of cubic volumes formed by the wings of the building (In his houses this interplay was not only picturesque; it also emphasized the hierarchical dichotomy between its service areas, including the servants' wing, and the private and public zones affiliated with the owners' area of the residence).

Although Smith built in other Period Revival styles he is most clearly identified with his interpretation of the Spanish Colonial Revival. Smith's designs employed the whitewashed planar walls, red-tiled roofs, patios, pergolas and verandas generally associated with this type of Mediterranean architecture. And rather than replicate Andalusian farmhouses of Spain or the Spanish/Mexican adobes of nineteenth century California, his brilliance as an architect lay in his ability to interpret and redefine in his own oeuvre, the form, massing, and decorative treatments of these historic styles. Smith, who had been ill for nearly a year, died of heart failure on March 16, 1930. At the time of his death he was enjoying his greatest success and despite the onset of the Depression, clients continued to solicit Smith for work. For several years after his death, Lulah Maria Riggs, Smith's primary delineator and draftsman since 1921, briefly headed his office. After completing several of his projects she started her own architectural office enjoying considerable success as an architect before finally retiring in 1974.

## **5.6 Montecito Country Club (1922 – 1947)**

Following the completion of Smith's renovation there appears to have been no significant additions or alterations to the clubhouse during the decades of the 1920s and 1930s. There were, however, some building improvements made to country club (excluding the clubhouse) and the golf course. One of the most significant changes during this period was the redesign of the golf course. In 1922, Max Behr, a well regarded golf course architect, was hired to reconfigure the course.

### 5.6.1 Max Behr

Born in New York City in 1884, Max Behr was a multi-faceted individual, who during the various stages of his life, was a champion golfer, editor of one of America's first golf magazines, *Golf Illustrated*, a respected designer of golf courses, and even "a man who developed his own religion" (<http://www.scga.org/fore/cent/second/beh.html>). But of all of his careers Behr is best known in Southern California for a series of golf courses he designed between 1922 and 1927, one of which included the Montecito Country Club (<http://www.scga.org/fore/cent/second/beh.html>). Behr's interest in golf can be traced to his Scottish grandfather and father who helped found St. Andrews Golf Course in Yonkers New York in 1888 (<http://www.scga.org/fore/cent/second/beh.html>). Behr played golf during his teenage years and while he attended Yale. After graduating from college in 1905 he worked for the Elliot-Fisher Typewriter Company as a sales manager. Even though he was employed Behr appears to have spent much of his time competing in golf tournaments, including the 1908 and 1909 New Jersey Amateur and the 1908 United States Amateur competition (<http://reserach.yale.edu/wwkelly/Yale-golf/Topics/ArchitectPages/Behr2.html>). In March of 1907 he married Evelyn B. Schley, the daughter of Wall Street financier Grant B. Schley (New York Times, March 11, 1907). In 1914 he was appointed editor of *Golf Illustrated* a post he would hold until his move to California in 1920.

In California, Behr began a new career as a golf course designer. In 1920 he completed his first golf course design for the Hacienda Golf Club in La Habra Heights. Two years later, in 1922 he redesigned the links at the Montecito Country Club and provided designs for the Montebello Country Club and Rancho Park Country Club. As a golf course architect, Behr's belief, which was somewhat radical at the time, was to eliminate "rough on courses" preferring, as he noted, "to use natural terrain and bunkers to defend greens from every conceivable angle," a philosophy that "first appeared at Hacienda GC, Montebello GC, Rancho Park GC and Montecito GC, all of which he designed in 1922" Over the next nine years he designed approximately nine courses, including the Oakmont Country Club in Glendale and the Lakeside Country Club courses in 1924. His last course, designed for the Rancho Santa Fe Country Club opened in 1929. With the onset of the Great Depression in 1929, Behr ended his career as a golf course designer. Now regarded as one of America's top golf course designers, Behr went on to a new career as a writer specializing in books and articles about golf and golf course design. (<http://www.scga.org/fore/cent/second/beh.html>). Behr died in 1955.

### 5.6.2 Montecito Country Club (1923-1947)

In the remaining years of the 1920s, only one other improvement was made to the country club when, in 1929, a 1,840 square foot detached building was added. Built by the contracting firm of Kennedy & Dickscheidt (there is no architect or designer of record), the shingle roofed, wood framed "accessory club building" was constructed at a cost of \$5,000 (City of Santa Barbara Building Permit #A-5351, November 29, 1929).

During the Depression years of the 1930s the Montecito Country Club struggled to remain solvent. Finances were particularly exacerbated, when following the opening of the nearby Valley Club, in 1929, nearly half of the Montecito Country Club's membership left to join the new club. In fact, "the Depression would have killed [the club] without the patronage of Knapp, Billings, and Mrs. Stanley McCormick" (*Santa Barbara Magazine*, Summer 2000: 82). During this period innovative and novel ways were sought to keep the club afloat. One suggestion offered by the then club manager, Harold Rupp, was to offer badminton, a game that was particularly popular at the time. Rupp noted that in order to keep the club financially solvent "we resorted to many artifices to keep operating in those lean times before the war, but what really saved our bacon was the Badminton Club" (*Santa Barbara Magazine*, Spring 1979: 40). In response to Rupp's suggestion and with the support of the club's membership, a Badminton Building was completed in the summer of 1939 (City of Santa Barbara Building Permit # B-3595, May 18, 1939). Designed by the architect, Chester Carjola, the stuccoed sided, rectangular structure, was built to the west of the clubhouse. When initially constructed the two-story, barrel vaulted building had an open timber trussed ceiling with spectator seats on the second level and badminton courts on the ground level. Within a few months of its completion an addition was made to the front of the building of a twenty foot by twenty-nine foot porch. This modification was designed by Chester Carjola and completed by contractor, O. J. Kenyon (City of Santa Barbara Building Permits, # B-4489, November 17, 1939). Organized in 1939 the badminton club apparently proved to be "a smash hit from the start" (*Santa Barbara Magazine*, Spring 1979: 40).

Around the same time as the construction of the Badminton Building, some 200 ornamental trees were planted at the instigation of Rupp in order to provide a line of demarcation between the fairways. Subsequent changes to the club included the removal of much of Goodhue's applied ornamentation. Aerial photographs show that sometime between circa-1925 and circa-1948 the applied ornament on the tower, the decorative treatment above the entrance door on the north elevation and the applied ornamentation above the two doors on the south elevation, were removed (It is possible that the removal of the tower's applied ornamentation happened as a result of a chimney fire that occurred on September 9, 1928, causing some damage to the tower and as a part of the tower's renovation the ornamentation may have been removed at that time) (Myrick, second edition, 2001: 160; *Santa Barbara Magazine*, Spring 1979: 40; Architectural Research Consultants, Revised Phase I Historical Resources Management Report: The Montecito Country Club, Santa Barbara, California, February 23, 1996: 10).

By the early 1940s it was obvious that the country club was once again in dire financial straits. Rupp, who managed the country club from 1939 until he joined the U. S. Air Force in 1942, recalled later how "C. K. G. Billings and George Knapp, the club's principle stockholders, had offered to cancel the debts due them so the club could be sold to the City of Santa Barbara" (*Santa Barbara Magazine*, Spring, 1979: 40). Included in the offer was "the clubhouse, water wells, irrigation system, and ninety-nine acres of choice land for a trifling sum - \$60,000 - but the city fathers, struggling to keep

municipal finances from foundering, rejected the offer” (*Santa Barbara Magazine*, Summer 2000: 83). Shortly thereafter, the club was purchased by William Z. Zimdin for the sum of \$60,000. Zimdin, who would go on to be the founder of Direct Relief International, would remain owner of the club throughout the war years and the immediate postwar period. For the period of his tenure there appear to have been no significant additions or alterations made to the country club.

During the war years the country club sponsored a number of war bond rallies, most often by hosting celebrity golf tournaments, but in some cases, by sponsoring badminton matches. In 1941, to benefit the British war relief, the club participated in hosting an exhibition match between the national women’s singles badminton champion, Evelyn Boldrick and the co-holder of the California state double’s champion, Janet Wright (*Montecito Journal*, March 22, 2006: 9). Probably the club’s most memorable war bond drive occurred at the end of World War II. On May 6, 1945, a celebrity tournament was held. Celebrity participants included, among others, Bing Crosby and Bob Hope. Toward the end of the tournament, as the players reached the seventeenth green an announcement was made over the loudspeaker that the war had ended in Europe. The announcement, as it turned out, proved to be erroneous, but the record crowds insured that the bond drive was a success (Two days later, on May 8, 1945, the war officially ended in Europe). Two years later, in 1947, marking a new period in the history of the club, William Zimdin sold the country club to Avery Brundage for over \$200,000.

### **5.7 Montecito Country Club (1947 – 1973)**

Shortly after purchasing the country club Avery Brundage began a series of improvements to the club’s infrastructure and golf course. In May, 1947, Brundage bought an adjacent parcel in order to enlarge the golf course. Two years later, he added three grass tennis courts and a grandstand for watching the tennis matches (City of Santa Barbara Building Permit # D-2774, September 29, 1949). In 1948, a swimming pool was added. Some years later, in 1956 and 1957, the clubhouse underwent a series of additions and alterations, the first in a sequence of significant changes since it had been initially renovated by George Washington Smith in 1921. The remodeling of the clubhouse was carried out by architects, Garrett Van Pelt and A. B. Harmer, both of whom had formed an informal professional relationship in the 1950s and early 1960s. Their receipt of the commission most likely came as a result of the two men working that same year on alterations for another property owned by Brundage, the El Paseo (Architectural Research Consultants, Revised Phase I Historical Resources Management Report: “The Montecito Country Club, Santa Barbara, California,” February 23, 1996).

The architect of record for the clubhouse renovations, Garrett Van Pelt, had been in practice since the 1920s and was considered a leading proponent of the Spanish Colonial Revival Style. During the 1920s he was a partner in the firm of Marston, Van Pelt and Maybury. Later, in the 1930s, he struck out on his own to form his own independent practice in Pasadena. A. B. Harmer, a Santa Barbara designer who had been in practice for approximately the same period of time as Van Pelt, was most noted for his residential

designs that, like Van Pelt, drew inspiration from the Spanish Colonial Revival Style. Since Harmer was not a licensed architect, it is likely that Van Pelt was responsible for the design and Harmer for producing the working drawings (Architectural Research Consultants, Revised Phase I Historical Resources Management Report: "The Montecito Country Club, Santa Barbara, California," February 23, 1996).

The changes instigated by Van Pelt and Harmer included the construction of a ramp just east of the end of the dining room block and a door cut into the lower level leading to a newly excavated basement intended for the men's locker room. Above the ramp a new window was inserted into the north wall. On the south side the Smith designed staircase and three central arches of the veranda were demolished. In their place Van Pelt and Harmer designed a projecting, semicircular wing, which was to function as a bar and lounge (City of Santa Barbara Building Permit #A-5187, December 26, 1956 and January 25, 1957). In 1962, a single-story addition, designed by Harmer, was added to the south west corner of clubhouse. Four years later, architect, Kenneth Hess, added a second floor to the 1962 Harmer addition (City of Santa Barbara Building Permits, November 9, 1962 and April 11, 1966). At the same time Hess also added a second story above the existing bar and lounge wing (City of Santa Barbara, Permit # 17379, April 12, 1966). In 1971, a penthouse apartment, recessed behind the semi-circular addition, was added to the third story of the south elevation (City of Santa Barbara Building Permit, November 11-26, 1971). The design for this addition was made by S. W. Pederson. Other, minor modifications, included the addition of an interior balcony to the golf cart storage building in 1965 (formerly the Badminton Building, the building was altered to provide space for storing golf carts sometime after the mid-1950s) (City of Santa Barbara Building Permit #15502, December 21, 1965). In addition, 2,800 square feet was added to the balcony of the golf cart storage building (City of Santa Barbara Building Permit, # 27157, September 24, 1968). In 1972, Avery Brundage retired from the United States Olympic Committee. Apparently, he wished to divest himself of the club as well and in that same year offered to sell the club to its members. The members declined, but Brundage was directed by a friend to contact Japanese businessman, Sozan Tsukamoto, whom he had met earlier during the Tokyo Olympics. In 1973, Brundage sold the club to Tsukamoto's firm, Tsukamoto Sogyo Company.

### **5.8 Montecito Country Club (1973 -2008)**

Following the last of the Brundage modifications, in 1968, there were no other significant changes to the country club until a major renovation was undertaken in 1998. In that year architect, Bob Easton, who had been hired two years earlier by the club's Japanese owners, began reconstruction on the club. During this period the clubhouse was closed to members, with services provided by temporary trailers located nearby. The major facelift included both exterior and interior alterations and additions to the clubhouse. Interior changes included the rehabilitation of the main lounge's hand painted ceiling, and the insertion of a large window in the main lounge. New cast moldings were made to replicate the originals and then reapplied to those areas of the tower and entrance way where the original ornamentation had been removed. Beams and wood floors were

pairs of single-light, rectangular windows. At the south end of the elevation is a recessed wing whose fenestration consists of large, single-light, arcuated windows. A masonry and wood pergola extends along the base of this wing.

### **Modifications and Alterations to the West Elevation**

The west elevation has undergone the following modifications and alterations since its construction.

- Sometime between the mid-1920s and the early-1940s the Churrigueresque style ornamentation that embellished the tower was removed.
- In 1998, as part of an extensive remodeling project, architect, Bob Easton, made the following alteration to the west elevation: 1) Replaced all of the existing wood framed windows with metal framed, divided light windows. 2) Recreated the tower's Churrigueresque style ornamentation.

### **6.1.3 North Elevation (entrance façade)**

The north elevation, which is the building's entrance façade, is composed of several elements, the most notable being its three-story tower (Figures 29 – 34). The tower is flanked on its east by a two-story L-shaped block, capped by front and side gable roofs covered in terra cotta tiles. The block's projecting wing is capped by a front gable roof, flanked on the east by a masonry chimney. At the base of the projecting wing a flat-roofed, one-story porte-cochere, embellished with a faux cast stone relief, shelters the main entrance to the building. A flat-roofed wing, capped by a parapet, extends from the porte-cochere to the east end of the building; its fenestration is composed of pairs of multi-light, metal frame casement windows. Near the elevation's east end, a recessed entryway, (now sealed) is embellished with faux cast-stone reliefs. A pair of metal gates screens the recessed entranceway. Large arched windows, flanked by buttresses, comprise the second floor's fenestration. At the east end of the elevation a series of one-story and two-story wing, capped by flat and side gable roofs, project from the main block of the building. At the east end of the building is a large arched inset with a glazed window and door. On its west side, the entrance wing is flanked by one-story and two-story wings capped by flat roofs. On the first and second floors the fenestration is primarily composed of pairs of multi-light, metal casement windows. A flagpole is located adjacent to the northwest corner of the clubhouse (this flagpole was once located near the east elevation).

### **Modifications and Alterations to the North Elevation**

The north elevation has undergone the following modifications and alterations since its construction:

- In 1921 as part of a larger remodeling scheme for the clubhouse, architect, George Washington Smith, carried out the following alterations: 1) The fenestration of the second floor of the recessed two-story wing was changed from pairs of rectangular windows to large arched windows; 2) A pair of rectangular windows that flanked the west side of the main entrance, was replaced with a single multi-light window.
- Sometime after the mid-1920s the second floor's remaining sets of paired casement windows in the main block of the building, were removed.
- Sometime between the mid-1920s and the early-1940s the Churrigueresque style ornamentation that originally embellished the tower and main entrance door were removed (it likely that the alteration occurred in 1928, when the tower was damaged by fire).
- Sometime between 1924 and 1942 a one-story wing that projected from the northwest corner of the clubhouse was remodeled (the stucco-clad wing was used as covered parking for cars). The carport wing was reduced in length, and a small enclosed wing was built off of its northwest corner (It is possible that this remodeling occurred in 1940, when Chester Carjola relocated the ping pong porch and caddy house and made an addition to the gallery of the Badminton Building (Permit #B4910, February 14, 1940).
- In 1957, architect Garrett Van Pelt and A. B. Harmer remodeled the clubhouse (the contractor was Peter Davidson & Sons). This remodeling scheme included the following alterations to the north elevation: 1) A 43 foot by 39 foot addition, located just to the west of the tower, to house a ladies' locker room on the first floor and a bar and lounge on the second floor; and 2) The basement level was enlarged into a 57 foot by 79 foot men's locker room (Permit #F5187, January 25, 1957).
- In 1966, architect, Ken Hess, designed a second-story addition to the lounge and bar (the contractor for the project was Peter Davidson & Sons (Permit #17365, April 12, 1966).
- In 1971, architect S. R. Peterson & Associates designed a third-story addition to the elevation's arcuated wing. Designed to house living quarters and an office the penthouse addition was capped by a flat roof. The penthouse addition opened onto a terrace overlooking the golf course (Permit #39229, December 24, 1971).
- In 1998, as part of an extensive remodeling project, architect, Bob Easton, made the following alterations to the north elevation: 1) Recreated the tower's Churrigueresque style ornamentation; 2) Built a masonry and wood pergola on either side of the elevation's semi-circular wing; 3) Replaced many of the elevation's windows (most of the replacement windows were of the same dimension as the original windows); 4) The one-story wing that projected from

the northwest corner of the building was demolished (this one-story structure, originally had been used for covered car parking as depicted on the 1918 Sanborn Map).

#### **6.1.4 East Elevation (facing Summit Road)**

This elevation is composed of a series of projections and recessions, which include the three-story tower and one, two and three story wings that overlook a walled service yard (see site plans, Figures 6 – 7). Because of the sloping terrain, the south end of the elevation rises to a height of three stories, while the north end is only two stories in height. The elevation's two-story, L-shaped main block is flanked on the south by a two-story semi-circular wing with arched windows on its first and second floors (Figures 35 – 38). A flat-roofed one-story wing runs the length of the elevation's main block. Its fenestration is composed of four arched windows, flanked on the south by a one-story, projecting front gable wing. The fenestration of the one-story wing is composed of a single arched window. A wood and masonry pergola flanks the south side of the building.

#### **Modifications and Alterations to the East Elevation**

The east elevation has undergone the following modifications and alterations since its construction:

- In 1921 as part of a larger remodeling scheme for the clubhouse, architect, George Washington Smith, carried out the following alterations: 1) the flat-roofed arcuated porch was enclosed when its arched openings were glazed.
- Sometime between the mid-1920s and the early-1940s the Churrigueresque style ornamentation that embellished the tower, was removed.
- In 1956-1957, architect Garrett Van Pelt and A. B. Harmer remodeled the clubhouse (the contractor was Peter Davidson & Sons). This remodeling scheme included the following alterations to the east elevation: 1) A 43 foot by 39 foot addition, located just to the west of the tower, to house a ladies' locker room on the first floor and a bar and lounge on the second floor.
- In 1971, architect S. R. Peterson & Associates designed a third-story addition to the elevation's arcuated wing. Designed to house living quarters and an office, the penthouse addition was capped by a flat roof. The penthouse opened onto a terrace overlooking the golf course (Permit #39229, December 24, 1971).
- In 1998, as part of an extensive remodeling project, architect, Bob Easton, made the following alterations to the south elevation: 1) Recreated the tower's Churrigueresque style ornamentation; 2) Built a masonry and wood pergola at the south end of the elevation; 3) Replaced many of the elevation's wood framed

windows with metal framed windows (most of the replacement windows were of the same dimension as the original windows); and 4) A service yard, enclosed by a masonry wall, was built along the east elevation.

## **6.2 Accessory Buildings and Features**

The clubhouse is surrounded by several buildings and features associated with clubhouse amenities or with the maintenance of the country club facility. These include the following:

### **6.2.1 Swimming Pool and Pool Cabana (APN 015-300-001)**

Located near the southeast corner of the clubhouse, the swimming pool and pool cabana are linked to clubhouse by a masonry and wood pergola (see Site Maps, Figures 6 – 7). The rectangular-shaped swimming pool is surrounded by a concrete deck and fence and is flanked on its east side by a one-story pool cabana (Figures 39 – 41). With its side gable roof covered in terra cotta tiles, stucco walls and rectangular windows the one-story pool cabana's scheme is inspired by the adjacent clubhouse's Spanish Colonial Revival style architecture. The swimming pool was installed in 1948, replacing a pair of badminton or tennis courts, built in 1940 (The fences surrounding the courts can be seen in a photograph taken in the late 1940s). In 1998, as part of a renovation scheme for the club, Bob Easton designed the one-story pool cabana, comprising changing rooms and bathrooms. Easton also designed the pergola that links the swimming pool and cabana with the adjacent clubhouse.

### **Modifications and Alterations to the Swimming Pool and Pool Cabana**

The swimming pool area has undergone the following modifications and alterations since its construction:

- In 1998 a pool cabana designed by architect, Bob Easton was built on the east side of the swimming pool. With its plastered walls and tile roof, the design of the building references the Spanish Colonial Revival style clubhouse.

### **6.2.2 Tennis Courts and Tennis Pavilion (APN 015-300-001)**

Four outdoor tennis courts and tennis pavilion are located to the northwest of the clubhouse (Figures 41 – 45). The tennis courts were built sometime in the 1920s on a hard surface platform, supported by masonry walls. On its south side, a sandstone retaining wall extends along the length of the platform. A concrete block wall supports the west side of the platform. A sandstone retaining wall runs along the north side of the courts. On its east side a set of steps lead from the adjacent parking lot to the courts. The entrance to the courts is flanked on its east side by a one-story tennis pavilion. Designed in 1998, by architect, Bob Easton, the Mediterranean style pavilion has plastered walls

and a side gable roof covered in terra cotta tiles. A wood and masonry pergola is attached to the pavilion on the west elevation.

### **Modifications and Alterations to the Tennis Courts and Tennis Court Building**

The east elevation has undergone the following modifications and alterations since its construction:

- Sometime between circa-1945 and the 1970s the west end of the tennis court platform was altered when a cinderblock retaining wall was built.
- In 1998, a one-story wing projecting from the northwest corner of the club building was demolished (the wing overlooked the tennis courts).
- In 1998, architect Bob Easton, as part of a larger project to renovate the Montecito Country Club, designed a one-story tennis pavilion to house restrooms and equipment storage.

### **6.2.3 Golf Cart Storage Building (formerly the Badminton Building) (APN 015-300-001)**

Designed by architect, Chester Carjola, and built by contractor, O. J. Kenyon, in 1939, as a facility for badminton matches, the two-story, stucco-clad wood frame building, is capped by a barrel roof (Permit #B3595, May 18, 1939). The building has no fenestration. Double doors placed on the east and west elevations provide access to the building's interior (Figure 46 - 51). A ramp located on the building's east elevation provides access for golf cart to the second level. The interior of the building is divided into two floors, with an intervening mezzanine level. The building has undergone the following alterations and modifications since its construction:

- In November of 1939, O. J. Kenyon built a 20 foot by 29 foot porch along the building's primary façade (east elevation) (Permit #B4489, November 14, 1939). This addition was designed by Chester Carjola.
- In February of 1940, O. J. Kenyon built a 58 foot by 50 foot addition and added interior galleries to the building (Permit # B4910, February 7, 1940). This addition was designed by Chester Carjola.
- In December of 1965, an interior balcony (mezzanine level) was added to the building (Permit #15502, November 9, 1965). The alteration was designed by J. F. Martin.
- In September 24, 1968, a 2,800 square-foot addition was made to the building's mezzanine level to allow additional storage of golf carts. The contracting firm of Rose and Clark was responsible for the alteration (Permit #27157, September 24, 1968).

- In August of 1997 a small wing attached to the east elevation of the building was demolished (Permit #BLD96-2138).

### **History of the Golf Cart Storage Building (formerly the Badminton Building)**

In order to attract new members, Horace Rupp, the country club's general manager, replanted the grounds with over 200 trees, expanded social activities, and, in 1939, added the Badminton Building. Designed by architect Chester Carjola, the Badminton Building was a two-story wood frame building with a second floor viewing deck (Tompkins 1979: 34). According to Rupp, the popularity of the new badminton facility helped the financially strapped country club. By the mid-1950s the game of badminton had lost the popularity it had enjoyed in the late 1930s and during the war years. As a consequence, the Badminton Building was modified to serve as a storage building. In 1965, the building was remodeled as a golf cart storage building, though it is likely that it was used to store club equipment and golf carts as early as the mid-1950s. A 2,800 square foot mezzanine level was inserted into the building's interior in 1968 to provide additional storage space for golf carts. The last significant alteration to the building occurred in 1998, when a maintenance building attached to the building's exterior was demolished.

#### **6.2.4 Restrooms (APN 015-300-001)**

Three small restroom buildings are located on the golf course. These buildings were constructed in the early-to-mid 1970s. Built of concrete block and capped by shed roofs, these buildings are utilitarian in design and do not reference a particular architectural style (Figure 51). It should be noted that these buildings, which are less than 50 years of age, are not eligible for evaluation.

#### **Alterations and Modifications to the Restroom Buildings**

With the possible exception of the replacement of their roofs, these buildings appear to have undergone no significant alteration since their construction.

#### **6.2.5 Pump House (located near the west end of golf course (APN 015-300-001)**

A small, one-story pump house is located near the west end of the golf course. Capped by a shed roof, the building is owned by the City of Santa Barbara (Figure 52). The construction date for this building could not be determined; however, it appears to have been built sometime within the last 30 or 40 years. The structure is utilitarian in design, and does not reference a particular architectural style.

#### **Alterations and Modifications to the Pump House**

The building does not appear to have undergone significant alterations since its construction.

### **6.2.6 Service Buildings (APN 015-280-014)**

Three service buildings are located on APN 015-280-014). Placed at the base of a small arroyo, the three buildings serve as the headquarters for the course's grounds-keeping staff (see Site Maps, Figures 6 – 7). Two of the buildings are small one-story board-and-batten style buildings capped by metal shed roofs that were built in 2003 (Figures 53 - 56). A smaller board and batten building built in circa-1918 is located just east of these two buildings. Capped by a flat roof this building shelters a well and is currently used for storage. The building's most prominent feature is the bay doors on the south elevation. Originally used as a stable for the club's workhorses, the building is currently used for storage (John Reagan, personal communication, March 23, 2006).

#### **Alterations and Modifications to the Service Buildings**

The buildings constructed in 2003 have not undergone significant alterations since their construction. The former stable has undergone a number of modifications since its construction in circa-1918. These include the addition of a small wing at the southwest corner of the building, the removal of several windows and the sealing over of a least one bay door. Adjacent buildings once associated with the stable building have been demolished and replaced by the two buildings constructed in 2003.

### **6.3 Golf Course (APN 015-300-001, APN 015-211-009, APN 015-211-010, APN 015-300-003, APN 009-151-007, APN 009-151-006, APN 009-091-014, APN 009-091-020, APN 015-300-002, and APN 015-280-014)**

Originally designed in 1922, the course layout exemplified the philosophy of Max Behr, whose design schemes emphasized the employment of natural terrain and bunkers, rather than rough areas to defend the greens. Since the early 1920s the course has undergone an extensive series of alterations and modifications that have resulted in the course's current layout, which features a split layout with Fairways 1 through 15 located south of the clubhouse and Fairways 16 -18, located northeast of Summit Road (see Site Maps, Figures 6 – 7). Each green and fairway is delineated by informal planting of turf, trees, and shrubs (Figures 57 - 62). A network of asphalt-paved pathways links the fairways and greens with each other and the adjacent clubhouse.

#### **Alterations and Modifications to the Golf Course**

As noted above the course was originally designed by Max Behr in 1922. While early photographs of the course exist, the original configuration of its fairways and greens are not known. The first significant alteration to the Behr-designed course occurred in the early 1940s when Horace Rupp, the club manager, planted over 200 trees along the fairways. In the late 1940s further changes were made after the State of California acquired lands along the south end of the golf course to construct a freeway. Part of the club property was within the right-of-way of the new freeway route and, as a consequence, several fairways were removed to make way for the new freeway. In 1947,

Avery Brundage, purchased the Herman Roth Farm located at the northeast corner of the golf course to provide a location for the relocated fairways. Brundage created three new fairways on the site of the former farm (Tompkins 1979: 41). Other changes to the course occurred in the early 1950s when William P. Bell, of Pasadena, was hired to reconfigure the greens and fairways, alter the course's network of pathways, and re-landscape portions of the grounds (Bell also was responsible for revamping the La Cumbre Golf and Country Club) (Tompkins 1979: 41). The course has undergone no other significant alterations since Bell alterations in the early 1950s.

#### **6.4 Landscaping and other Features**

Initial landscaping of the country club's grounds did not begin until several years after completion of the clubhouse in 1918. Photographs taken of the clubhouse and its immediate environs, between the circa-1918 and circa-1922, show a relatively bleak expanse of terrain with few, if any formal plantings. By the mid-1920s, however, landscaping, probably carried out in conjunction with the implementation of Max Behr's design for the course, had been installed. Other than the golf course itself, however, the design scheme of the clubhouse's surrounding landscape cannot be attributed to a specific designer. In a review of historic photographs, documents, and plans, there is no indication as to the identity of a landscape architect, or, if there ever was one. Today, there are few surviving remnants of the clubhouse's formal landscaping dating to the Montecito Country Club's period of significance, 1918 – 1947 (the period of time that encompasses the club's formative years, before Bertram Goodhue's and George Washington Smith's architectural imprimatur were altered or modified, and prior to the substantive modifications of the Max Behr designed golf course in the late 1940s.

#### **Landscaping on the North Side of the Clubhouse**

Today the north side of the building faces towards a large two-level parking lot. Plantings are relegated to a narrow bed that extends the east from the main entrance to the northeast corner of the building (Figures 63 - 65). It is planted with shrubs and ground cover. Near the northeast corner of the building a row of large date palms delineates the east end of the parking area and a circular turn-around. The two-level parking area is delineated by sandstone retaining walls and beds planted with a variety of succulents and subtropical plants.

#### **Alterations and modifications to the landscaping on the North Side of the Clubhouse**

- Originally, the landscaping scheme for the north elevation featured lushly planted beds along the length of the façade (see Appendix B). Planted with shrubs, and small trees, including Italian cypress, the landscaping softened the transition between the building and the nearby parking area. The parking area featured a circular driveway that surrounded a raised bed with a flag pole. A one-story garage wing, projecting from the northwest corner of the clubhouse, formed the

west side of the motor court. Mature trees and informal plantings created a transition from the clubhouse to the nearby Billings Estate.

- Beginning in the post World War II period the original landscaping was replaced or removed. The expansion of the parking lots also contributed to the loss of original plantings.

### **Landscaping on the East Side of the Clubhouse**

Today the east side of the building faces towards a walled service area. Plantings are relegated to narrow beds that mask the service area from view and a number of large Canary Island Date palms (see Figures 30, 36, and 37). It is planted with shrubs and ground cover. Near the northeast corner of the building a row of large date palms delineates the east end of the parking area and a circular turn-around. The two-level parking area is delineated by sandstone retaining walls and beds planted with a variety of succulents and subtropical plants.

### **Alterations and modifications to the Gardens on the East Side of the Clubhouse**

- Originally an arcuated portico, with a centrally placed set of steps, overlooked a rectangular lawn outlined with flower beds (see Appendix B). The elevation was also embellished with plantings of Italian cypress and shrubs that extended along the base of the portico.
- Since the post World War II period the east elevation's landscaping has been entirely removed. The most significant alterations occurred in 1998 when the remaining elements of the garden were replaced with a service yard.

### **Gardens on the South Side of the Clubhouse**

Little in the way of formal landscaping exists on the south side of the clubhouse, which overlooks the golf links. A Renaissance style wellhead is located near the center of the elevation.

### **Alterations and Modifications to the Gardens on the South Side of the Clubhouse**

- Originally, wide planting beds extended the length of the elevation. Planted with shrubs, small trees, and flowering vines, the bed softened the transition between the building and the nearby golf links (Appendix A). A staircase added to the elevation by George Washington Smith, in 1921, provided access from the clubhouse's main level to a terraced lawn. A series of paved pathways and garden beds extended from the lawn to the course.
- Between 1948 and the late 1990s the landscaping was removed. This process began in 1948 when a pool was constructed adjacent to the southwest corner of

the clubhouse. Further alterations occurred in the late 1940s and early 1950s, when the golf course was modified and reconfigured. In 1956, a two-story wing was added to the elevation. This addition required the demolition of the staircase added by George Washington Smith, as well as the removal of the terraced lawn and landscaping. Further alterations occurred in the 1960s and 1970s when a series of additions were made to the clubhouse's south elevation. Finally, in 1998 an extensive renovation of the clubhouse resulted in further alterations to the landscaping.

- With the exception of the "Renaissance" style well head, the south elevation's historic garden scheme has been removed.

### **Gardens on the West Side of the Clubhouse**

Little in the way of formal landscaping exists on the west side of the clubhouse, which overlooks the tennis courts and the Golf Cart Storage Building (formerly the Badminton Building). Most of the area is paved with perimeter planting beds (see Figures 23, 25 – 28).

### **Alterations and Modifications to the Gardens on the West Side of the Clubhouse**

Originally the west elevation overlooked the one-story garage wing and the tennis courts. A landscaped garden area extended between the clubhouse and the tennis courts. The first documented alterations to this area occurred in 1939 when the Badminton Building was constructed. Further alterations occurred when the garage wing was demolished during the country club's 1998 renovation. Between the early 1960s and the late 1990s a series of alterations and modifications to the west elevation, also effected the nearby landscaping. As a result of these alterations, few elements of the pre-World War II landscaping scheme survive.

## **7.0 EVALUATION AND ANALYSIS**

This section of the report will determine the historic significance of the Montecito Country Club property as well as its physical and visual integrity. The historic significance of the property will be evaluated using the criteria set forth in the City of Santa Barbara's Master Environmental Assessment (MEA), the State Historic Resources Code and the National Register of Historic Places. The evaluation will determine if the property qualifies for designation as City of Santa Barbara Landmark or Structure of Merit, placement on the State Register of Historic Places or nomination to the National Register of Historic Places. The integrity of the resource will be evaluated through the application of the integrity criteria outlined in the City of Santa Barbara MEA.

The Montecito Country Club is not a designated City of Santa Barbara Historic Landmark or Structure of Merit. It is listed in the City of Santa Barbara Potential Historic Structures/Sites List. The property is not listed in the National Register of

Historic Places or the California Register of Historical Resources. The Clubhouse, Badminton Building and Golf Course will be evaluated separately.

### **7.1 Establishing the Resource's Period of Historic Significance and Historic Themes**

Research and survey have identified one potential theme for the project area, "Historic Architecture" because of the clubhouse represents the work of noted architects Bertram Goodhue and George Washington Smith and the golf course was designed by Max Behr. The resource's period of historic significance is 1918-1947 the period encompassing the initial construction of the club house designed by Bertram Goodhue, George Washington Smith's remodeling scheme for the clubhouse, Max Behr redesign the golf course and the construction of the Badminton building designed by Chester Carjola. For Montecito Country Club property to convey its association with this theme it must maintain sufficient integrity to convey its historic design and appearance.

### **7.2 Evaluation of Integrity**

Integrity means that the resource retains the essential qualities of its historic character. The clubhouse (built in 1918 and redesigned), golf course (1922), landscaping (circa-1922 and later), and Badminton Building (1939) designed by Chester Carjola meet the 50-years-of-age criterion usually necessary for designation as a historic resource. In order to evaluate the integrity of the property as a potential resource the following seven aspects of integrity developed by the National Park were applied to the property:

#### **1) Integrity of Location**

*Integrity of location means that the resource remains at its original location.*

##### The Clubhouse

The clubhouse has remained in place since its construction date in 1918. Therefore, the property has maintained its integrity of location.

##### Badminton Building

The Badminton Building has remained in place since its construction in 1939. Therefore, the property has maintained its integrity of location.

##### Service Buildings (APN 015-280-014)

Only one of the original circa-1918 service buildings remains in place. The demolition of two other service buildings has impacted the ability of the original complex of service buildings; therefore, it has not maintained its integrity of location.

## The Golf Course (including service buildings)

The golf course has undergone a number of alterations since it was redesigned by Max Behr in 1922, including the removal, in circa 1950 of two holes located on the south end of the parcel and the demolition of several of the original service buildings. However, most of the course has remained in place; therefore, the golf course has retained its integrity of location.

## **2) Integrity of Design**

*Integrity of design means that the resource accurately reflects its original plan.*

## The Clubhouse

The clubhouse has undergone an extensive series of alterations and additions since its construction in 1918. The most significant of these are listed below:

- In 1921, as part of a larger remodeling scheme for the clubhouse, architect, George Washington Smith, carried out the following alterations: 1) The porch's arcuated openings were glazed; 2) A large staircase, leading from the arcade to the golf course, was built; 3) The glazing of the large rectangular window in the gable end was altered when some of the smaller panes of glass were replaced with larger panes.
- Sometime between the mid-1920s and the early 1940s the Churrigueresque style ornamentation that embellished the tower and two doors on the south elevation (it is likely that they were removed in 1928 after a fire damaged the tower).
- In 1957, architect G. Van Pelt and A. B. Harmer remodeled the clubhouse (the contractor was Peter Davidson & Sons). This remodeling scheme included the following alterations to the south elevation: 1) A 43 foot by 39 foot addition housing a ladies' locker room on the first floor and a second floor bar and lounge was made just west of the tower; and 2) The basement level was enlarged into a 57 foot by 79 foot men's locker room.
- In 1962 a two-story addition was made to the southwest corner of the building.
- In 1966, architect Ken Hess designed a second story addition to the lounge.
- In 1971, architect S. R. Peterson & Associates added a third story to the south elevation.
- In 1998, as part of a remodeling project, architect, Bob Easton, made extensive alterations to the exterior of the building. The most notable of these were the

following: 1) Re-creation of the building's Churrigueresque style ornamentation; 2) Replacement of the wood frame windows with metal frame windows; 3) Relocation of the main entrance to the west end of the north elevation; 4) the building of masonry wall around the service yard off of the east elevation; 5) Reconfiguration or relocation of the windows and doors on each of the four elevations; 6) Construction of a pergola along the south elevation and part of the west elevation; 7) Construction of a pool cabana adjacent to the pool; 8) Demolition of the garage wing; and 10) Reconfiguration of the parking area.

Despite these alterations to the north, east and west elevations, they can still convey many of the character-defining features from the building's period of significance (1918-1947). Alterations to the south elevation, however, have been more extensive and have obscured much of the original design scheme, with the exception of the tower and the front gable wing of the main block, which still largely retained their integrity. Because of the modifications to the south elevation it cannot fully convey Bertram Goodhue's original design. The clubhouse retains design integrity for three of its four elevations, as well as the most significant elements that defined the architectural scheme for the south elevation (the tower and front gable wing of the main block). Therefore, the clubhouse has retained its integrity of design.

### The Badminton Building

A number of alterations have been made to the building since its construction in 1939. These include the following:

- In 1939 a porch was added to the building (designed by Chester Carjola).
- In 1940 a 58' x 50' foot addition and interior galleries (designed by Chester Carjola).
- In 1965 an interior gallery was added (designed by J. F. Martin).
- In 1968 a 2,800 square-foot addition was made to the mezzanine level.
- In 1997 a one-story maintenance building that abutted the badminton building was demolished.

These alterations have diminished the ability of the building to convey its original appearance. Alterations to the interior, including the removal of the original bleachers and the insertion of a mezzanine level, have so altered the interior that it cannot convey its original function as a badminton court. Since the alterations to the exterior are not extensive the exterior of the building has retained its integrity of design.

### Service Buildings (APN 015-280-014)

Only one of the original circa-1918 service buildings remains in place and it has undergone a number of alterations including the removal of one of its original wings. The demolition of two other service buildings and the alteration of the remaining circa-1918 building as well as the construction of two service buildings in circa 1998, has

impacted the ability of the original complex of service buildings; therefore, it has not maintained its integrity of design.

### The Golf Course

The golf course has undergone an extensive series of alterations since Max Behr redesigned the course in 1922. These include the following:

- The golf course was re-landscaped in 1939 when over 200 trees were planted.
- In the late 1940s construction of a divided highway and later U.S. 101 Freeway truncated the south end of the course and required the relocation of three of the golf course's fairways and greens to the northeast corner of the property. At this time the entire course underwent a number of alterations and modifications including the planting of more trees.
- Sometime during the early 1950s William P. Bell, of Pasadena, was hired to reconfigure the greens and fairways, alter the course's network of pathways, and re-landscape portions of the grounds.
- Two of the original service buildings have been demolished.

Because of the extensive series of alterations, including the relocation of three fairways and extensive re-landscaping carried out since Max Behr designed the course, it can no longer convey its historic appearance. Therefore, the golf course has not retained its integrity of design.

### **3) Integrity of Setting**

*Integrity of setting means those buildings, structures, or features associated with a later development period have not intruded upon the surrounding area to the extent that the original context is lost.*

### Clubhouse, Badminton Building, Service Building and Golf Course

The golf course and grounds were not completed until 1922, four years after the completion of the clubhouse. Designed by Max Behr, the golf course encompassed 18 holes laid out on a sloping course that extended from the south side of the clubhouse to the Coast Highway. The immediate surroundings of the clubhouse were embellished with formal plantings of ornamental flowers, shrubs, and trees. A one-story wing, projecting from the northwest of the clubhouse, formed the west boundary of a motor court that extended along the north elevation of the building. Over the past 88 years, both the country club and its setting have undergone a number of significant alterations. These include the following:

- The golf course was re-landscaped in 1939 when over 200 trees were planted.
- In the late 1940s construction of a divided highway and later U.S. 101 Freeway truncated the south end of the course and required the relocation of three of the golf course's fairways and greens to the northeast corner of the property. At this time the entire course underwent a number of alterations and modifications including the planting of numerous trees.
- In the early 1950s William Bell made further alterations to the golf course.
- Between 1921 and 1998 the clubhouse underwent six major renovations that resulted in the loss of virtually all its original landscaping.
- When it was built, the setting of the club was characterized by a number of large estates. After World War II most of these estates were subdivided into smaller residential properties.
- In the 1970s a section of land located at the northwest corner of the country club was developed with single-family houses.

Notwithstanding the alterations listed above, the setting of the Montecito Country Club can still convey much of the semi-rural quality that characterized it during the property's period of significance. Therefore, the resource has retained its integrity of setting.

#### **4) Integrity of Materials**

*Integrity of materials means that the physical elements present are still present, or if materials have been replaced, the replacement(s) have been based on the original.*

##### The Clubhouse

The clubhouse has undergone at least six major remodeling schemes during the last 88 years. As a result a significant amount of the building's original materials, have been removed or replaced. The recreation of the building's missing Churrigueresque style ornamentation in 1998 has enhanced the integrity of the building. Replacement materials to a large extent match the appearance of the originals. However, some alterations such as the installation of tinted glazing, which does not match the appearance of the original windows, have impacted the resource's integrity of materials. The building has retained much of its original construction materials, and its replacement materials largely matched the originals in appearance. Therefore, the building has retained its integrity of materials.

### The Badminton Building

The exterior of the building has retained most of its original materials including its stucco wall sheathing, timber framing and arched roof. Therefore, the Badminton Building has retained its integrity of materials.

### Service Buildings (APN 015-280-014)

Only one of the original circa-1918 service buildings remains in place. The demolition of two other service buildings has impacted the ability of the original complex of service buildings to convey the character of its original building materials; therefore, the service building complex has not maintained its integrity of materials.

### The Golf Course

In order to convey its integrity of materials a landscape, such as the golf course should either retain its original landscaping and hardscape or its replacement landscaping and hardscape should match the original in appearance and design. The golf course has undergone an extensive series of alterations, including the removal of the three of the original links, the reconfiguration of the original course and the installation of landscaping that is not in keeping with Max Behr's original course layout. Because of these changes the golf course does not retain its integrity of materials.

## **5) Integrity of Workmanship**

*Integrity of Workmanship means that the original character of construction details is present. These elements can not have deteriorated or been disturbed to the extent that their value as examples of craftsmanship have been lost.*

### The Clubhouse

The clubhouse has undergone at least six major remodeling schemes during the last 88 years. As a result most of the building's original exterior finishes have been removed or replaced. In at least one case, the recreation of the missing Churrigueresque style ornamentation has enhanced the integrity of the building. However, other changes, such as the replacement of virtually all of the original windows, doors and large expanses of the original plaster, have impacted the ability of the building to convey its original of workmanship. Therefore, the clubhouse has not retained its integrity of workmanship.

### The Badminton Building

Utilitarian in design, the exterior of the Badminton Building has retained sufficient physical integrity to convey the character of its original construction. Therefore, the Badminton Building has retained its integrity of workmanship.

### Service Buildings (APN 015-280-014)

Only one of the original circa-1918 service buildings remains in place. The demolition of two other service buildings and alterations made to the remaining service building has impacted the ability of the original complex to convey the character of its original workmanship; therefore, the service building complex has not maintained its integrity of materials.

### The Golf Course

The golf course's ability to convey its original level of workmanship has been significantly compromised by alterations carried out since 1922 these include the relocation of several holes and the planting of over 200 trees on the course. These changes have been extensive enough that the course no longer conveys the quality of workmanship that characterized the original course. Therefore, the golf course has not retained its integrity of workmanship.

### **6) Integrity of Feeling**

*The property's expression of a particular time and place*

### Clubhouse

The extensive series of alterations carried out over the last 88 years has somewhat diminished the clubhouse's ability to convey its appearance during its period of significance (1918-1947). This is particularly true in regard to the south elevation, which has been modified by the construction of a third floor addition and a two-story wing. The loss of almost all of the original landscaping also has diminished the integrity of the clubhouse's setting. Notwithstanding these changes the building can convey the essential features of its historic appearance, especially when viewed from significant historic viewsheds such as the 101 Freeway, and the Andree Clark Bird Refuge. Therefore, the clubhouse has retained its integrity of feeling.

### The Badminton Building

The Badminton Building has undergone some modifications since its date of construction, including the addition of an exterior ramp on the east side of the building to provide golf carts access to the second floor, removal of the interior bleachers and the addition of a mezzanine level. Nevertheless, despite these changes the exterior of the Badminton Building retains integrity of feeling.

### Service Buildings (APN 015-280-014)

Only one of the original circa-1918 service buildings remains in place. The demolition of two other service buildings and the alteration of the remaining circa-1918 service building have impacted the ability of the original complex of service buildings to convey

its historic appearance and feeling, which was characterized by an informal grouping of vernacular type board-and-batten structures; therefore, the service building complex has not maintained its integrity of feeling.

#### Golf Course

The golf course has undergone an extensive series of alterations since its original construction in 1922. These changes, which include re-landscaping and the relocation of several holes and fairways, have significantly diminished its ability to convey its appearance during its period of significance. Therefore, the golf course has not retained its integrity of feeling.

### **7) Integrity of Association**

*The link between a significant event or person and the property*

#### Clubhouse, Badminton Building, Service Buildings and Golf Course

The Montecito Country Club was owned between 1947 and 1973 by Avery Brundage. Onetime president of the International Olympic Committee, he was most noted for his contributions to both the national and international Olympic movement. It was Brundage, who carried out the first significant alterations to the clubhouse since the last major renovation of the clubhouse was undertaken by George Washington Smith, in 1921. Therefore, the clubhouse, Badminton Building, and golf course retain sufficient integrity to convey their association with Avery Brundage.

### **7.3 Summary Statement of Integrity**

#### Clubhouse

The clubhouse has retained its integrity of location, design, setting, materials, feeling, and association.

#### The Badminton Building

The Badminton Building has retained its integrity of location, design, setting, materials, feeling, and workmanship.

#### Service Buildings

The Service Buildings do not retain their integrity of location, design, setting, materials, feeling, association or workmanship.

#### Golf Course

The golf course has retained its integrity of location, setting, and association

## **7.4 Eligibility for Designation as a City Landmarks or Structures of Merit**

The following evaluation will focus on the resources that are associated with the historic themes identified in Section 8.1 of this report. The criteria used by the City of Santa Barbara, State of California and the National Register of Historic Places will be used to assess the potential historic and architectural significance of the property:

*In considering a proposal to recommend to the City Council any structure, natural feature, site or area for designation as a landmark, the Committee shall apply any or all of the following criteria:*

- (a) Its character, interest or value as a significant part of the heritage of the City, the State or Nation;*
- (b) Its location as a site of a significant historic event;*
- (c) Its identification with a person or persons who significantly contributed to the culture and development of the City, the State or the Nation;*
- (d) Its exemplification of a particular architectural style or way of life important to the City, the State or the Nation;*
- (e) Its exemplification of the best remaining architectural type in a neighborhood;*
- (f) Its identification as the creation, design or work of a person or persons whose effort has significantly influenced the heritage of the City, the State or the Nation;*
- (g) Its embodiment of elements demonstrating outstanding attention to architectural design, detail, materials or craftsmanship;*
- (h) Its relationship to any other landmark if its preservation is essential to the integrity of that landmark;*
- (i) Its unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood;*
- (j) Its potential of yielding significant information of archaeological interest;*
- (k) Its integrity as a natural environment that strongly contributes to the well-being of the people of the City, the State or the Nation (Chapter 22.22.040, City of Santa Barbara Municipal Code; Ord. 3900; 1, 1977).*

### **7.4.1 Previous Designations and Evaluations**

The parcel encompassing the clubhouse and the golf course links south of the clubhouse (APN 015-300-001 and APN 009-091-020) are listed in the City of Santa Barbara Potential Historic Structures/Sites List (after 1991). A Phase I Historic Resources Report prepared by Architectural Research Consultants, in 1996 determined that the clubhouse was eligible for listing as a City of Santa Barbara Structure of Merit (Architectural Research Consultants 1996).

## 7.4.2 Application of the Significance Criteria to the Property at 920 Summit Road

*(a) It character, interest or value as a significant part of the heritage of the City, the State or Nation:*

### The Clubhouse

Located on a prominent hillside at the entrance to Santa Barbara, and designed by nationally renowned architect, Bertram Goodhue, the clubhouse at the Montecito Country Club is an early example of the Spanish Colonial Revival style. Goodhue, a nationally renowned architect was noted for his institutional commissions, including buildings at West Point, the Oklahoma State Capitol, and the Panama–California Exposition, in San Diego, as well as Saint Bartholomew’s Church, in New York City. Goodhue designed only three buildings in the Santa Barbara area, including the Gillespie house (1903-1905), the Dater mansion and pool house (1910-1913), and the Montecito Country Clubhouse (1918). Goodhue synthesized a range of architectural motifs from Spain, North Africa, the Southwest, and Mexico into a regional style that was responsive to California’s Mediterranean-like climate. The clubhouse, with its restrained ornamentation, and emphasis on simple cubic volumes, is an important early example of the Spanish Colonial Revival; a style that soon would become the region’s dominant architectural style. In the early 1920s the building was remodeled by George Washington Smith, one of the leading practitioners of the Period Revival style during the 1920s. While the clubhouse has undergone an extensive series of alterations and additions, it has retained sufficient integrity to convey the essential features of its historic appearance. Moreover, it is the only building designed by Goodhue in the City of Santa Barbara. If the clubhouse had not undergone so many alterations since George Washington Smith completed his redesign of the building in 1921, it would be eligible for listing as a City of Santa Barbara Landmark because of its association with Bertram Goodhue and George Washington Smith. However, in its current state of preservation the Clubhouse at 920 Summit Road it is eligible for listing as a City of Santa Barbara Structure of Merit under Criterion *a*.

### The Badminton Building

The Badminton Building was designed by the architect Chester Carjola in 1939 to shelter an indoor badminton court. Utilitarian in design, the building does not reference a particular architectural style. Carjola was undoubtedly a significant architect in the Santa Barbara area, whose career spanned the period between the 1920s and the 1960s. He was most noted for his interpretation of the period revival ranging from Spanish Colonial Revival to Tudor Revival. The Badminton Building does not embody in its architecture the level of design excellence that Carjola was noted for; instead, it was a utilitarian building of purely functional design. Moreover, extensive alterations to the interior have diminished the ability of the building to convey its original function as an indoor badminton court. Therefore, the Badminton Building, which does not represent a significant example of Chester Carjola’s body of work, is not eligible for listing as a City of Santa Barbara Landmark or Structure of Merit under Criterion *a*.

### Service Buildings (APN 015-280-014)

The remaining circa-1918 service buildings played a secondary role in the history of the golf course. Moreover, only one of the original service buildings remains in place and it has been altered. Because the service building complex has not maintained its integrity and was not a significant component of the original club house or Max Behr designed golf course its is not eligible for listing as a City of Santa Barbara Structure of Merit under Criterion *a*.

### The Golf Course

The golf course was designed by Max Behr in 1922. Behr was one of the most prominent golf course designers in the United States during the 1920s. His courses featured an innovative design that used natural terrain and bunkers, rather than roughs to defend greens from every conceivable angle. Between 1920 and 1929 Behr designed at least 12 golf courses in California. Because the course was designed by a noted golf course designer using, what was then an innovative design scheme it is potentially eligible for listing under criterion *a*. However, as noted in Section 6.2 of this report the course lacks sufficient integrity to represent the scheme designed by Max Behr. Therefore, the golf course is not eligible for listing as a City of Santa Barbara Landmark or Site of Historic Merit under Criterion *a* because of its association with the noted golf course designer Max Behr.

*(b) Its location as a site of a significant historic event;*

### The Clubhouse, Badminton Building, Service Buildings and Golf Course

Extensive examination of records, including records on file at the Santa Barbara Historical Society, the Santa Barbara Community Planning Department, Santa Barbara County Planning and Development Department and the Santa Barbara Public Library did not reveal that the clubhouse at Montecito Country Club was the site of a significant historic event. Therefore, the property, which is not associated with a significant historical event, is not eligible for designation as a City of Santa Barbara Landmark or Structure of Merit under Criterion *b*.

*(c) Its identification with a person or persons who significantly contributed to the culture and development of the City, the State or the Nation;*

### The Clubhouse, Badminton Building, Service Buildings and Golf Course

The Montecito Country Club was owned by Avery Brundage, between 1947 and 1973. Brundage, onetime President of the International Olympic Committee, and a leading promoter of the Olympics at a national level, made significant contributions to the history of amateur sports in the United States. While Brundage was a notable historic figure, his significance is not directly related to his ownership of the Montecito Country Club, which

was run as a private club, rather than a public sporting venue. Therefore, the Montecito Country Club is not eligible for listing as a City of Santa Barbara Landmark or Structure of Merit because of its association with Avery Brundage, under Criterion *c*.

*(d) Its exemplification of a particular architectural style or way of life important to the City, the State or the Nation;*

### The Clubhouse

Designed by nationally renowned architect, Bertram Goodhue, the clubhouse at the Montecito Country Club is an early example of the Spanish Colonial Revival style. Goodhue is noted for his institutional commissions, such as West Point, the Oklahoma State Capitol, the Panama–California Exposition in San Diego, and Saint Bartholomew’s Church, in New York City. Goodhue designed only three buildings in the Santa Barbara area, two in the county, the Gillespie house (1903-1905), and the Dater mansion and pool house (1910-13), and one in the city, the Montecito Country Clubhouse (1918). Goodhue synthesized a range of architectural motifs from Spain, North Africa, the Southwest and Mexico, into a regional style that was responsive to California’s Mediterranean-like climate. The clubhouse, with its restrained ornamentation, and emphasis on simple cubic volumes, is an important early example of the Spanish Colonial Revival Style. Goodhue’s local commissions were particularly important as they were executed during the formative period of the Spanish Colonial Revival Style. Later in the early 1920s the building was redesigned by the noted architect George Washington Smith. Smith’s additions continued the Spanish Colonial Revival style scheme of the original club house. While the clubhouse has undergone an extensive series of alterations since Smith’s remodeling, it retains sufficient integrity to convey the essential features of its historic appearance. Moreover, it is the only Goodhue-designed building in the City of Santa Barbara. Therefore, because it represents the work of Bertram Goodhue a nationally renowned architect, and the architect George Washington Smith, and represents an early example of the Spanish Colonial Revival Style in Santa Barbara the Montecito Country Clubhouse is eligible for listing as a City of Santa Barbara Structure of Merit under Criterion *d*.

### The Badminton Building

Utilitarian in design, the Badminton Building was designed by the architect Chester Carjola in 1939 to shelter an indoor badminton court. It does not reference a particular architectural style instead the Badminton Court’s architectural scheme was purely functional in nature. The Badminton Building is not an exemplar of a particular architectural style; therefore it is not eligible for listing as a City of Santa Barbara Landmark or Structure of Merit under criterion *d*.

### Service Buildings (APN 015-280-014)

The remaining circa-1918 service building is a vernacular type board-and-batten style structure. As an example of a common architectural type built in great numbers during the first four decades of the twentieth century, the altered service building does not embody a sufficient level of design integrity to convey its original appearance. Therefore, the building is not eligible for listing as a City of Santa Barbara Structure of Merit under Criterion *d*.

### The Golf Course

Designed Max Behr the Montecito Country Club golf course, which exemplified the type of design innovation that Behr was noted for during the 1920s is potentially eligible for listing under Criterion *d*. However, as noted in Section 6.2 of this report, the ability of the course to represent the design scheme of Max Behr has been significantly impaired by alterations carried out in the 1920s through 1920s. Therefore, the golf course, which no longer conveys its historic design scheme or association with the work of Max Behr, is not eligible for listing as a City of Santa Barbara Landmark or Structure of Merit under criterion *d*.

*(e) Its exemplification of the best remaining architectural type in a neighborhood;*

### The Clubhouse

The neighborhood surrounding the golf course property is characterized by a diverse range of architectural styles, including Spanish Colonial Revival, Tudor Revival, California Ranch, Mid-century Modern, Mediterranean, and Contemporary. The clubhouse, even its altered form, is an early and notable example of a more formal interpretation of the Spanish Colonial Revival Style, a subtype of the Period Revival movement that achieved great popularity in the decades of the 1920s and 1930s. The style was inspired by Spanish and Italian precedents, as well as the Spanish Colonial/Mexican period architecture of nineteenth century California. General characteristics of the style include an emphasis on broad, planar walls, tiled roofs, asymmetrical fenestration, and a restrained employment of ornamentation. The clubhouse with its plaster sheathing, tile clad gable roofs, arcuated verandas (since enclosed), and tower, emulate many of the features found in Mediterranean inspired buildings constructed in the early decades of the twentieth century. While the clubhouse has undergone significant alterations, it remains an early and notable example of the style built by one of the nation's leading architects. If the clubhouse had retained more integrity it would potentially be eligible for listing as a City of Santa Barbara Landmark; however, in its current state of preservation, the clubhouse at 920 Summit Road is eligible for listing as a City of Santa Barbara Structure of Merit under Criterion *e*.

### The Badminton Building

Utilitarian in design the Badminton Building does not reference a particular architectural style. Instead, the Badminton Court's architectural scheme was purely functional in nature. Its architectural type is not characteristic of the neighborhood, which primarily features single-family houses set on expansive parcels. Therefore, the Badminton Building, which is not an exemplar of its architectural type, is not eligible for listing as a City of Santa Barbara Landmark or Structure of Merit under Criterion *e*.

### Service Buildings (APN 015-280-014)

Only one of the original circa-1918 service buildings remains in place. The demolition of two other service buildings and the alteration of the remaining circa-1918 service building have impacted the ability of the original complex of service buildings to convey its historic appearance and feeling, which was characterized by an informal grouping of vernacular type board-and-batten structures. Moreover, the original service buildings were utilitarian in design and were not exemplars of their vernacular type architecture. Therefore, the remaining circa-1918 service building is not eligible for listing as a City of Santa Barbara Structure of Merit under Criterion *e*.

### The Golf Course

Originally designed by the noted golf course designer Max Behr the golf course, if it had retained its integrity, would potentially be eligible for listing. However, as noted in Section 6, the course has undergone so many alterations that the original course design has been obscured. Therefore, the golf course is not eligible for listing as a City of Santa Barbara Landmark or Structure of Merit under Criterion *e*.

*(f) Its identification as the creation, design or work of a person or persons whose effort has significantly influenced the heritage of the City, the State or the Nation;*

### The Clubhouse

Bertram Goodhue is recognized as one of America's most important architects of the late nineteenth through the early twentieth century. His commissions, included, among others, the Cadet Chapel at West Point (1903-1910), Saint Bartholomew's Church in New York (1914-1919), the Nebraska State Capital (1920) the Main Library in Los Angeles (1924), as well as numerous residential commissions, all of which "attempted to re-conceive traditional forms in a personal and imaginative way, free of the rules of orthodox styles, [with a] fresh traditionalism [that] presaged modern architecture" (Oliver 1983: 115). Perhaps Goodhue's most noted contribution to regional architecture was his design for the buildings at the 1915 Panama-Pacific Exposition, in San Diego. Inspired by the Baroque architecture of Spain and Italy, as well as the vernacular architecture of Colonial Mexico and California, Goodhue's designs gave impetus to the development of the Spanish Colonial Revival Style, a style that reached its apogee in importance during the 1920s and 1930s. His scheme for the clubhouse, which emphasized

simple cubic volumes, enlivened with a restrained use of ornamentation, is an example of Goodhue's reinterpretation of traditional forms. It should be noted that while George Washington Smith remodeled the clubhouse in 1921, his alterations were for the most part, modest in a scale, and do not represent an important example of his work. If the clubhouse had retained more integrity it would potentially be eligible for listing as a City of Santa Barbara Landmark because of its association with the nationally renowned architect Bertram Goodhue. However, in its current state of preservation the clubhouse can not fully convey its original appearance. Therefore, the clubhouse at 920 Summit Road is eligible for listing as a City of Santa Barbara Structure of Merit under Criterion *f*.

### The Badminton Building

The Badminton Building was designed by architect Chester Carjola. Carjola was most noted for his interpretations of period revival styles, such as the Tudor Revival style Waters House (1932), and the Grange (1932-1933), as well as his post World War II work, such as the Modernist style Kurfess House (1960). Carjola, whose architectural practice spanned over 30 years, can be considered a significant architect, at the local level. Therefore, the Badminton Building meets Criterion *f*. However, while the Badminton Building meets Criterion *f* as an example of the work of a notable architect, namely Chester Carjola, it is not representative of his overall body of work, in which he is most noted for his residential design. Instead, the Badminton Building, which is utilitarian in design and does not reference a particular architecture style, does not embody the level of craftsmanship or design that Carjola is most noted for. Therefore, the Badminton Building is not eligible for listing as a City of Santa Barbara Structure of Merit under Criterion *f*.

### Service Buildings (APN 015-280-014)

The remaining circa-1918 service buildings cannot be attributed to a significant designer or architect. Therefore, the remaining circa-1918 service building is not eligible for listing as a City of Santa Barbara Structure of Merit under Criterion *f*.

### The Golf Course

Max Behr, who designed the Montecito Country Club golf course, was one of the most prominent golf course designers in California during the 1920s. He was noted for his innovative design philosophy. As a golf architect, Behr's belief, which was somewhat radical at the time, was to eliminate "rough on courses" preferring, as he noted, "to use natural terrain and bunkers to defend greens from every conceivable angle," a philosophy that first appeared at Hacienda GC, Montebello GC, Rancho Park GC and Montecito GC, all of which he designed in 1922. Over the next nine years he designed about a nine courses, including the Oakmont Country Club in Glendale and the Lakeside Country Club courses in 1924. His last course, designed for the Rancho Santa Fe Country Club opened in 1929. Because of its association with Max Behr the golf course, if it retained sufficient integrity, is potentially eligible for listing under Criterion *f*. However, as noted

in Section 6.2 of this report, the ability of the course to represent the design scheme of Max Behr has been significantly impaired by alterations carried out in the 1920s through 1920s. Therefore, the golf course, which no longer conveys its historic design scheme or association with the work of Max Behr, is not eligible for listing as a City of Santa Barbara Landmark or Structure of Merit under Criterion *f*.

*(g) Its embodiment of elements demonstrating outstanding attention to architectural design, detail, materials or craftsmanship;*

#### The Clubhouse

As designed by Bertram Goodhue, the clubhouse was is an exemplar of the Spanish Colonial Revival Style and is an example of the high quality design found in Goodhue's early twentieth century commissions. Since the clubhouse has undergone a number of significant alterations it is only eligible for listing as a City of Santa Barbara Structure of Merit under Criterion *g*.

#### The Badminton Building

Constructed of standard building materials, the Badminton Building is utilitarian in design and does not embody outstanding attention to architectural design, detail, materials, or craftsmanship. Therefore, the Badminton Building is not eligible for listing as a City of Santa Barbara Landmark or Structure of Merit under Criterion *g*.

#### Service Buildings (APN 015-280-014)

The remaining circa-1918 vernacular type service building was built of standard construction materials of the day, including dimensional lumber and factory made doors and windows to plan dictated by function rather than aesthetics. It does not embody in its design, materials or craftsmanship the level of significance that would make it eligible for listing as a City of Santa Barbara Structure of Merit under Criterion *e*.

#### The Golf Course

If the Golf Course had retained its integrity of design it would potentially be eligible for listing under Criterion *g*. However, as noted above under the discussion of Criterion *h*, the course lacks sufficient integrity to convey its original design. Therefore, the Golf Course is not eligible for listing as a City of Santa Barbara Landmark or Structure of Merit under Criterion *g*.

*(h) Its relationship to any other landmark if its preservation is essential to the integrity of that landmark;*

#### Clubhouse, Badminton Building, Service Buildings and Golf Course

Examination of the City's lists of Landmarks, Structures of Merit, and the Potential Designation List did not reveal any listed properties adjacent to the clubhouse, golf course and service buildings, at the Montecito Country Club. Therefore, the Montecito Country Club property is not eligible for listing as a City of Santa Barbara Landmark or Structure of Merit under Criterion *h*.

*(i) It's unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood;*

#### Clubhouse

Located on a sloping hillside, overlooking the 101 Freeway and the Andree Clark Bird Refuge, the clubhouse and golf course have formed a significant component of the city's viewscape since the early twenties. However, alterations carried out since the mid-1920s have diminished the ability of the building to convey its original appearance, especially in regard to its south elevation, which faces towards the freeway and waterfront. Therefore, in its current state of preservation the clubhouse is eligible for listing as a City of Santa Barbara Structure of Merit under Criterion *i*.

#### Badminton Building

While the Badminton Building occupies a prominent hillside location, its utilitarian architecture does not embody in its design or craftsmanship, the level of significance that would make it an important example of Chester Carjola's work or a significant visual contributor to the neighborhood setting. Therefore, the Badminton Building is not eligible for listing as a City of Santa Barbara Structure of Merit under Criterion *i*.

#### Service Buildings (APN 015-280-014)

The service building complex is located in a small arroyo located near the west end of the property. Because of its sheltered location, the complex is not readily visible from the golf course and does not form a significant element of the public viewshed. Therefore, the service building complex is not eligible for listing as a City of Santa Barbara Structure of Merit under Criterion *i*.

#### Golf Course

The golf course is a visually prominent feature of the landscape. However, in its current state the course cannot convey its historic appearance or association with Max Behr.

Therefore, the Golf Course is not eligible for listing as a City of Santa Barbara Landmark or Structure of Merit under Criterion *i*.

*(j) Its potential of yielding significant information of archaeological interest;*

The application of this criterion is beyond the purview of this report.

*(k) Its integrity as a natural environment that strongly contributes to the well-being of the people of the City, the State or the Nation (Chapter 22.22.040, City of Santa Barbara Municipal Code; Ord. 3900; 1, 1977).*

### Golf Course Property and Golf Course

As detailed in the historical overview section of this report, the property at 920 Summit Road has been profoundly modified by human activity over the last 224 years. Therefore, the Montecito Country Club is not eligible for listing under Criterion *k*.

### **7.4.3 Evaluation using Additional Criteria Listed in Chapter 2.3 (Section 5) of the MEA (Guidelines for Archaeological and Historical Structures and Sites, February 2002)**

*5. Any structure, site or object associated with a traditional way of life important to an ethnic, national, racial, or to the community at large; or illustrates the broad patterns of cultural, social, political, economic, or industrial history.*

The Montecito Country Club was the city's first private country club. Originally located near the present site of the Biltmore Hotel, the club later purchased land for a new clubhouse and golf course at its present location 1916. Beginning at-the-turn-of-the-twentieth century country clubs grew to become popular amenities in California's upscale residential communities where they functioned as the nexus for club member's socializing and charitable events. In its early, halcyon days the Montecito Country Club included charter members, such as Frederick Peabody, George Knapp, and C.K.G. Billings, all of whom played important roles in the cultural, social, political, and economic life of the community. Associated with the early twentieth century development of Santa Barbara, the clubhouse is eligible for listing as a City of Santa Barbara Structure of Merit under Additional Criterion 5.

*6. Any structure, site, or object that conveys an important sense of time and place, or contributes to the overall visual character of a neighborhood or district.*

The clubhouse has formed an important visual feature of the neighborhood since its completion in 1918. While the building has undergone a significant series of alterations, its most important features, namely its tower and two-story main block, have remained essentially intact. Because the clubhouse contributes to the overall character of the

neighborhood and the city, it is eligible for listing as a City of Santa Barbara Structure of Merit under Additional Criterion 6.

*7. Any structure, site or object able to yield information important to the community or is relevant to historical, historic archaeological, ethnographic, folkloric, or geographical research.*

Extensive examination of records on file at the City of Santa Barbara, Santa Barbara Historical Society and Santa Barbara Public Library did not reveal any information indicating that the clubhouse at the Montecito Country Club encompasses data relevant to the historical, historic archaeological, ethnographic, folkloric, or geographical research. Therefore, Montecito Country Club is not eligible for designation under Additional Criterion 7.

*8. Any structure, site or object determined by the City to be historically significant or significant in the architectural engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California, provided the City's determination is based on substantial evidence in light of the whole record [Ref. State CEQA Guidelines §15054.5 (a)(3)].*

The clubhouse at Montecito Country Club is listed in the City of Santa Barbara Historic Structures/Sites List. However, since the building is not a designated City of Santa Barbara Landmark or Structure of Merit, it does not qualify for designation under Additional Criterion 8.

#### **7.4.4 Summary Statement of Eligibility for listing as City of Santa Barbara Landmark or Structure of Merit**

Sections 7.4.2 and 7.4.3 of this report established that the clubhouse meets Criteria *a, d, e, f, g,* and *i* and Additional Criteria 5 and 6 that would make it eligible for listing at the local level. The clubhouse retains sufficient integrity to convey its architectural style, and to contribute to visual integrity of the neighborhood and city. However, because the clubhouse at Montecito Country Club does not retain a high level of architectural integrity, it is only eligible for listing as a City of Santa Barbara Structure of Merit.

#### **7.5 Eligibility for Listing in the California Register of Historical Resources**

The following criteria are used to determine the eligibility of a potential historic resource for listing in the California Register of Historical Resources:

*(a) For purposes of this section, the term "historical resources" shall include the following:*  
*1.) A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4850 et seq.).*

2.) *A resource included in a local register of historical resources, as defined in section 5020.1(k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.*

3.) *Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architecturally, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852) including the following:*

- a) Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;*
- b) Is associated with the lives of persons important in our past;*
- c) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or*
- d) Has yielded, or may be likely to yield, information important in prehistory or history.*

### **7.5.1 Application of the Criteria to 920 Summit Road**

#### **Criterion 1:**

The Clubhouse, Badminton Building, Service Buildings and Golf Course are neither listed, nor have they been determined to be eligible for listing at the state level. Therefore, the property at Montecito Country Club is not eligible for listing at under Criterion 1.

#### **Criterion 2:**

The Clubhouse, Badminton Building, Service Buildings and Golf Course are not a designated historic resource at the local level. Therefore, 920 Summit Road is not eligible for listing at under Criterion 2.

#### **Criterion 3d:**

##### Clubhouse

Bertram Goodhue is recognized as one of America's most important architects of the late nineteenth through the early twentieth century. His commissions, included, among others, the Cadet Chapel at West Point (1903-1910), Saint Bartholomew's Church in New York (1914-1919), the Nebraska State Capital (1920) the Main Library in Los Angeles (1924), as well as numerous residential commissions, all of which "attempted to re-conceive traditional forms in a personal and imaginative way, free of the rules of orthodox styles, [with a] fresh traditionalism

[that] presaged modern architecture” (Oliver 1983: 115). Perhaps Goodhue’s most noted contribution to regional architecture was his design for the buildings at the 1915 Panama-Pacific Exposition, in San Diego. Inspired by the Baroque architecture of Spain and Italy, as well as the vernacular architecture of Colonial Mexico and California, Goodhue’s designs gave impetus to the development of the Spanish Colonial Revival Style, a style that reached its apogee in importance during the 1920s and 1930s. His scheme for the clubhouse, which emphasized simple cubic volumes, enlivened with a restrained use of ornamentation, is an example of Goodhue’s reinterpretation of traditional forms. Since its construction, the clubhouse has undergone an extensive series of alterations that have diminished the ability of the building to convey its original design. While the building retains sufficient integrity to be eligible for listing as a City of Santa Barbara Structure of Merit, it does not retain sufficient integrity of design to be eligible for listing at the State level. Therefore, the clubhouse at the Montecito Country Club, is not eligible for listing under Criterion 3.

### Badminton Building

The Badminton Building was designed by Chester Carjola, a locally prominent architect. While the building represents the work of Carjola, it is not representative of his body of work which is most noted for residential commissions in a range of architectural styles. Moreover, the Badminton Building is utilitarian in design and represents a very minor example of his work. Therefore, the Badminton Building is not eligible for listing under Criterion 3d.

### Golf Course

The Golf Course, which no longer retains its integrity, can no longer convey the design of Max Behr. Therefore, the golf course is not eligible for listing under Criterion 3d.

## **7.6 Eligibility for Listing in the National Register of Historic Places**

Also to be considered are the criteria for the National Register of Historic Places. (MEA Technical Appendix 1 VGB-10):

*The quality of significance in American history, architecture, archaeology, and culture is present in districts, sites, buildings, structures, and objects of State and local importance that possess integrity of location, design, setting, materials, workmanship, feeling and association, and:*

- (a) That are associated with events that have made a significant contribution to the broad patterns of our history; or*
- (b) That are associated with the lives of persons significant in our past; or*
- (c) That embody the distinctive characteristics of a type, period or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or*

*(d) That have yielded, or may be likely to yield, information important in prehistory or history.*

#### **7.6.1 Application of the Criteria to 920 Summit Road**

*(a) That are associated with events that have made a significant contribution to the broad patterns of our history;*

##### Clubhouse, Badminton Building, Service Buildings and Golf Course

Extensive examination of records on file at the Santa Barbara Historical Society, the Santa Barbara Community Planning Department and the Santa Barbara Public Library did not reveal that 920 Summit road was location of a historically notable event. Therefore, the clubhouse does not qualify for listing under Criterion *a*.

*(b) That are associated with the lives of persons significant in our past;*

##### Clubhouse, Badminton Building, Service Buildings and Golf Course

The club was owned by Avery Brundage between 1947 and 1973. Brundage's significance is primarily associated with his role as a promoter of the Olympics, rather than as the owner of a private golf club. There is no documentation that the club was associated with Brundage's role as President of the International Olympic Committee a leading member of the United States Olympic Committee. Therefore, the clubhouse is not eligible for listing in the National Register of Historic Places under Criterion *b*.

*(c) That embody the distinctive characteristics of a type, period or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction;*

##### Clubhouse

Bertram Goodhue is recognized as one of America's most important architects of the late nineteenth through the early twentieth century. His commissions, included, among others, the Cadet Chapel at West Point (1903-1910), Saint Bartholomew's Church in New York (1914-1919), the Nebraska State Capital (1920) the Main Library in Los Angeles (1924), as well as numerous residential commissions, all of which "attempted to re-conceive traditional forms in a personal and imaginative way, free of the rules of orthodox styles, [with a] fresh traditionalism [that] presaged modern architecture" (Oliver 1983: 115). Perhaps Goodhue's most noted contribution to regional architecture was his design for the buildings at the 1915 Panama-Pacific Exposition, in San Diego. Inspired by the Baroque architecture of Spain and Italy, as well as the vernacular architecture of Colonial Mexico and California, Goodhue's designs gave impetus to the development of the Spanish Colonial Revival Style, a style that reached its apogee in importance during the 1920s and 1930s. His scheme for the clubhouse, which emphasized

simple cubic volumes, enlivened with a restrained use of ornamentation, is an example of Goodhue's reinterpretation of traditional forms. Since its construction, the clubhouse has undergone an extensive series of alterations that have diminished the ability of the building to convey its original design. While the building retains sufficient integrity to be eligible for listing as a City of Santa Barbara Structure of Merit, it does not retain sufficient integrity of design to be eligible for listing at the national level. Therefore, the clubhouse at the Montecito Country Club is not eligible for listing under Criterion *c*.

### Badminton Building

The Badminton Building was designed by Chester Carjola, a locally prominent architect. While the building represents the work of Carjola, it is not representative of his body of work which is most noted for residential commissions in a range of architectural styles. Moreover, the Badminton Building is utilitarian in design and represents a very minor example of his work. Therefore, the Badminton Building is not eligible for listing under Criterion *c*.

### Service Buildings (APN 015-280-014)

Only one of the original circa-1918 service buildings remains in place. The demolition of two other service buildings and the alteration of the remaining circa-1918 service building have impacted the ability of the original complex of service buildings to convey its historic appearance and feeling, which was characterized by an informal grouping of vernacular type board-and-batten structures. Moreover, the original service buildings were utilitarian in design and were not exemplars of their vernacular type architecture. Therefore, the remaining circa-1918 service building is not eligible for listing as a under Criterion *c*.

### Golf Course

The golf course, which no longer retains its integrity, can no longer convey the design of Max Behr. Therefore, the golf course is not eligible for listing under Criterion *c*.

*(d) That have yielded, or may be likely to yield, information important in prehistory or history;*

The application of this criterion to archaeological deposits is beyond the purview for this report. Therefore, the property at 920 Summit Road is not eligible for designation under Criterion *d*.

## **7.7 Summary Statement of Significance**

The clubhouse at Montecito Country Club meets Criteria *a d, e, f, g, i*, and Additional Criteria 5 and 6 and is eligible for listing as a City of Santa Barbara Structure of Merit.

The property is not eligible for listing as a historic resource at the State level or National level.

## **8.0 DETERMINING IMPACTS TO SIGNIFICANT HISTORIC RESOURCES**

This component of the study will assess the impacts of the proposed alterations and additions to the character-defining elements of the house at Montecito Country Club. The City MEA uses State CEQA Guidelines §15064.5 for determining the significance of impacts to historic resources:

An adverse effect is defined as an action that will diminish the integrity of those aspects of the property that make it eligible for listing in a local, State or National register of historic resources. CEQA defines adverse effect in the following manner:

*A project with an effect that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment (Public Resource Code 15064.5 (b)). Substantial adverse change in the significance of an historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired (Public Resource Code 15064.5 (b1)).*

CEQA defines material impairment of a historic resource as follows:

*(A) Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources;*

*(B) Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to section 5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or*

*(C) Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA. (Public Resources Code 15064.5 (b2))*

*(3) Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's*

*Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995), shall be considered as mitigated to a level of less than significant.*

*(4) A lead agency shall identify potentially feasible measures to mitigate significant adverse changes in the significance of an historical resource. The lead agency shall ensure that any adopted measures to mitigate or avoid significant adverse changes are fully enforceable through permit conditions, agreements, or other measures.*

## **8.1 Work Plan**

This assessment will focus on an evaluation of the proposed alterations, modifications and additions to the clubhouse at the Montecito Country Club. The analysis will assess the direct and indirect effect of the proposed project on the architectural integrity of the resource. This will include a description of proposed modifications and additions. The effect of these proposed changes on the integrity of the existing clubhouse will be analyzed. If the effect of the project is determined to be significant, the report will include mitigation measures to reduce the effect of the project on the resource.

## **8.2 Secretary of the Interior Standards for Rehabilitation and City Guidelines**

The following standards for rehabilitation and restoration, developed by the United State's Department of the Interior will guide the analysis of the proposed renovation:

*Rehabilitation is defined as: the act or process of making possible a compatible use for a property through, repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.*

- 1) A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*
- 2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.*
- 3) Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*
- 4) Changes to a property that have acquired historic significance in their own right will be retained and preserved.*
- 5) Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*
- 6) Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*
- 7) Chemical and physical treatments, if appropriate, will be undertaken by the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

8) *Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

9) *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

10) *New additions and adjacent or related new construction will be undertaken in such a manner that if removed, in the future, the essential form and integrity of the historic property will be unimpaired (36 CFR Part 68, 1995 Federal Register, Vol. 60, No. 133).*

The following direction for applying mitigation measures is found in Section 2.5 of the *MEA Guidelines for Archaeological Resources and Historic Structures and Sites* (2002: 65 - 70). These include the following:

*In-situ preservation is the preferred manner of avoiding damage to significant historic resources.*

1. *Planning construction so that demolition or alteration of structures, sites and natural objects is not required; and*
2. *Incorporating existing structures, sites and natural objects into planned development whenever avoidance is not possible.*

As noted in the guidelines the appropriateness of potential mitigation measures is dependant on the type of historic resource and its degree of importance. A resource's significance is tied to its level of eligibility for listing at the local, state and national level (MEA 2002: 66-67). The following range of potential mitigation measures are listed in the MEA:

- 1) *Rehabilitation without relocation on site for use as habitable space, including compliance with all State Historic Building Code requirements. The Secretary of the Interior's Guidelines would apply to this treatment.*
- 2) *Preserving the historic structure on site as non-habitable space. The Secretary of the Interior's Guidelines would apply to this treatment.*
- 3) *Relocation and preservation of the historic structure on site for use as habitable space, including compliance with all State Historic Building Code requirements. The Secretary of the Interior's Guidelines would apply to this treatment.*
- 4) *Relocation and preservation of the historic structure on site for use as non-habitable space. The Secretary of the Interior's Guidelines would apply to this treatment.*
- 5) *Compatible incorporation of façade only of historic structure into the design of the new building on site (This treatment would not meet the Secretary of the Interior's*

*Guidelines that would apply to this treatment).*

*6) Advertisements for acquisition and relocation of structures with its subsequent rehabilitation at its new site. The Secretary of the Interior's Guidelines would apply to this treatment.*

*7) Demolition of historic structures with recordation according to the Community Development Department's "Required Documentation Prior to Demolition" standards.*

*8) Commemoration of the demolished structure with a display of text and photograph within the new building.*

*9) Commemoration of the demolished structure with a display of text and photograph on the exterior of the new building.*

*10) Commemoration of the demolished structure with an enclosed display of texts and photographs on the perimeter of the property at the primary entrance.*

*11) Salvage of significant materials for conservation in an historical display.*

### **8.2.1 The Property's Character and Non-Character Defining Elements**

The clubhouse's character-defining and non-character defining elements are listed below:

The following elements of the clubhouse are character defining:

- The tower, its recreated churrigueresque embellishments, the tile-covered roofs, and the remaining window openings from the Goodhue/Smith period.
- North elevation's original front entry and secondary entrance (excluding porte-cochere and other additions made in 1998).
- South elevation's remaining elements from the Goodhue period, including the concrete door surrounds, arched windows on main level, the two-story main block and the window openings dating from the Goodhue/Smith Period.
- East elevation's remaining elements from the Goodhue period, including the arcade and the gable-roofed wing at the south end of the elevation.
- West Elevation's remaining elements from the Goodhue/Smith period.

#### Setting

- The configuration of the golf course (such as the layout of the holes and fairways) itself is not a character-defining feature of the property. However, the golf course as a general design feature contributes to the integrity of the clubhouse.

The following elements of the clubhouse and its setting, are not character defining:

- Additions made since 1947 including the following: 1) the semi-circular wing on the south elevation; 2) the porte-cochere on the north elevation; 3) the additions made to the southwest corner of the building in 1962 and 1966; 4) the third floor addition made to the south elevation in 1971; 5) the pergola added in 1998 to the west and south elevations; 6) the service yard added to the east elevation in 1998; 7) the windows replaced or added in 1998; 8) the existing landscaping; 9) the pool and pool deck; the parking area; 10) The present layout of the golf course.

### **8.3 Description and Analysis of the Proposed Modifications and Alterations to the Clubhouse**

The applicant proposes a number of alterations, modifications and additions to the exterior of the building.

These alterations have the potential for directly impacting the character-defining elements of the clubhouse.

#### **8.3.1 North Elevation (entrance facade)**

The applicant proposes no alterations to the entrance façade (see Figures 11 and 15).

#### **8.3.2 East Elevation (facing towards Hot Springs Road)**

The applicant proposes the following alterations (see Figures 11 and 16):

- Alter the east end of the existing at grade walled service yard to screen the service yard from view.
- The fenestration of the first floor of the semi-circular wing at the south end of the elevation would be altered from arched opening to rectangular openings. The fenestration of the second floor would be simplified to reduce the number of lights.

The service yard and semi-circular wing post-date the building's period of significance. The proposed alterations are modest in scale and will not alter historic fabric. Therefore, the proposed remodeling scheme meets Standard 2: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.*

Standard 6: *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials.*

Standard 9: *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

### **8.3.3 South Elevation**

The applicant proposes the following alterations (see Figures 11 and 12):

- Remove the existing pergola at the east end of the elevation.
- The fenestration of the first floor of the semi-circular wing at the east end of the elevation would be altered from arched opening to rectangular openings. The fenestration of the second floor would be simplified to reduce the number of lights.
- A rectangular window located near the center of the elevation would be replaced by a set of double doors.
- Three arched opening at the west end of the elevation would be altered from semi-circular to rectangular openings.

The semi-circular wing near the east end of the elevation, the flat-roofed wing at the west end of the elevation and the pergola at the east end of the building post-date the building's period of significance. The window proposed for replacement by a set of double doors also post-dates the period of significance. The proposed changes, which are modest in scale and in referential to the historic architecture meet Standards 2, 6 and 9: Standard 2: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided:* Standard 6: *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials:* Standard 9: *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

### **8.3.4 West Elevation**

The applicant proposes the following alterations to the West Elevation (see Figures 11 and 14):

- Alter the exterior staircase and ramp at he north end of the elevation
- Add a walled courtyard near the center of the elevation

The fenestration of the first floor of the semi-circular wing at the east end of the elevation would be altered from arched opening to rectangular openings. The fenestration of the second floor would be simplified to reduce the number of lights.

- Replace a door and three small rectangular windows with a pair of large opening
- An arched openings on the first floor of the flat-roofed wing would be replaced by A rectangular opening

### **Evaluation of Direct Impacts**

The remodeling scheme proposed by architect, David Van Hoy, for the west elevation is modest in scale and would preserve the remaining features of the original scheme. Since these alterations are modest in scale and would not alter important character-defining features of the building, they would meet Standards 2 and Standard 6:

*Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.*

*Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials.*

Furthermore, the implementation of the proposed remodeling scheme for the west elevation would not result in the removal of historic fabric. Therefore, this addition is consistent with Standard 9:

*Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

### **8.3.5 Required Mitigation Measures for the Clubhouse**

No required mitigation measures are proposed for the clubhouse remodeling project.

### **8.4 Evaluation of Proposed Alterations and Modifications to the Grounds, Golf Course, and Accessory Buildings and Features.**

#### **8.4.1 The Existing Swimming Pool and Pool Cabana**

The swimming pool, built in 1948 and the pool cabana, built in 1998 would remain in place. Neither the pool nor the cabana is a contributing element to the property's historic designation.

The applicant proposes the following alterations and modifications:

- Re-landscape the pool area with new paving and plantings.

### **Evaluation of Impacts**

The swimming pool and pool cabana postdate the property's period of significance. Therefore, the proposed alteration of the swimming pool and pool cabana, which are not considered significant resources for the purposes of CEQA review, is considered adverse but not significant. Moreover, the removal of these features will not adversely impact the integrity of the nearby clubhouse, which is eligible for designation as a City of Santa Barbara Structure of Merit. The proposed remodeling scheme would not significantly alter the historic setting of the clubhouse, since it would be located in an area which already has been developed with pool facilities. The final design scheme for the swimming pool shall implement the following required mitigation measures to ensure that it will form a contextual addition to the clubhouse:

- The finish materials for the swimming pool terrace shall be referential to the nearby clubhouse.
- The plantings scheme shall draw its inspiration from the historic planting scheme of the clubhouse.
- The final design scheme shall be reviewed by the historian of record and submitted to the City of Santa Barbara Historic Landmark Commission for their review.

### **8.4.2 The Existing Tennis Courts, Tennis Pavilion, and Former Badminton Building**

The applicant proposes the following modifications and alterations:

- Demolish the existing tennis courts and associated sandstone retaining walls.
- Demolish the Tennis Pavilion.
- Demolish the former Badminton Building.
- Four hard-surfaced tennis courts would be built to the west of the existing tennis courts, at the location of the former Badminton Buildings (Figures 17 and 18).
- A one-story tennis pro shop would be built between the two tennis courts located west of the clubhouse. With its plastered walls, gable roof covered in c-shaped terra cotta tiles and rectangular window opening draw their inspiration from the Spanish Colonial Revival style.
- A golf course pro shop would be located just southwest of the clubhouse and adjacent to the southeast corner of the tennis court (see Figures 11, 17, and 18). The building would feature a rectangular footprint, plastered walls, and a front gable roof covered in c-shaped terra cotta tiles. The pro shop's most notable features are a large arched window on the south elevation, a pergola supported by plastered columns on the east elevation and a fireplace chimney located on the west elevation.

## Evaluation of Direct Impacts

The demolition of tennis pavilion (built in 1998), which postdates the property's period of significance, is considered adverse but not significant. The tennis courts were built sometime in the 1920s (the precise construction date could not be determined). The nearby Badminton Building, designed by Chester Carjola, was built in 1939. Both the tennis courts and Badminton Building date to the property's period of significance, but are not eligible for listing as significant historic resources. Therefore, their demolition is considered to be adverse but not significant. While neither the tennis courts nor the former Badminton Building, are eligible for designation, they do date to the period of significance; therefore, the following recommended mitigation measures are should be implemented:

- Photo-document the tennis courts (including the sandstone retaining wall) and Badminton Building prior to their demolition.
- Re-use, on site, the sandstone blocks from the demolished tennis court's retaining wall (the applicant proposes to re-use them for a cladding the walls of the golf cart tunnel located east of the Clubhouse).

The design proposed for the new tennis courts and pro shops are modest in scale and referential in design to the clubhouse. Therefore, the proposed design scheme meets Standard 10: *New additions and adjacent or related new construction will be undertaken in such a manner that if removed, in the future, the essential form and integrity of the historic property will be unimpaired.*

### 8.4.3 Re-align Entrance Drive and Construction of Golf Cart Tunnel

The applicant proposes to re-align the entrance drive east of the clubhouse. The realigned driveway would turn to the south just past the location of the proposed maintenance building. It would then turn north to join with the existing parking area located on the north side of the clubhouse. Near its west end a tunnel would pass beneath the driveway to allow golf carts to access the fairways located north of Summit Road. The tunnel would be embellished with sandstone veneer salvaged from the stone retaining wall surrounding the existing tennis court. Above the tunnel the road would be edged with a wood railing composed of stout timbers with diagonal wood braces.

## Evaluation of Direct Impacts

The driveway and parking lots, which in their present configuration, postdate the property's period of significance do not contribute to the historic context and setting of the nearby clubhouse. Therefore, the proposed alterations to these features are considered adverse but not significant. The realigned driveway, parking areas and tunnel would preserve the picturesque quality of the golf course's setting and landscaping and will not significantly impact the historic integrity of the nearby Clubhouse. Therefore, the impact of these proposed alterations is considered to be less than significant.

#### **8.4.4 New Maintenance Building**

A u-shaped one-story service building is proposed for a location east of the clubhouse (see Figures 20-21). With its wood sheathed walls designed to emulate the appearance of board-and-batten siding, low-pitched gable roof, and informal plan the design for the building draws its inspiration from traditional vernacular rural architecture of the late nineteenth and early twentieth century. On its south side the service yard would be delineated by two rows of storage bins for gravel, soil, and green waste. A wall, extending from the southwest corner of the building, would shield the view of the building from the entrance drive. Dense plantings of trees and shrubs would shield all four sides of the building from view.

#### **Evaluation of Direct and Indirect Impacts**

Construction of the maintenance building will not directly impact significant historic resources, such as the clubhouse. The vernacular style of the proposed building, which references an existing board-and-batten building located near the west end of the property, clearly differentiates the new building from the historic clubhouse and also maintains the visual hierarchy that characterized the original property (the clubhouse was designed in the Spanish Colonial Revival style, while the original service buildings were constructed as vernacular type buildings, using board-and-batten siding). While the overall scheme is appropriate, the placement of the storage bins on the south side of the building is of some concern, even though it would be shielded from view by trees and shrubs. It would be more appropriate if the bins were relocated to the east end of the building where they would not be as visible from the public viewshed to the south and the clubhouse, which is eligible for listing as a City of Santa Barbara Landmark. The following required mitigation measure shall be implemented:

- Re-locate the storage bins from the south side of the building to the east end of the building.

#### **8.4.5 Small Accessory Building Located Near the East End of the Property**

The applicant proposes to demolish a small board-and-batten shed, located near the intersection of Summit Road and Hot Springs Road.

#### **Evaluation of Direct Impacts**

- While the shed may have been built as early as the 1930s, it does not significantly contribute to the historic context or setting of the property. Therefore, the demolition of this building is considered adverse but not significant. No mitigation measures are required.

#### **8.4.6 Two Service Buildings Located Near the West End of the Property**

The applicant proposes to demolish two service buildings housing equipment and restrooms; the buildings are located in a small arroyo, between Fairway 2 and Fairway 3.

#### **Evaluation of Direct Impacts**

One of the existing service buildings appears to have been constructed sometime in the late 1930s or 1940s. This building has undergone numerous of alterations since its date of construction. While the building dates to the property's period of significance it does not significantly contribute to the historic context or setting of the clubhouse building. Therefore, demolition of the building is considered to be adverse but not significant.

#### **8.4.7 Demolish the Existing Service Buildings located west of the Clubhouse (APN 015-280-014)**

The applicant proposes to demolish three service building. As noted in Section 6.2.6 only one of the buildings is more than 50 years of age. The circa-1918 building is not eligible for listing as a significant historic resource at the City, state or national level; therefore its demolition is considered adverse but not significant. While the building is not eligible for listing as a historic resource it did play a role in the history of the golf course. In order to preserve a visual record of the building the following recommended mitigation measure should be implemented prior to its demolition:

- Photo-document the circa-1918 building prior to its demolition.

#### **8.4.8 Golf Course**

The applicant proposes to renovate the existing 18-hole golf course. Designed by the firm of Jack Nicklaus, Signature Golf Courses, the new course would correct the existing course's deficiencies, including safety concerns, poor slope angles, poor turf qualities, an ineffective irrigation system and seasonal flooding along Old Coast Highway. The renovation plan calls for the re-shaping the course, the realignment of the tees and greens and the reversal of the direction of play. Renovating the course and building the parking garage will require cut and fill of approximately 350,000 cubic yards and will result in the following alterations:

- Reconfiguration of each of the course's 18 tees and fairways.
- Restoration of the drainage swale (two channels would be restored).
- Reconfiguration of the network of course's paved pathways.
- Re-landscape of the grounds.

## Evaluation of Direct Impacts

The Max Behr-designed golf course has undergone an extensive series of alterations since its completion in 1922. These include the planting along the course of over 200 trees in 1939 and the relocation, in the late 1940s, of three greens from their initial location near the street frontage on Old Coast Highway to the northeast corner of the golf course. Because of these alterations the golf course no longer conveys its original design and, as a result is not eligible for designation as a significant historic resource. Therefore, the effect of the proposed new design for the golf course is considered to be adverse, but not significant, thereby meeting Standard 9: *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

The proposed golf course renovation scheme has the potential for having an effect on the setting of the clubhouse, which is considered a significant historic resource. In general, the conceptual scheme for the renovated golf course would form an appropriate surrounding for the historic clubhouse by maintaining the historic character of the property, which features a large clubhouse surrounded by an 18-hole golf course. However, in order to ensure that the renovated golf course forms a contextual setting for clubhouse, the following required mitigation measure shall be implemented:

- The final landscape scheme, including planting palette, shall be assessed by the historian of record prior to its submittal to the City of Santa Barbara Historic Landmark Commission for their review.

### 8.4.9 Proposed Landscaping Scheme

- The applicant proposes to re-landscape the grounds of the Montecito Country Club. As designed by the firm of George W. Girvin Associates Inc., the landscaping would emulate the property's historic landscaping scheme which featured naturalistic informal plantings of trees, shrubs, and flowers. In general the proposed landscaping plan, which features informal drifts of trees set in and around the golf course, with more formal plantings adjacent to the clubhouse, would form a contextual setting for the historically significant clubhouse. Several features of the design, such as the sandstone clad bridge and tunnel, would contribute contextually to the setting of the clubhouse.

## Analysis of Direct and Indirect Impacts

The property's original landscaping scheme has been almost entirely removed. This is especially true for the immediate vicinity of the clubhouse, where only a row of date palm trees survive from the original landscaping scheme. Since the landscaping does not does not retain sufficient integrity to convey its original scheme, and in its present form

postdates the property's period of significance, it is not considered a significant resource for the purposes of CEQA Review. Therefore, the alteration of the existing landscaping is considered adverse but not significant. However, since the design of the new landscaping could potentially effect the setting of the clubhouse, the following required mitigation measures shall be implemented to ensure that they will form a contextual addition to the clubhouse.

- Retain (either in place or moved to another location on the property) the date palm trees located just northeast of the clubhouse.
- The final design scheme and planting palette for the golf course and landscaping shall be reviewed by the historian of record and the submitted to the City of Santa Barbara Historic Landmark Commission for their review.

## 9.0 SUMMARY AND CONCLUSIONS

The applicant proposes to undertake a number of modifications and alterations to the property at 920 Summit Road, historically known as the Montecito Country Club. A Historic Structures/Sites Report was prepared to determine if the property was eligible for listing as a historic resource and to evaluate the effect of the project on the potential historic resource. The report concluded that the clubhouse, which was designed by Bertram Goodhue, is eligible for designation as a City of Santa Barbara Structure of Merit. The report evaluated the proposed design scheme and determined that it met the Secretary of the Interior's Standards. Therefore, the impact of the proposed project to historic resources is considered less than significant if the following required mitigation measures are incorporated into the project:

### Required Mitigation Measures:

- Re-use, on site, the sandstone blocks from the demolished tennis court's retaining wall (the applicant proposes to re-use them for a cladding the walls of the golf cart tunnel located east of the Clubhouse).
- The finish materials for the remodeled swimming pool terrace shall be referential to the nearby clubhouse.
- The plantings scheme for the swimming pool shall draw its inspiration from the historic planting scheme of the clubhouse.
- The final design scheme for the swimming pool terrace shall be reviewed by the historian of record and submitted to the City of Santa Barbara Historic Landmark Commission for their review.
- Re-locate the storage bins from the south side of the proposed maintenance building to a less prominent location on the east side of the building.

- Retain (either in place or moved to another location on the property) the date palm trees located just northeast of the clubhouse.
- The final design scheme and planting palette for the golf course and landscaping shall be reviewed by the historian of record and the submitted to the City of Santa Barbara Historic Landmark Commission for their review.

#### Recommended Mitigation Measures

Implementation of the following recommended mitigation measures should be incorporated into the project:

- Photo-document the tennis courts (including the sandstone retaining wall) and Badminton Building prior to their demolition.
- Photo-document the former Badminton Building prior to its demolition.
- Photo-document the circa-1918 service building prior to its demolition.
- Re-use, on site, the sandstone blocks from the demolished tennis court's retaining wall (the applicant proposes to re-use them for a cladding the walls of the golf cart tunnel located east of the Clubhouse).

Following implementation of the required mitigation measures the effect of the project on historic resources would be less than significant. Implementation of the recommended mitigation measures would further reduced the impact of the project.

## 10.0 RESOURCES CONSULTED IN THE PREPARATION OF THE REPORT

### The following archives were used in the preparation of this report:

City of Santa Barbara Community Development Department, Building Permit Files  
County of Santa Barbara, Hall of Records

County of Santa Barbara Tax Assessor's Office  
Santa Barbara Historical Society, Gledhill Library

### The following published references and professional reports were consulted:

Andree, Herb and Noel Young.

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1883 *History of Santa Barbara and Ventura Counties, California, With Illustrations and Biographical Sketches of its Prominent Men and Pioneers*.

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1989 *Santa Barbara Neighborhoods*. Schauer Printing Studios: Santa Barbara.

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**The following newspapers, periodicals and city directories were used in this report:**

*Montecito Journal*, as cited.

*The Morning Press*, as cited.

*Santa Barbara City Directories: 1915 – 1991.*

*Santa Barbara News Press*, as cited.

**The following material, on file at the City of Santa Barbara, Community Development Department, Planning Division, was used in the preparation of this report:**

Street File for Montecito Country Club (920 Summit Road).

Planning File for Montecito Country Club (920 Summit Road).

Street File for the former Webb Estate (1045 Summit Road).

Planning File for the former Webb Estate (1045 Summit Road).

The following maps were consulted for this report:

Bird's Eye Map of Santa Barbara for 1898. On file at the Santa Barbara Historical Society, Gledhill Library.

Sanborn Fire Insurance Maps: 1918 - 1958. On file at the Montecito History Committee

United States Coast & Geodetic Survey Map of 1870. On file at the Santa Barbara Historical Society, Gledhill Library.

United States Coast & Geodetic Survey Map of 1878. On file at the Santa Barbara Historical Society, Gledhill Library.

United States Geological Survey, Santa Barbara County Special Maps: 1903 and 1909. On file at the Santa Barbara Historical Society, Gledhill Library.

MAPS

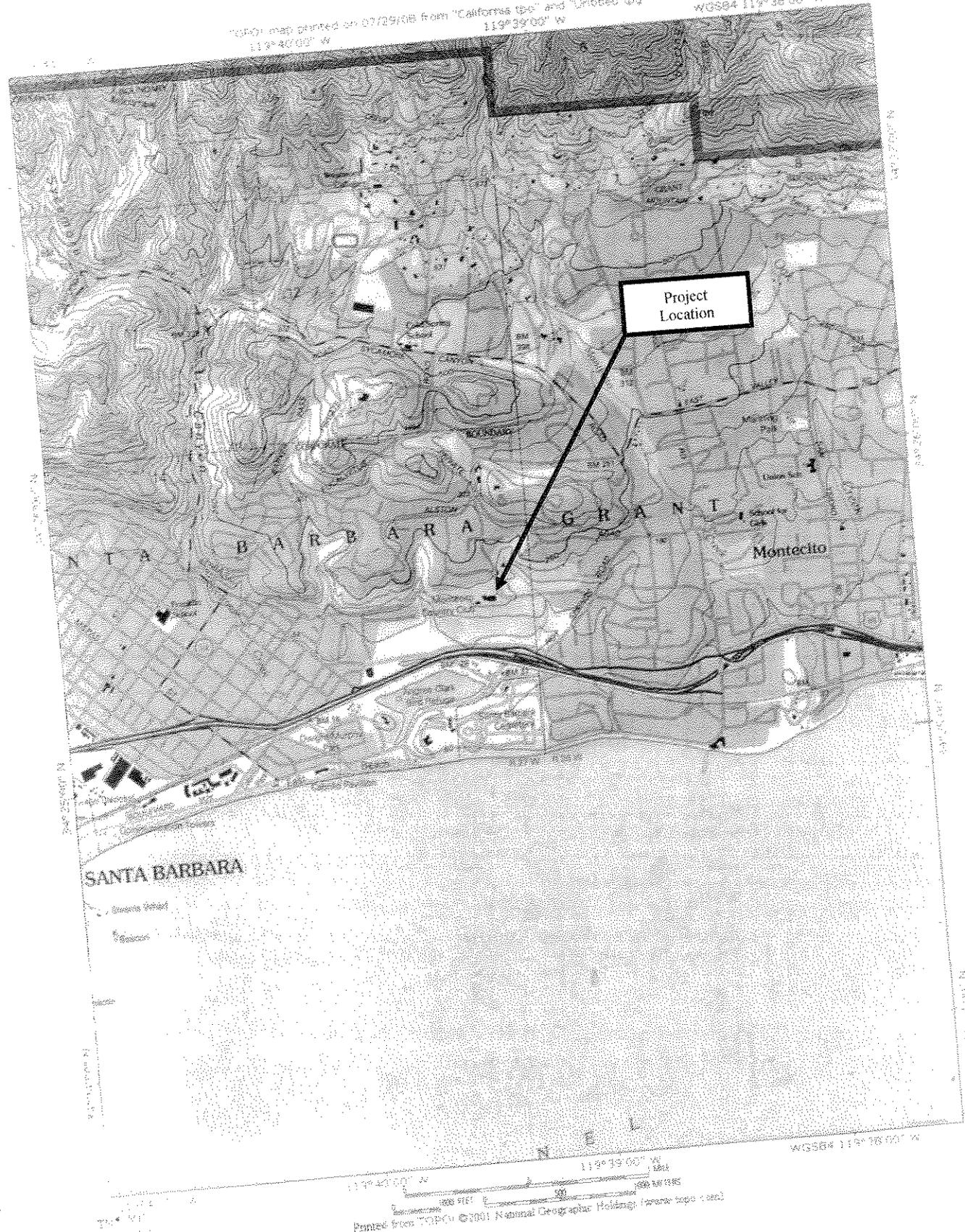
&

FIGURES

MONTECITO COUNTRY CLUB

Topographic map printed on 07/29/08 from "California topo" and "Unreduced topo"  
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WGS84 119°38'00" W

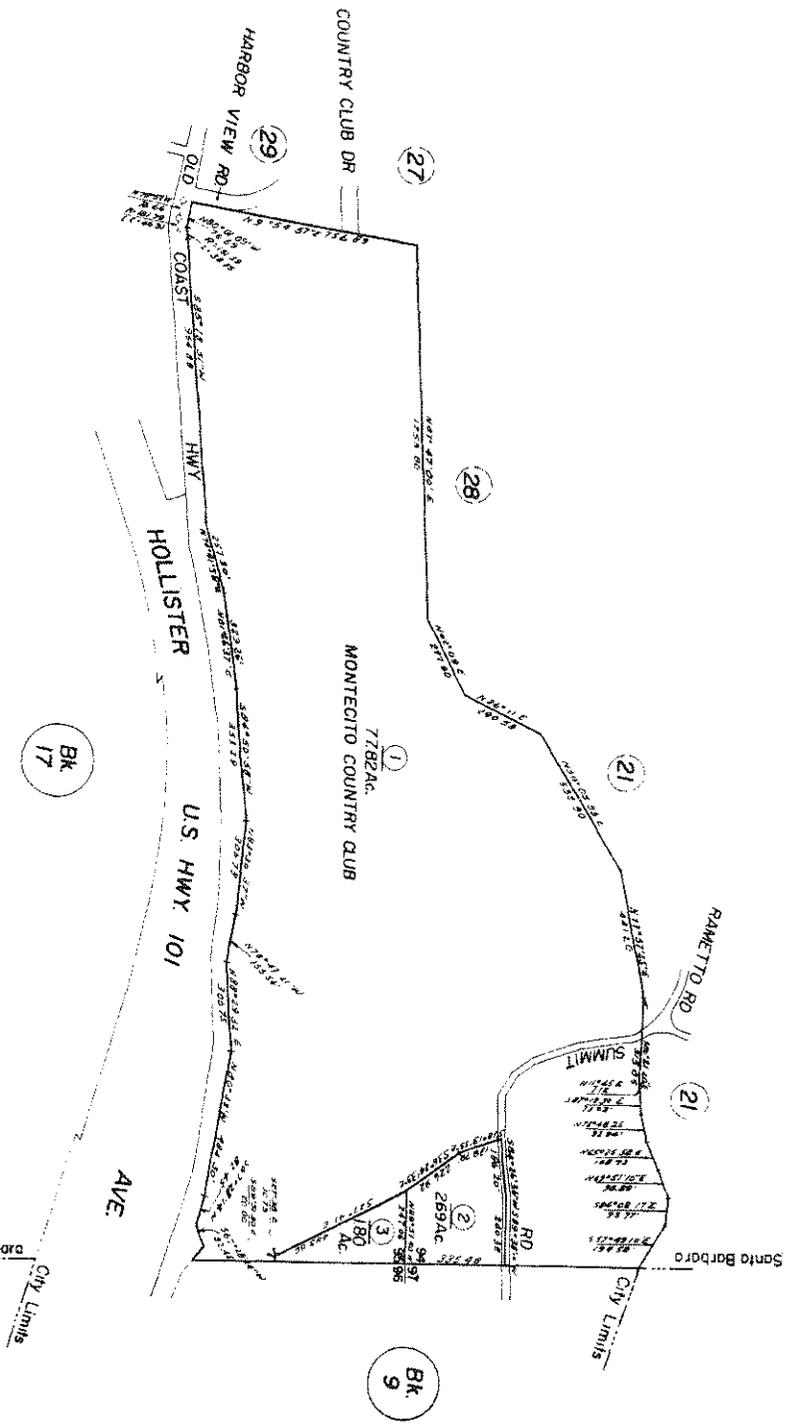


SANTA BARBARA

Montecito

119°40'00" W 119°39'00" W  
1000 FEET 1000 METERS  
Printed from TCRPCU ©2001 National Geographic Holdings (www.ngeo.com)

Figure 1  
Location Map  
Montecito Country Club, 920 Summit Road

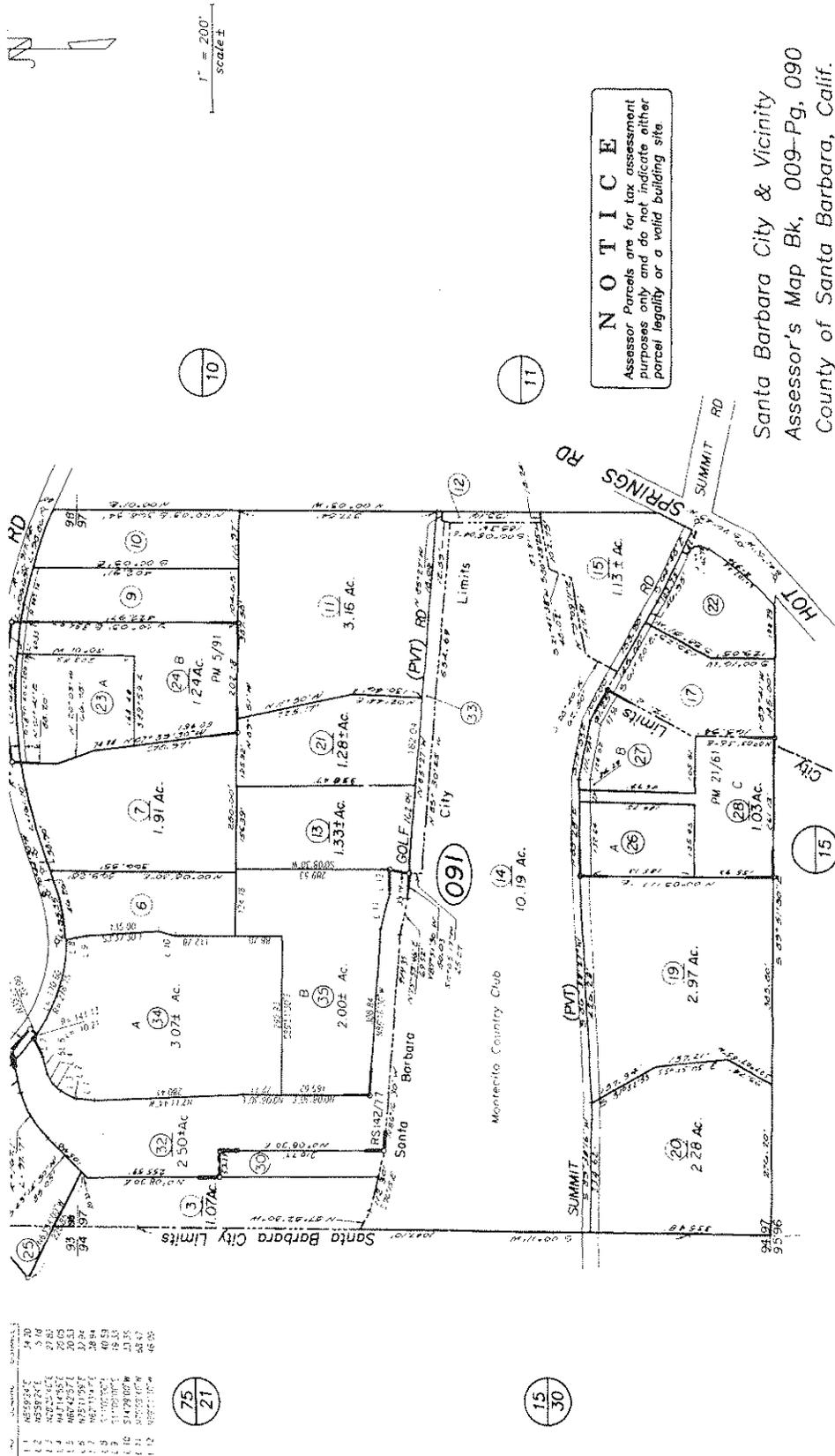


NOTE - Assessor's Block Numbers Shown in Ellipses  
 Assessor's Parcel Numbers Shown in Circles

Assessor's Map Bk. 15 - Pg. 30  
 County of Santa Barbara, Calif.

10/14

Figure 2  
 Montecito Country Club  
 APN 015-030-001; 002; 003  
 (APN Map 1 of 3)



**NOTICE**  
 Assessor Parcels are for tax assessment purposes only and do not indicate either parcel legality or a valid building site

Santa Barbara City & Vicinity  
 Assessor's Map Bk, 009-Pg, 090  
 County of Santa Barbara, Calif.

10/07 005 IN/0 014 & 035

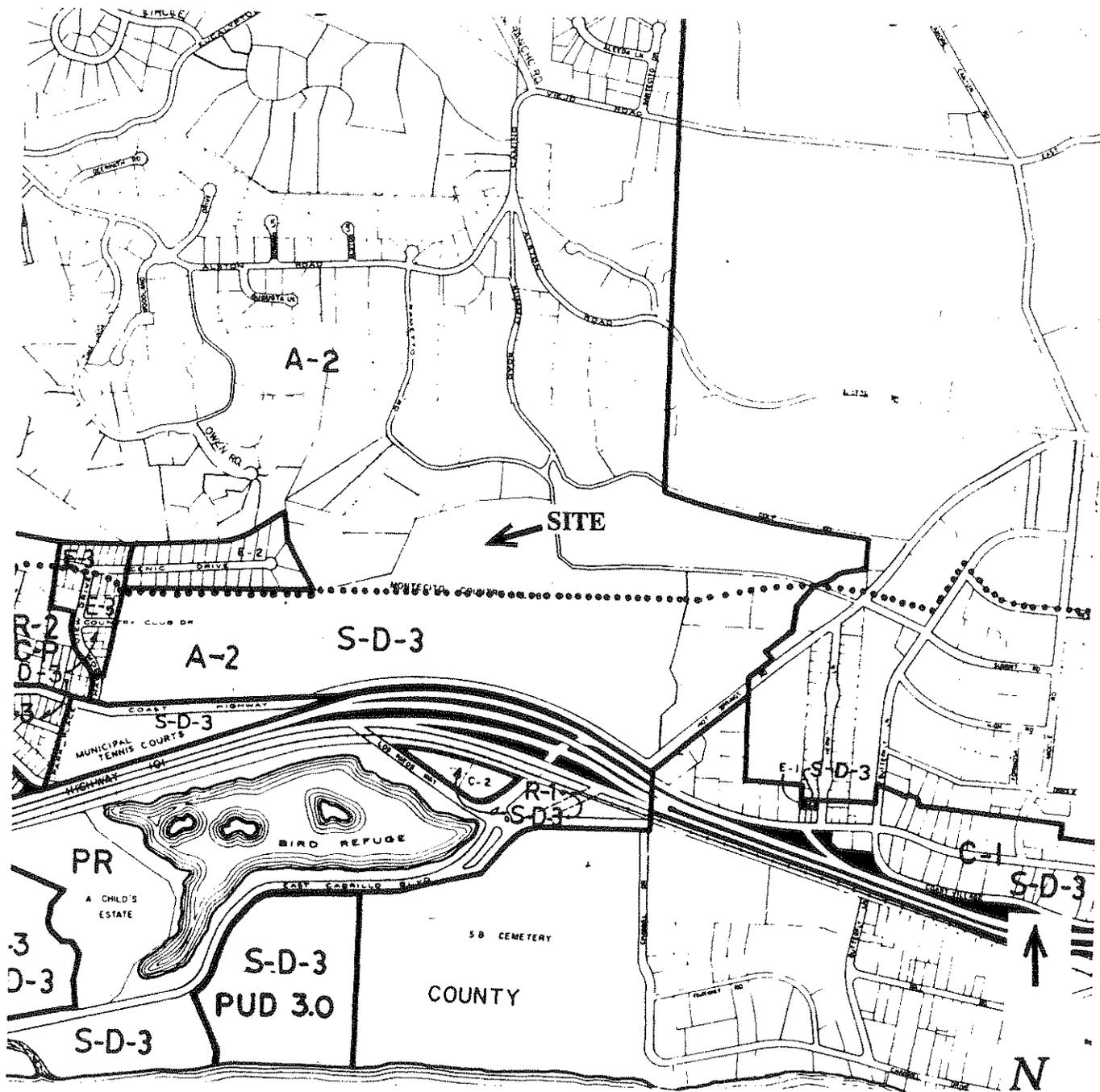
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35	4659318	14.20

75 21

15 30

Figure 3  
 Montecito Country Club  
 APN 009-091-012; 014; 015; 019; 020; 033  
 (APN Map 2 of 3)



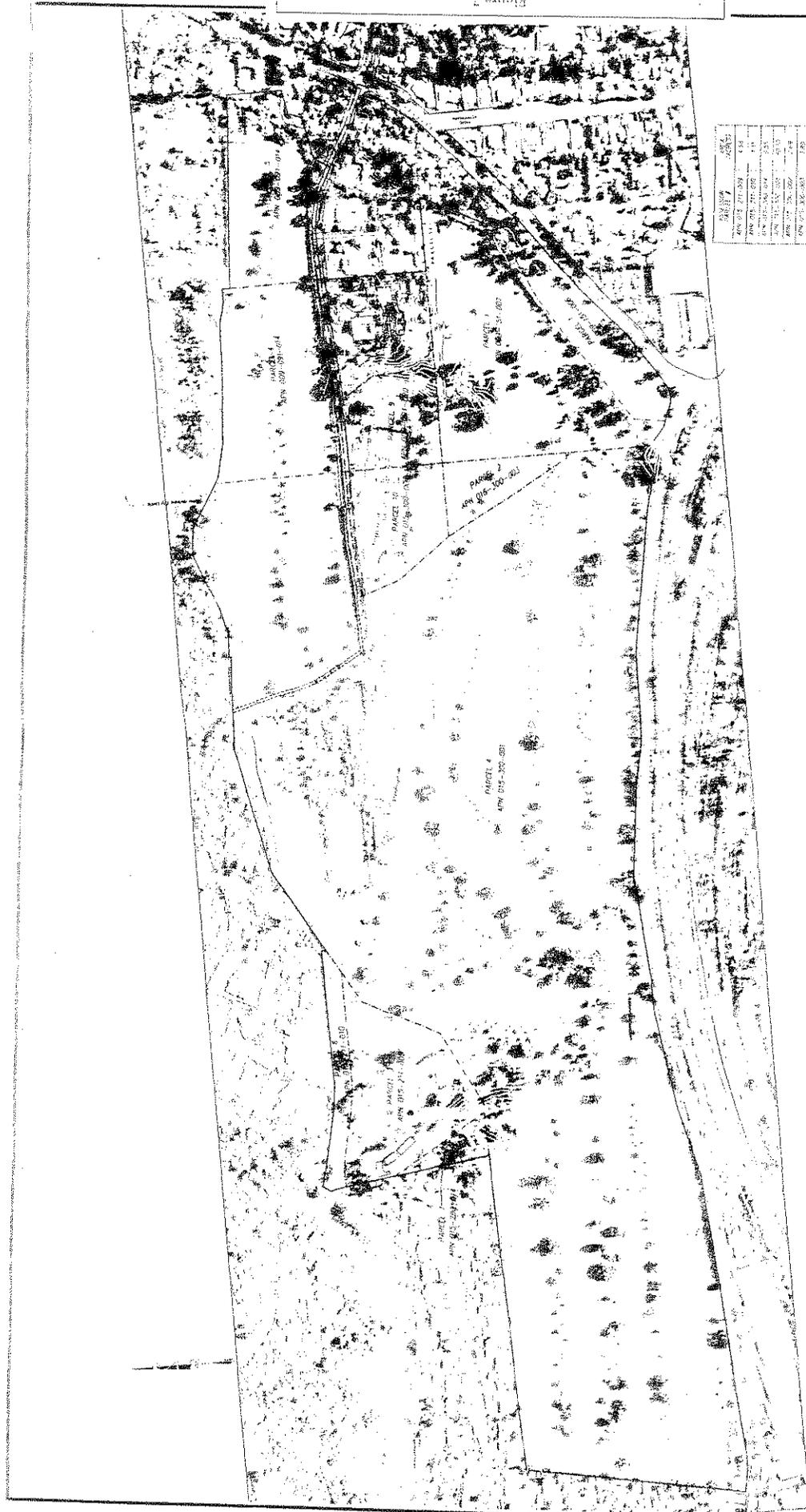


### VICINTY MAP

Figure 5  
 Montecito Country Club  
 Vicinity Map



Figure 7  
 Montecito County Club  
 Existing Conditions, Aerial Map



Parcel	Area (Acres)	Area (Sq. Ft.)
PARCEL 1	1.14	48,800
PARCEL 2	1.14	48,800
PARCEL 3	2.51	108,800
PARCEL 4	2.51	108,800
PARCEL 5	2.51	108,800
TOTAL	10.21	420,000

Montecito County Club  
 March 2006

NOT TO SCALE



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 State of California

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QUARTERS  
10000 E. QUARTERS BLVD.  
DENVER, CO 80231

### Montecito Country Club

10000 E. QUARTERS BLVD.  
DENVER, CO 80231

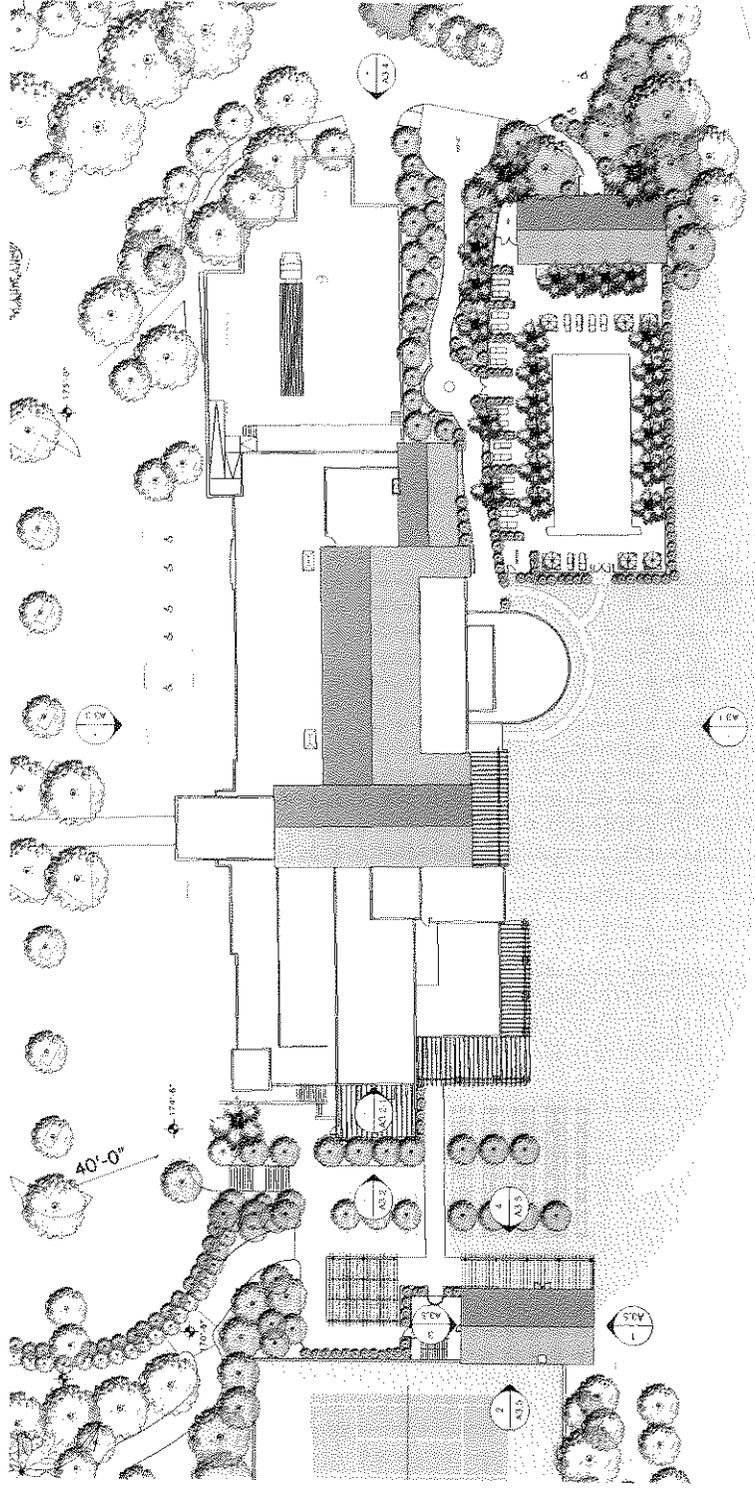
10000 E. QUARTERS BLVD.  
DENVER, CO 80231  
10000 E. QUARTERS BLVD.  
DENVER, CO 80231

NOT FOR  
CONSTRUCTION

Site Plan

A1.1

07.22.2008



Montecito Country Club  
Figure 8  
Proposed Site Plan

B.L.A. ARCHITECTS

200 West 10th Street  
Suite 100  
Austin, TX 78701  
Tel: 512.476.1111  
Fax: 512.476.1112  
www.bla.com  
David W. Smith, AIA  
Principal  
David W. Smith, AIA  
Principal  
David W. Smith, AIA  
Principal

### Montecito Country Club

10000 Montecito Drive  
Montecito, CA 93114

Project: Montecito Country Club  
Architect: B.L.A. Architects  
10000 Montecito Drive  
Montecito, CA 93114  
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Fax: 805.426.2002

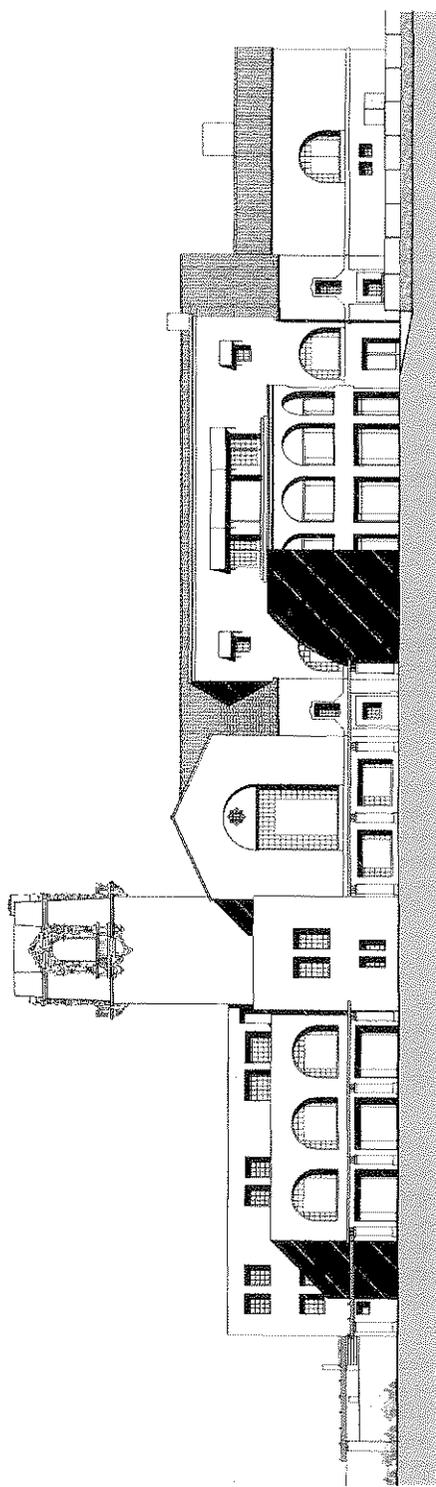
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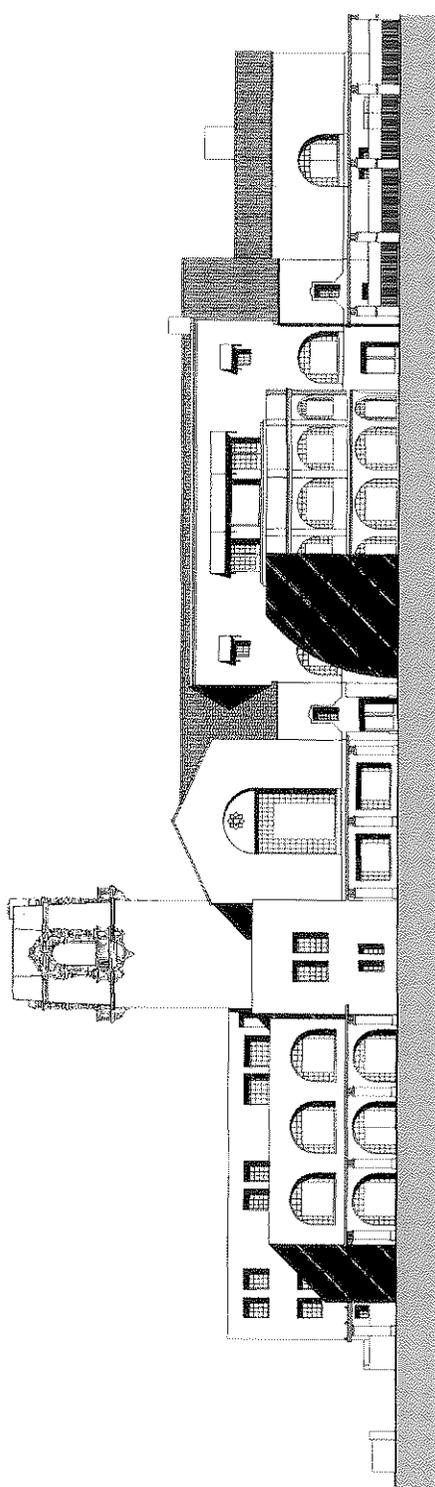
South Elevations

A3.1

conceptual design 07.02.2009



Proposed South Elevation  
Scale: 0 5 10 20



Existing South Elevation  
Scale: 0 5 10 20

Montecito Country Club  
Figure 9  
South Elevation

blackbird  
ARCHITECTS  
207 Park Ave.  
New York, NY 10022  
Tel: 212 692 2000  
Fax: 212 692 2001  
www.blackbirdarchitects.com

**Montecito Country Club**  
300 Montecito Clubhouse Drive  
Montecito, CA 93120  
Tel: 805 434 1200  
Fax: 805 434 1204

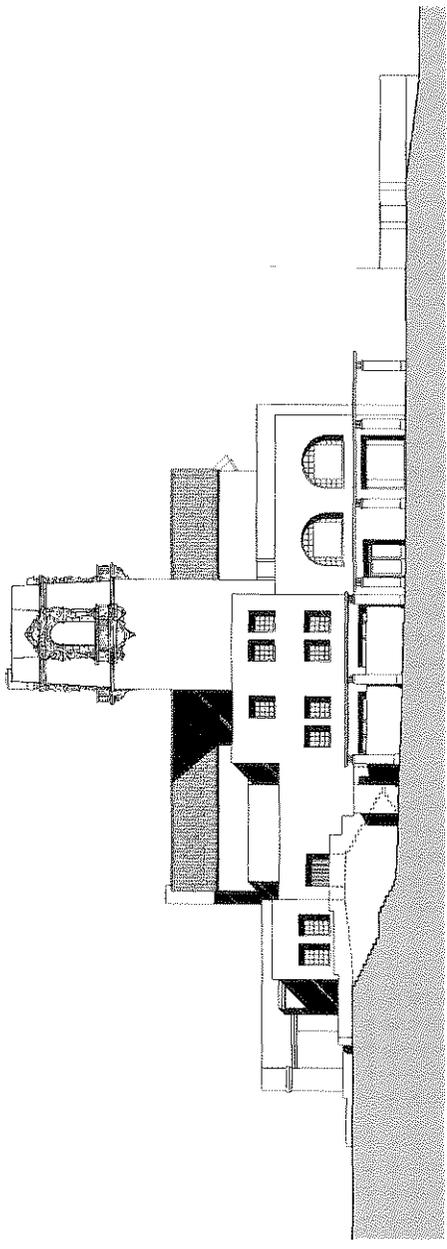
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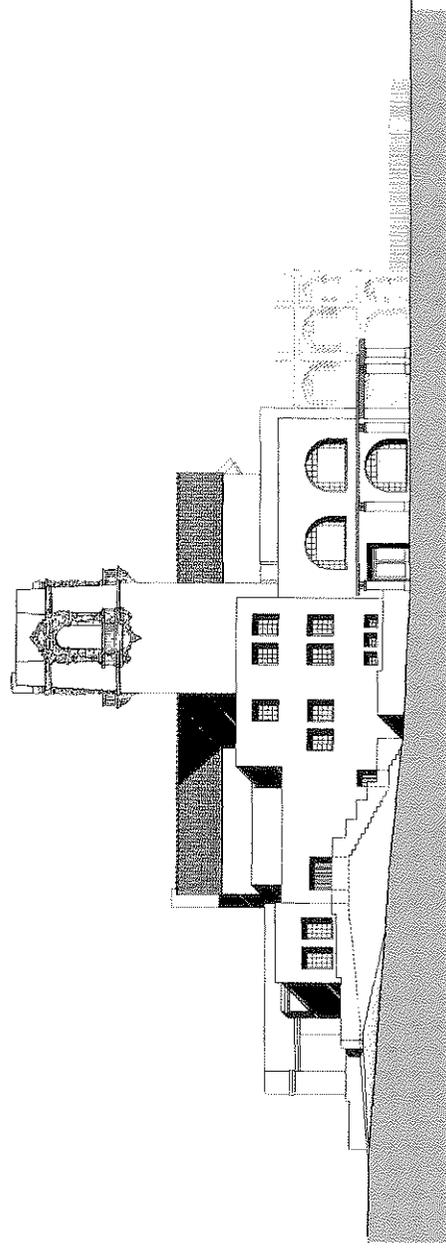
West Elevations

A3.2

Architectural Design

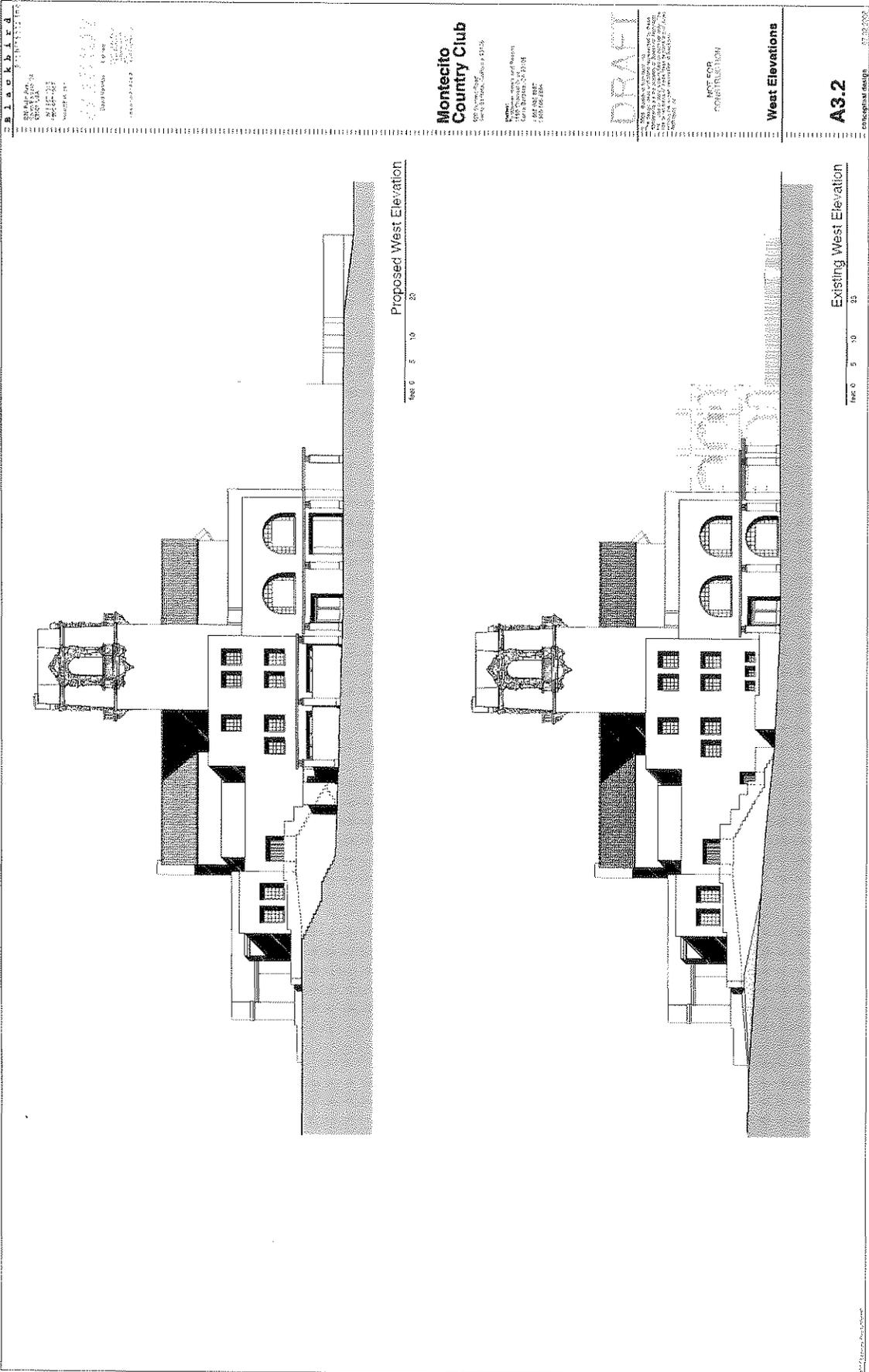


Proposed West Elevation  
Feet 0 5 10 20



Existing West Elevation  
Feet 0 5 10 20

Montecito Country Club  
Figure 10  
West Elevation



**Black & Veatch**  
 2700 Central Expressway  
 Suite 200  
 San Francisco, CA 94134  
 415.774.2000  
 www.bv.com

**Montecito Country Club**  
 1000 Montecito Road  
 Montecito, CA 93108  
 805.755.1234

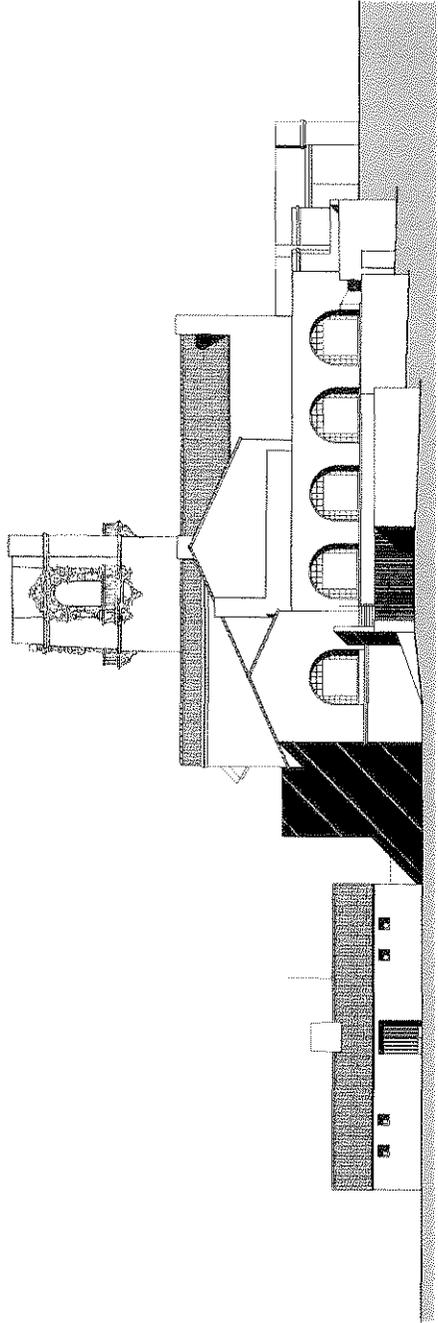
**Montecito Country Club**  
 1000 Montecito Road  
 Montecito, CA 93108  
 805.755.1234

**West Elevations**

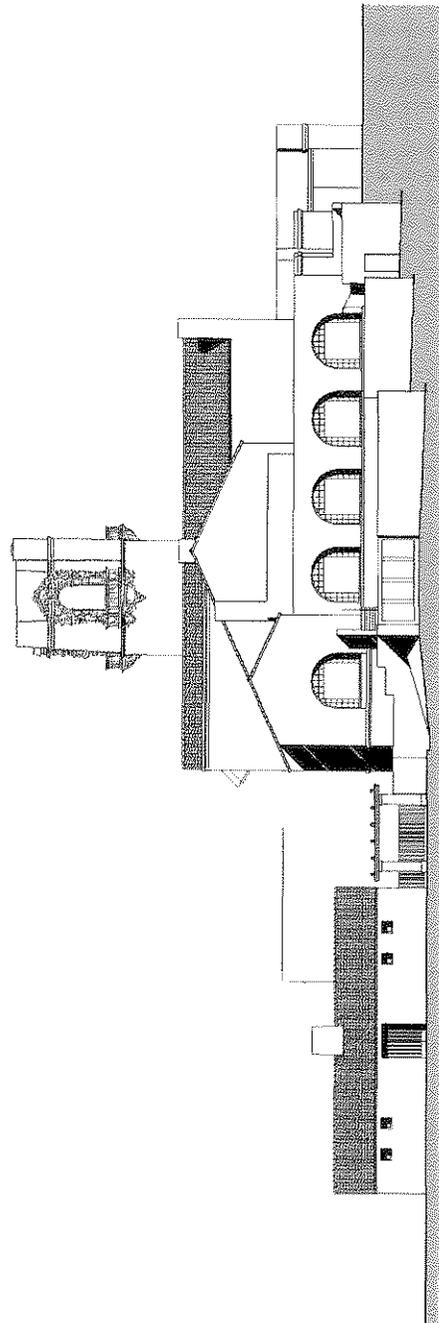
**A3.2**

07.22.2009

Montecito Country Club  
 Figure 11  
 West Elevation (detail with courtyard wall)



Proposed East Elevation



Existing East Elevation

Montecito Country Club  
Figure 12  
East Elevation

blackbird  
ARCHITECTURE INC.

3700 W. 10th Ave.  
Suite 100  
Denver, CO 80202  
Tel: 303.733.1111  
Fax: 303.733.1112  
www.blackbirdarch.com

Montecito  
Country Club

1000 Montecito, California 92038  
Tel: 760.734.1111  
Fax: 760.734.1112  
www.montecitoclub.com

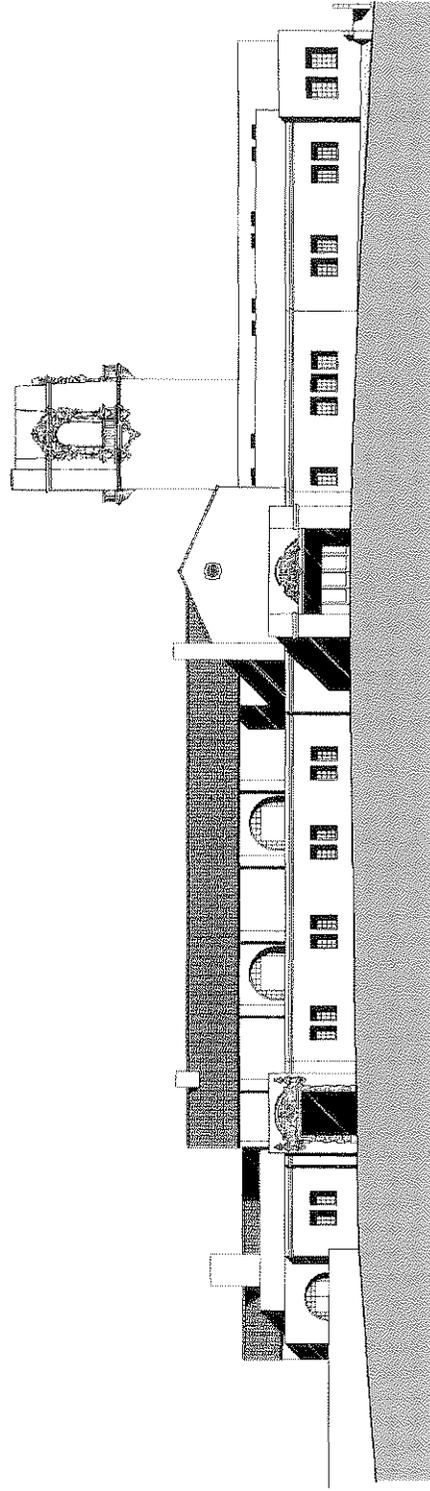
DRAFT

NOT FOR CONSTRUCTION

North Elevation

A3.3

07.22.2008



Existing North Elevation  
0 5 10 20

Montecito Country Club  
Figure 13  
North Elevation

BLACKBIRD  
ARCHITECTURE

1000 S. GATEWAY  
SUITE 100  
SANTA ANA, CA 92701  
TEL: 714.944.1111  
WWW.BLACKBIRDARCH.COM

Client: Montecito Country Club  
Project: Pro Shop  
Date: 10/15/14

Montecito Country Club  
200 S. GATEWAY  
SUITE 100  
SANTA ANA, CA 92701  
TEL: 714.944.1111

1000 S. GATEWAY  
SUITE 100  
SANTA ANA, CA 92701  
TEL: 714.944.1111

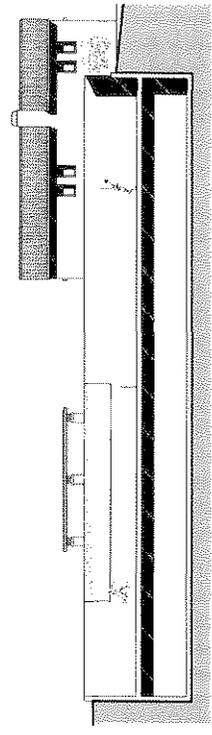
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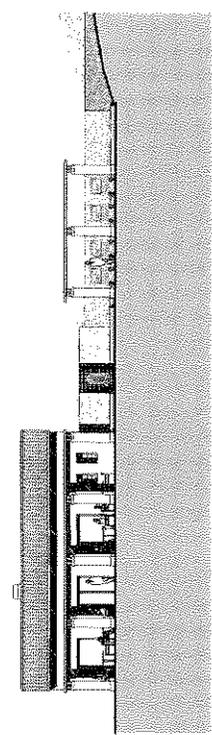
Pro Shop Elev.

A3.5

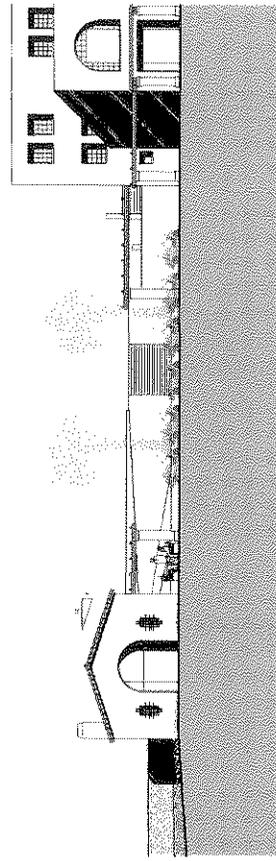
conceptual design 07.12.14



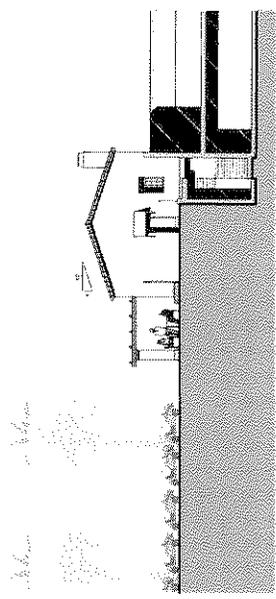
Proposed North Elevation 2



Proposed West Elevation 4



Proposed South Elevation 1



Proposed East Elevation 3

Montecito Country Club  
Figure 14  
Golf Pro Shop Elevations



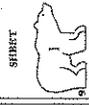
Montecito  
Ca, USA  
Strategy Plan

NORTH



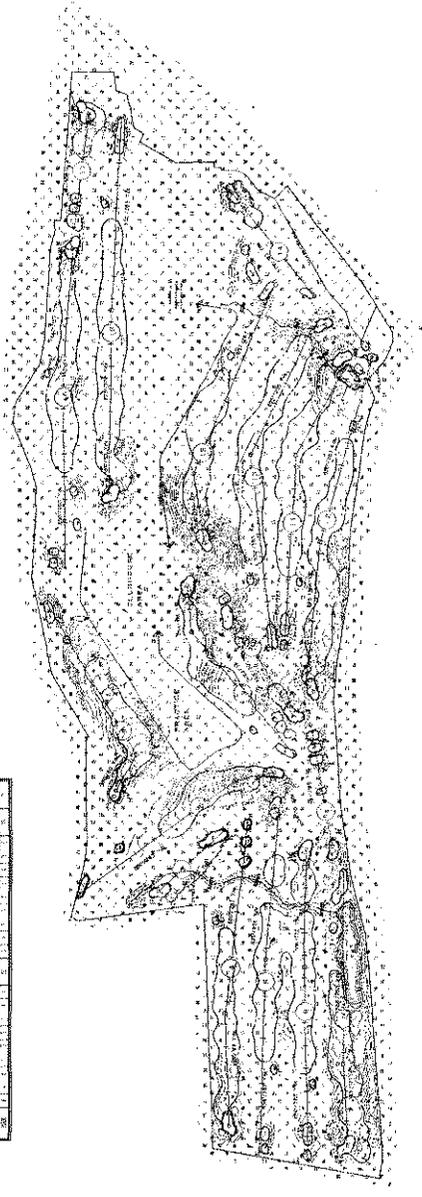
SCALE  
1" = 200'-0"

DATE OF PLAN	
DESIGNED AND DRAWN BY	
DATE OF PLAN	
REVIEWED BY	
DATE	



ROUND SHEET

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Montecito Country Club  
Figure 15  
Proposed Golf Course Re-design (Nicklaus Design)

**CONCEPT PLANT PALETTE**

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**MONTECITO  
COUNTRY CLUB**

**CONCEPTUAL MASTER PLAN  
GOLF COURSE REHABILITATION**

DATE: MAY 22, 2004

**SHEET 1.1**

**NORTH**

0 25 50 75 100 150 200 300 400 500 600

SCALE: 1"=150'-0"

**Figure 16**  
**Montecito Country Club**  
**Master Plan, Golf Course Rehabilitation and Landscaping Plan**

**LEGEND**

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- 2. EXISTING: Indicated by a solid line.
- 3. PROPOSED: Indicated by a solid line with a dashed center line.
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- 50. EXISTING: Indicated by a solid line with a dashed center line.

**PARKING COUNT**

LAZER	24
GRANDVIEW	24
TOTAL	48



SHEET L112

**MONTECITO  
COUNTRY CLUB  
CONCEPTUAL MASTER PLAN  
CLUBHOUSE AREA**



Figure 17  
Montecito Country Club  
Master Plan, Golf Course Rehabilitation and Landscaping Plan

# MONTECITO COUNTRY CLUB PRELIMINARY IMPROVEMENT PLANS

CITY OF SANTA BARBARA, CA

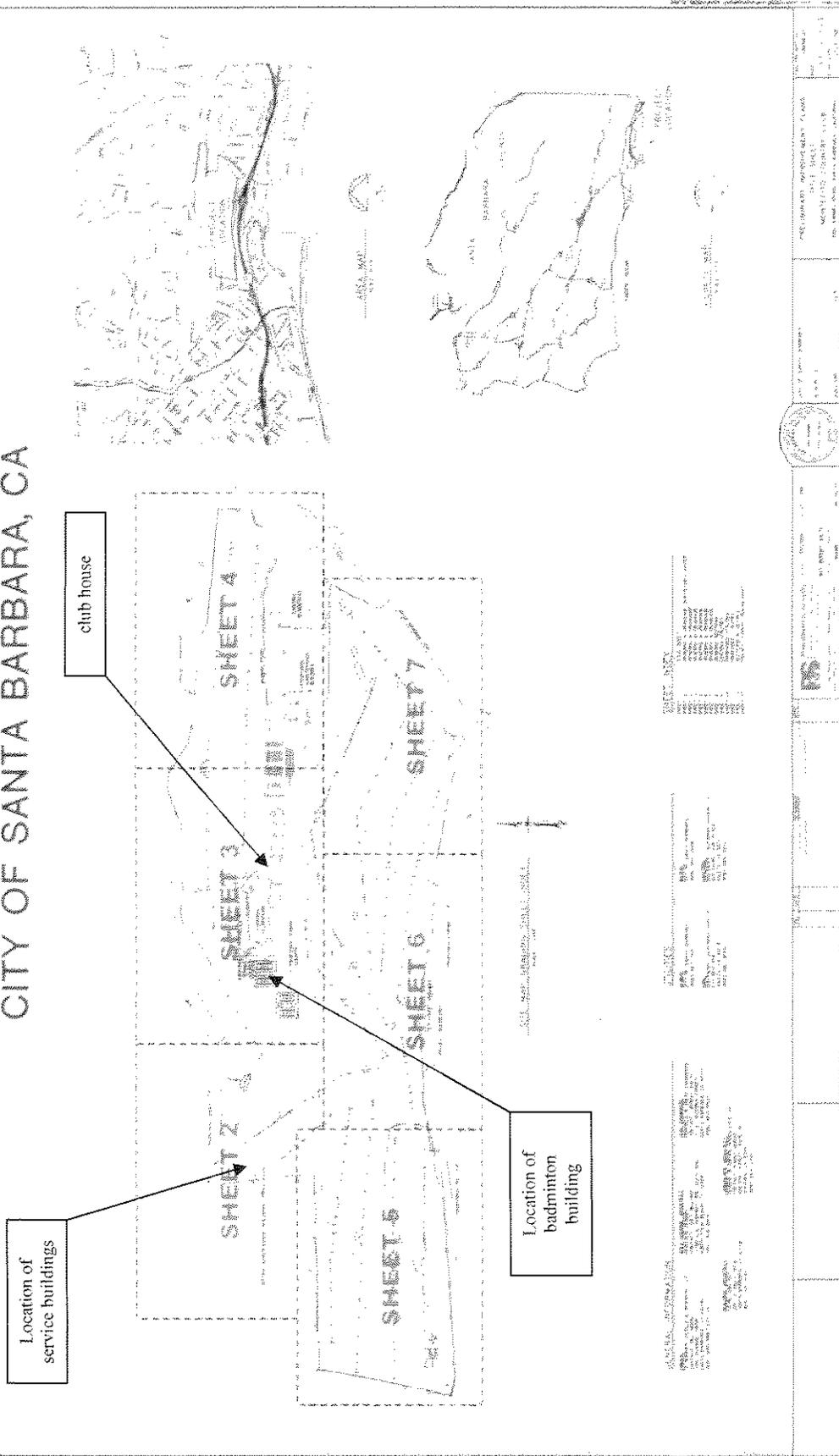


Figure 18  
Montecito Country Club Location Map

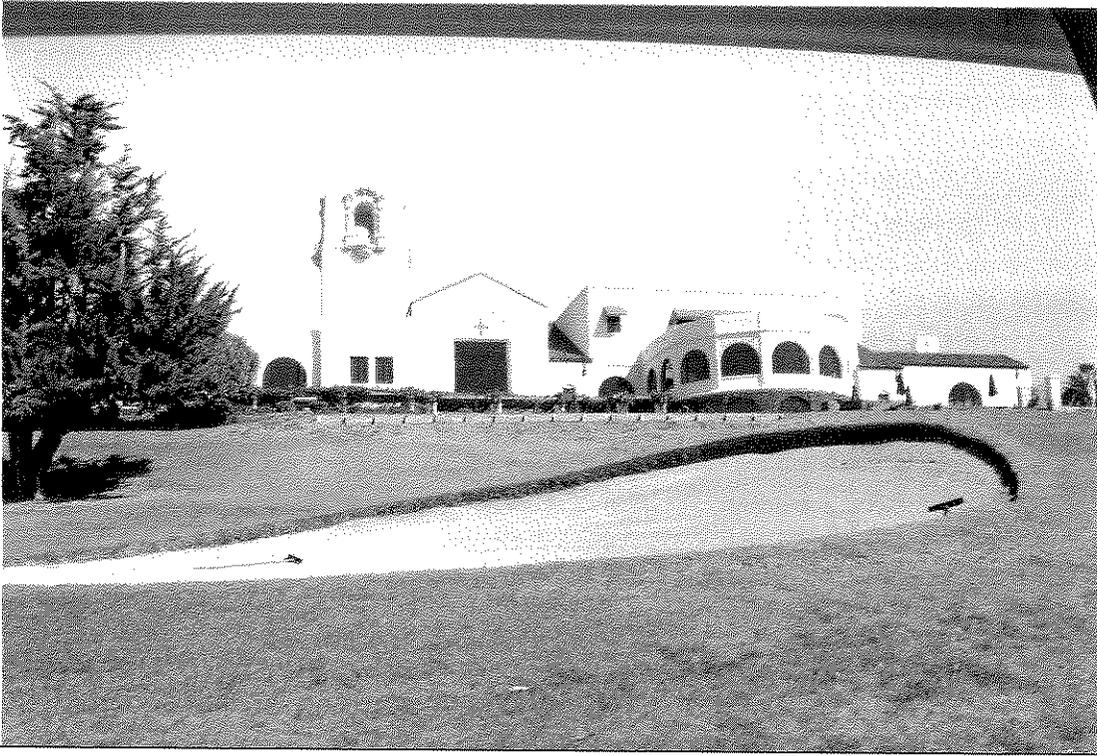


Figure 19  
Montecito Country Club  
South Elevation



Figure 20  
Montecito Country Club  
South Elevation, east end of elevation



Figure 21  
Montecito Country Club  
South Elevation (east end of elevation)



Figure 22  
Montecito Country Club  
Pergola fronting East end of South Elevation



Figure 23  
Montecito Country Club  
South Elevation, detail of west elevation



Figure 24  
Montecito Country Club  
South Elevation, detail of former doorway



Figure 25  
Montecito Country Club  
West Elevation, looking southwest



Figure 26  
Montecito Country Club  
West Elevation, looking east



Figure 27  
Montecito Country Club  
South Elevation, detail of staircase



Figure 28  
Montecito Country Club  
South Elevation, looking northeast



Figure 29  
Montecito Country Club  
North Elevation, looking southeast



Figure 30  
Montecito Country Club  
North Elevation, looking southwest



Figure 30  
Montecito Country Club  
North Elevation, detail of entrance (looking southwest)



Figure 31  
Montecito Country Club  
North Elevation, detail of entrance (looking south)



Figure 33  
Montecito Country Club  
North Elevation, detail of original entrance (looking southwest)



Figure 34  
Montecito Country Club  
North Elevation, west end of elevation, (looking south)

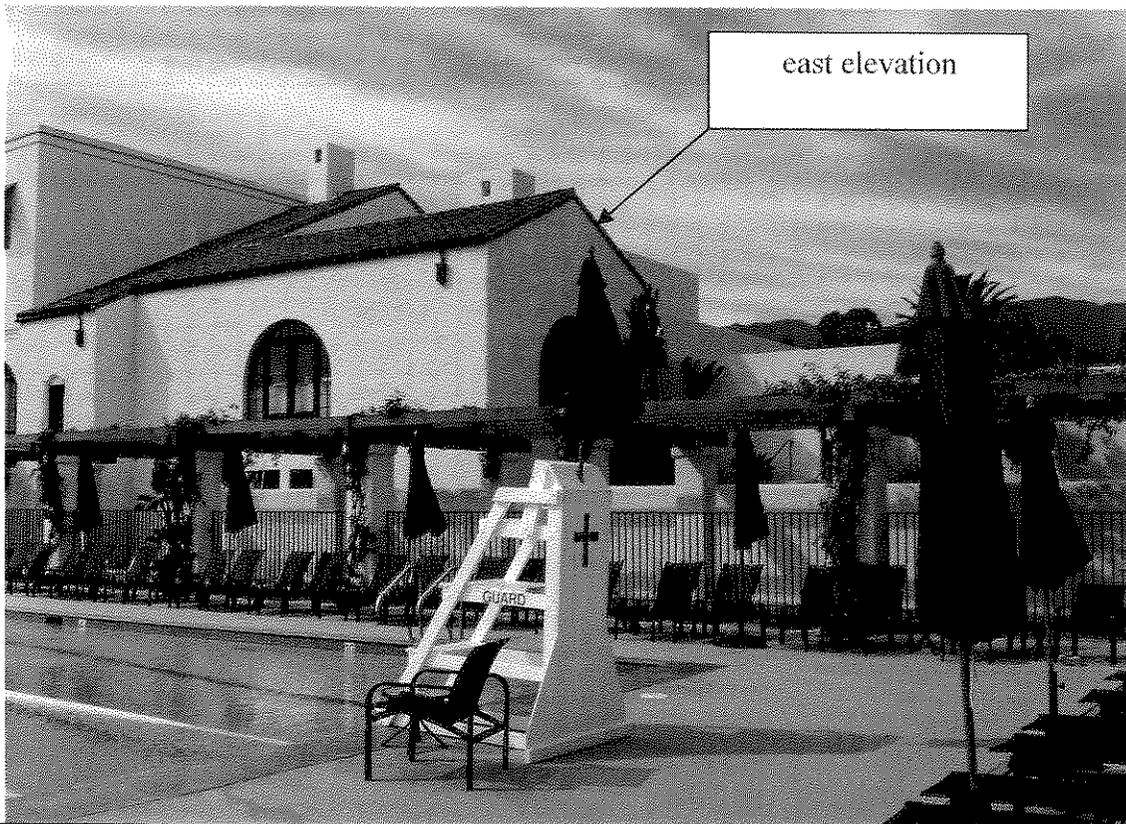


Figure 35  
Montecito Country Club  
East Elevation, viewed from Swimming Pool (looking north)



Figure 36  
Montecito Country Club  
East Elevation, viewed from parking area on north side of building (looking southwest)



Figure 37  
Montecito Country Club  
East Elevation, detail of wall surrounding service yard (looking west)



Figure 38  
Montecito Country Club  
East Elevation (service yard), detail of arched opening on east elevation (looking west)



Figure 39  
Montecito Country Club, Pool Cabana  
West Elevation, looking east



Figure 40  
Montecito Country Club, Pool Cabana  
Pool and Pool Deck, looking northwest towards Clubhouse



Figure 41  
Montecito Country Club, Tennis Court  
Detail of sandstone retaining wall on south side of courts (looking northwest)



Figure 42  
Montecito Country Club, Tennis Court  
Detail of concrete retaining wall on west side of courts (looking northwest)



Figure 43  
Montecito Country Club, Tennis Court  
Tennis Courts (looking south)



Figure 44  
Montecito Country Club, Tennis Court  
Tennis Pavilion (looking northwest)



Figure 45  
Montecito Country Club, Tennis Court  
Tennis Courts (looking south)

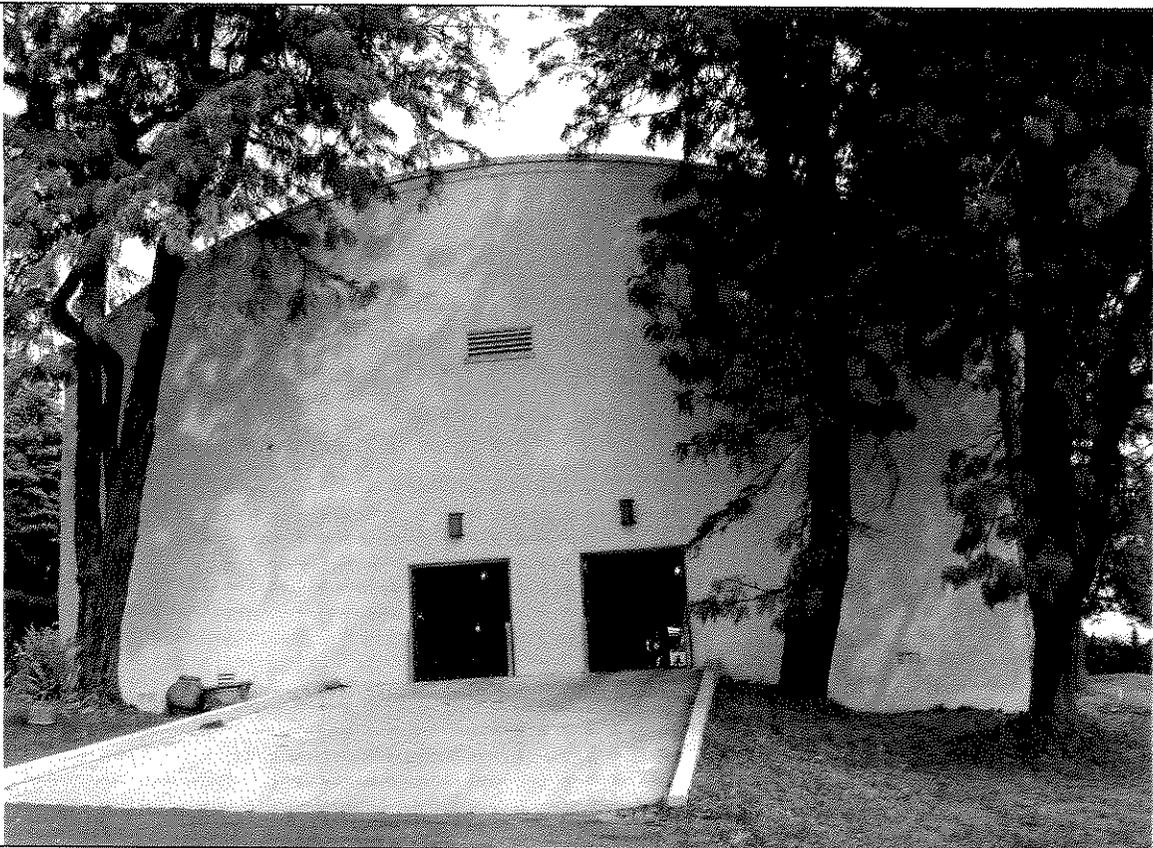


Figure 46  
Montecito Country Club, Badminton Building  
West Elevation, looking east



Figure 47  
Montecito Country Club, Badminton Building, East Elevation (looking west)

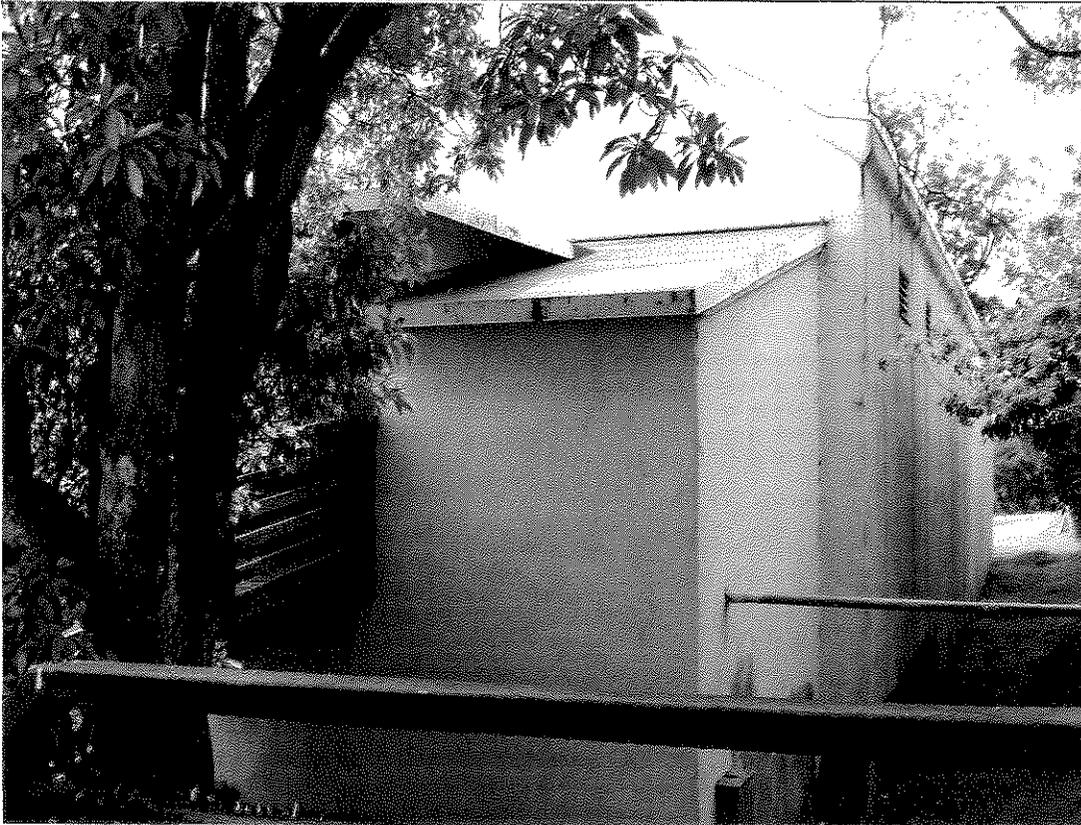


Figure 48  
Montecito Country Club, Badminton Building, North Elevation (looking west)



Figure 49  
Montecito Country Club, Badminton Building, South Elevation (looking east)



Figure 50  
Montecito Country Club, Former Badminton Building (west elevation)  
looking east



Figure 51  
Montecito Country Club, Restroom Building looking northeast

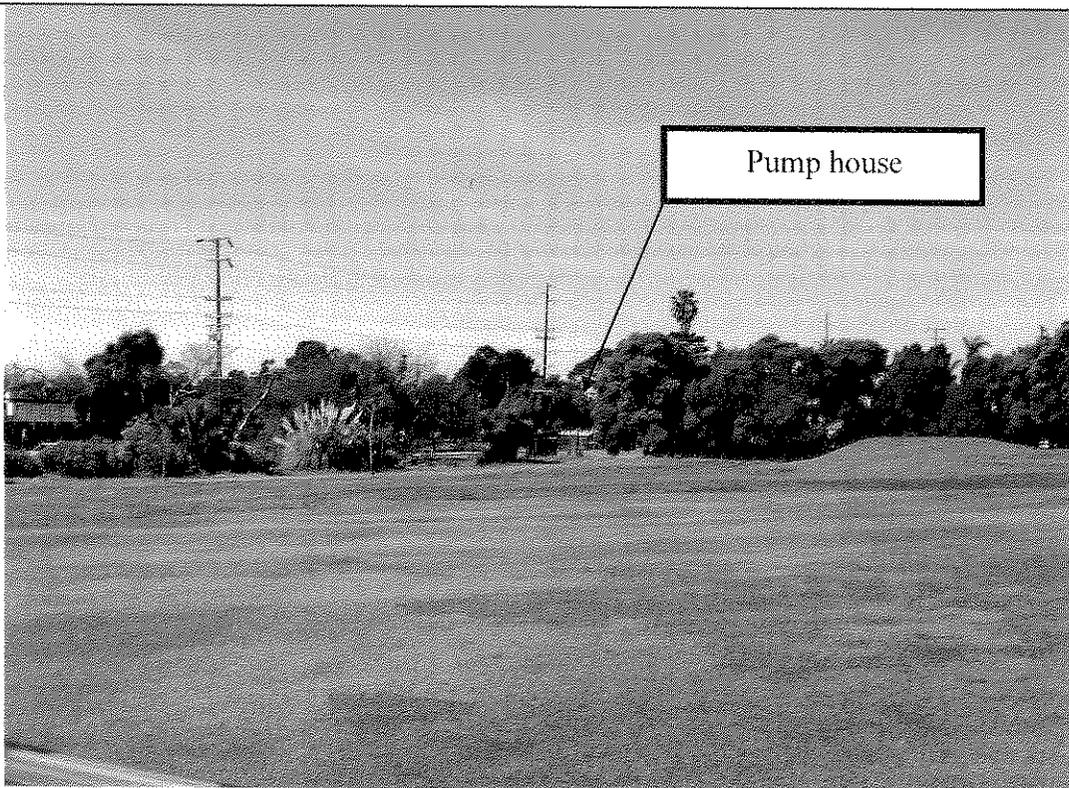


Figure 52  
Montecito Country Club, Pump House, looking south

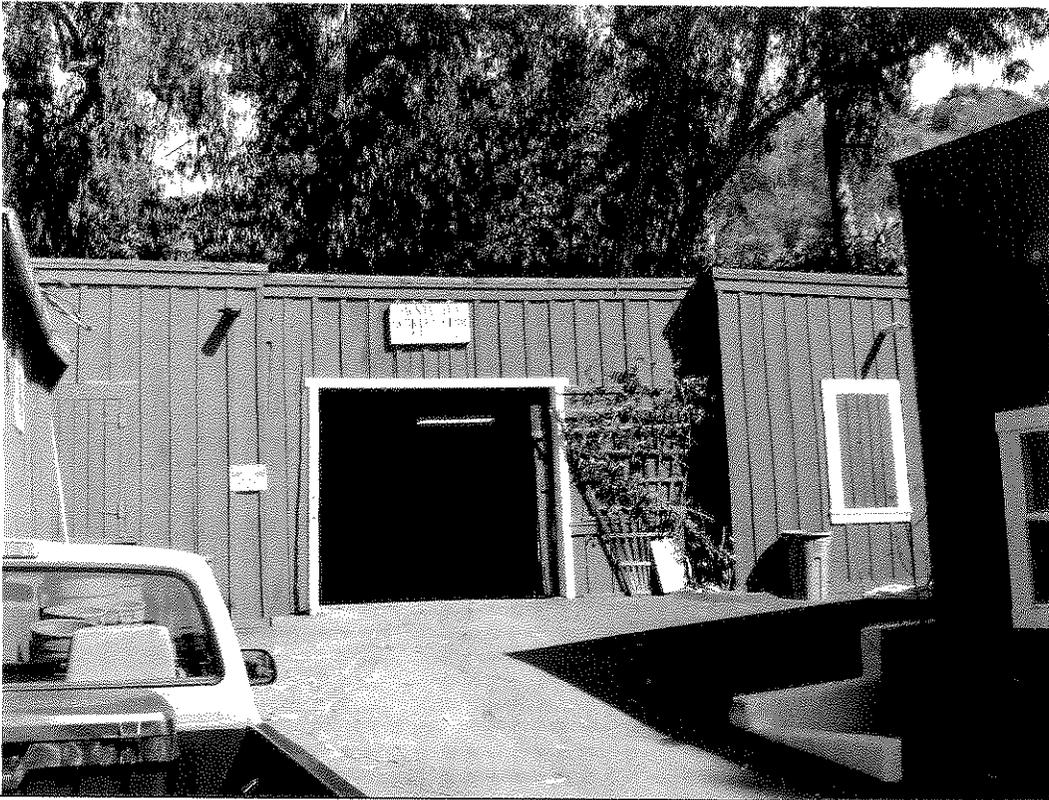


Figure 53  
Montecito Country Club, Former Stable Building  
South Elevation, looking north

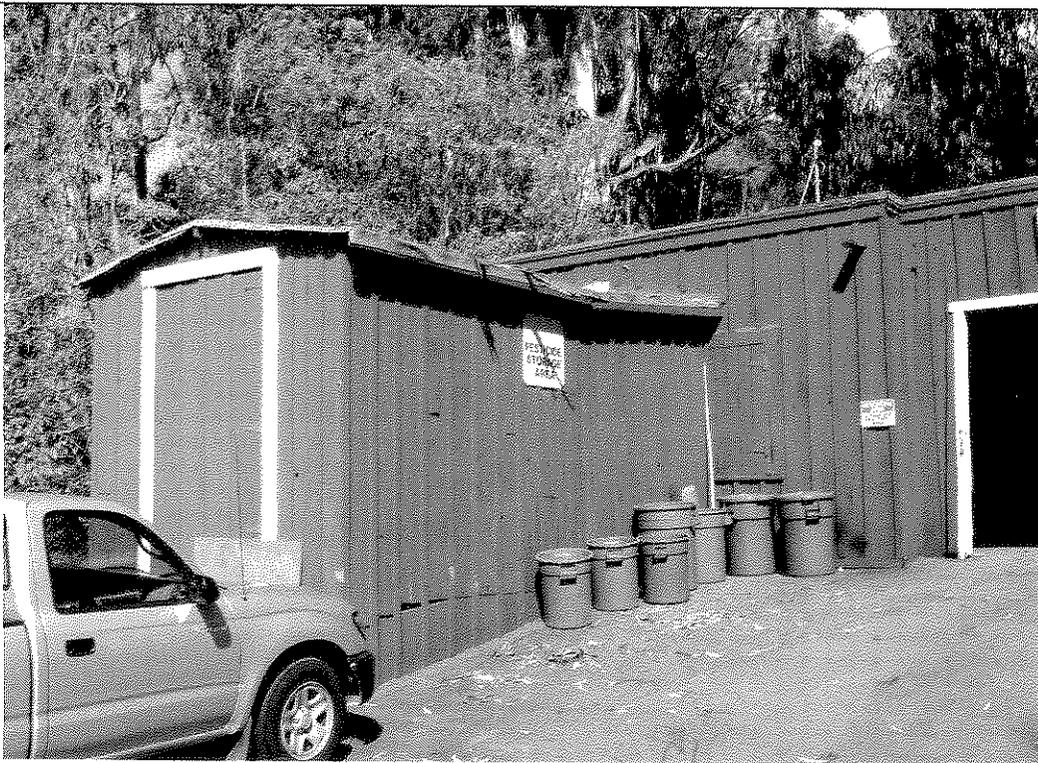


Figure 54  
Montecito Country Club, Former Stable Building  
West end of South Elevation, looking north



Figure 55  
Montecito Country Club, Former Stable Building  
Interior, looking north



Figure 56  
Montecito Country Club, Service Building constructed in 2003, looking south



Figure 57  
Montecito Country Club, Golf Course  
Links below Summit Road looking south

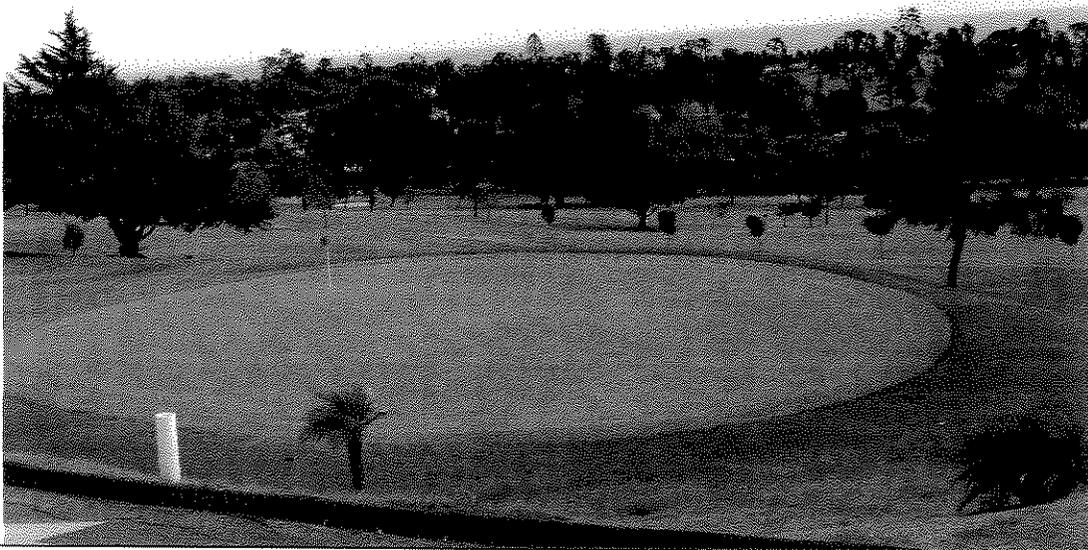


Figure 58  
Montecito Country Club, Golf Course  
Links below Summit Road looking southeast



Figure 59  
Montecito Country Club, Golf Course  
Detail of pathways linking course with Clubhouse looking east



Figure 60  
Montecito Country Club, Golf Course  
Detail of links located west of tennis courts



Figure 61  
Montecito Country Club, Golf Course  
Looking northwest from course towards Clubhouse



Figure 62  
Montecito Country Club, Golf Course  
Looking southeast towards boundary between Clubhouse and Old Coast Highway

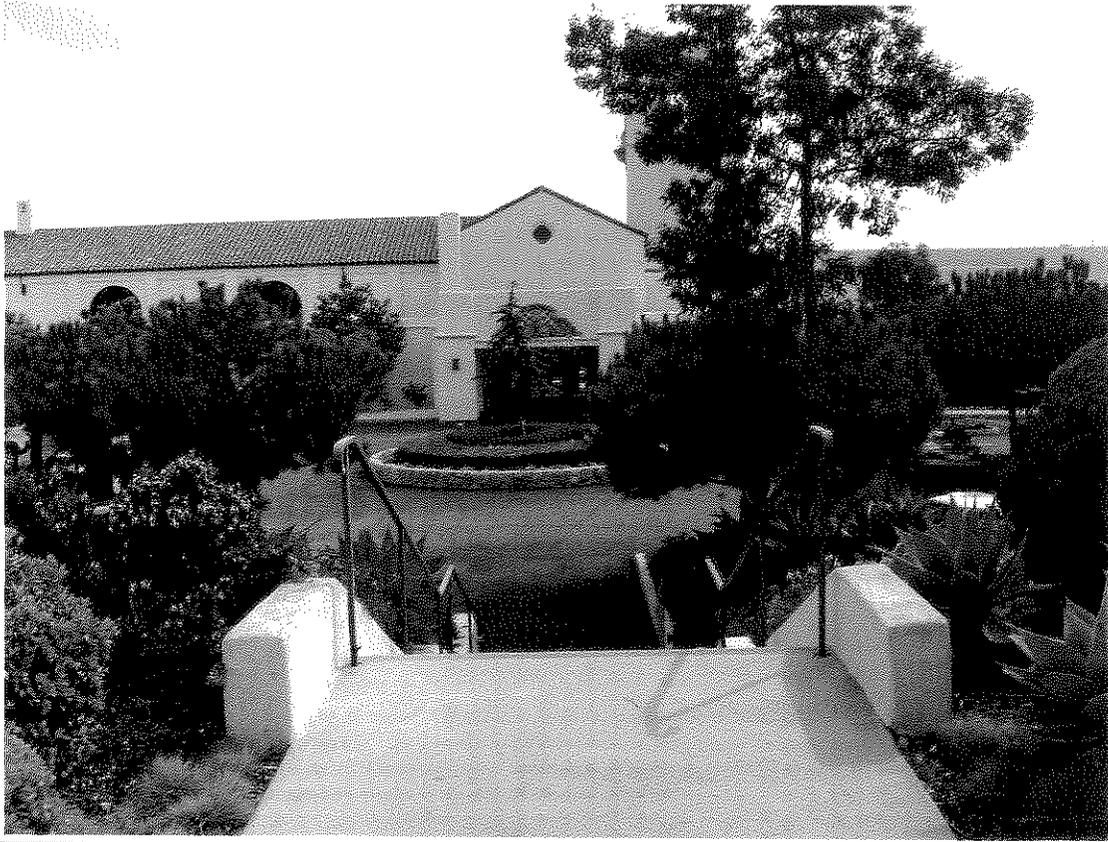


Figure 63  
Montecito Country Club, Golf Course  
Landscaping and Parking Area north of Clubhouse, looking south



Figure 64  
Montecito Country Club, Golf Course  
Landscaping and Parking Area at east end of Clubhouse, looking west



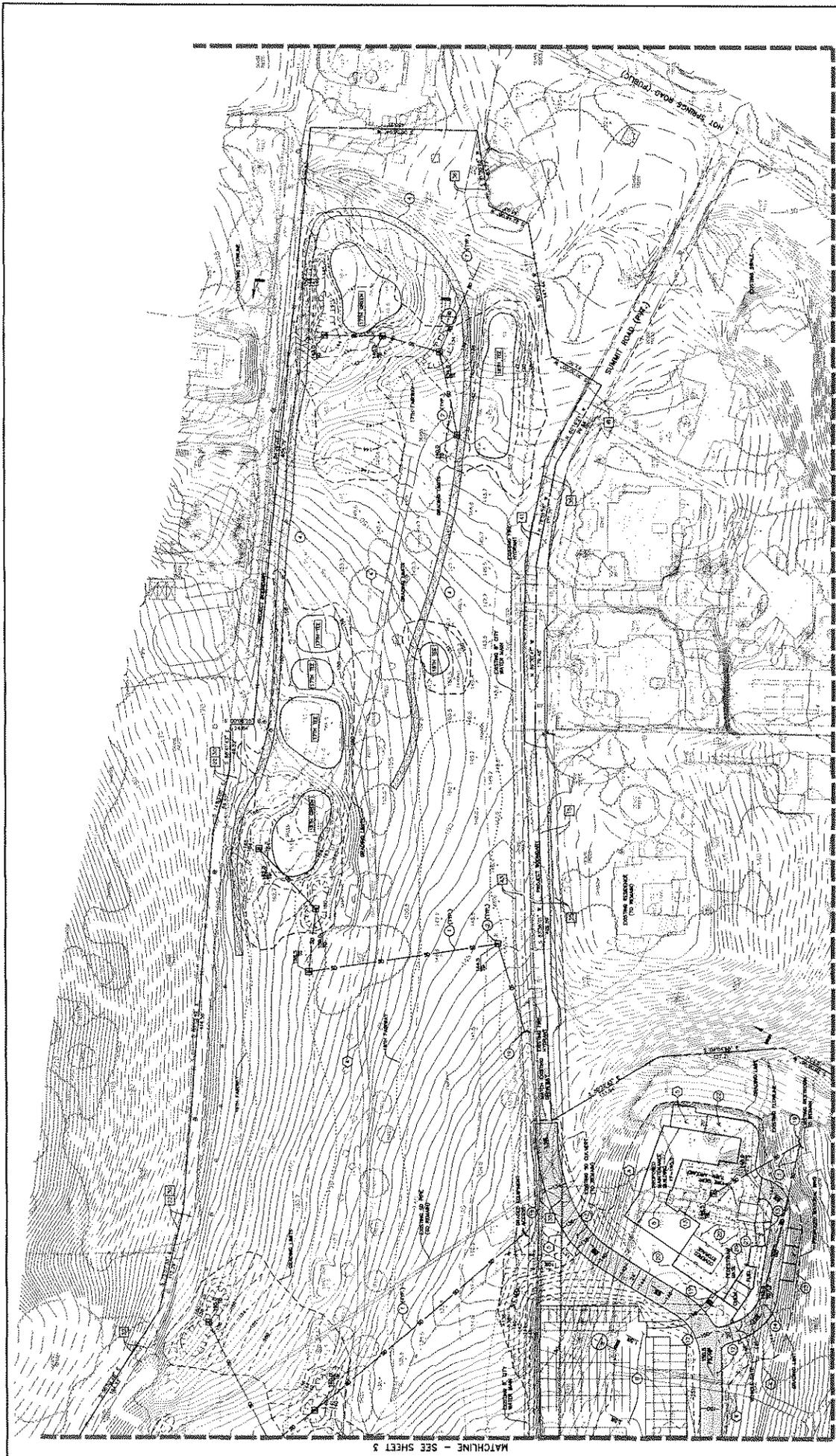
Figure 65  
Montecito Country Club, Golf Course  
Retaining Wall between Lower and Upper and Lower Parking Area located north of  
Clubhouse, looking northeast

APPENDIX A

GRADING AND SITE PLANS

MONTECITO COUNTRY CLUB





**CONSTRUCTION NOTES**

- INSTALL NEW 18" VITRUM DRAIN PIPE.
- INSTALL GRADED LEACH BASH PER DETAIL, SHEET 15.
- CONSTRUCT EMBANKED EARTH ROAD CURB PATH, WITH SLOPE 8 TO 10.
- CONSTRUCT GRADE OVERFLOW VALVE PAVING AREA.
- CONSTRUCT 24" HDPE OVERFLOW PIPE TYPICAL SECTION, SHEET 12.
- CONSTRUCT 18" RIBBED METAL WALL, HEIGHT PER 15.14.
- CONSTRUCT 24" HDPE MAINLINE ROAD PIPE TYPICAL SECTION, SHEET 12.
- CONSTRUCT 24" HDPE CONCRETE MAINLINE.
- CONSTRUCT CONCRETE DRIVE MAIN PER DETAIL, SHEET 15.
- CONSTRUCT CONCRETE DRIVE MAIN PER DETAIL, SHEET 15.
- CONSTRUCT CONCRETE DRIVE MAIN PER DETAIL, SHEET 15.
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- CONSTRUCT CONCRETE DRIVE MAIN PER DETAIL, SHEET 15.

**EASEMENT NOTES**

- A 10' WIDE EASEMENT FOR ROAD PURPOSES AS SHOWN IN THIS PLAN IS REQUIRED TO BE MAINTAINED PER DETAIL, SHEET 15.
- A 10' WIDE EASEMENT FOR ROAD PURPOSES AS SHOWN IN THIS PLAN IS REQUIRED TO BE MAINTAINED PER DETAIL, SHEET 15.
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- A 10' WIDE EASEMENT FOR ROAD PURPOSES AS SHOWN IN THIS PLAN IS REQUIRED TO BE MAINTAINED PER DETAIL, SHEET 15.

**DEMOLITION NOTES**

- EXISTING ASPHALT DRIVE PATH TO BE REMOVED.
- EXISTING PAVEMENT/CONCRETE TO BE REMOVED.
- EXISTING METAL WALL TO BE REMOVED.
- EXISTING FLUMBERE METAL BUILDING TO BE REMOVED.
- EXISTING STRUCTURE TO BE REMOVED.
- EXISTING FILL, TREE AND FOLIAGE TO BE REMOVED.

**MATCHLINE - SEE SHEET 7**

**MATCHLINE - SEE SHEET 3**

**Scale:** 1" = 40'

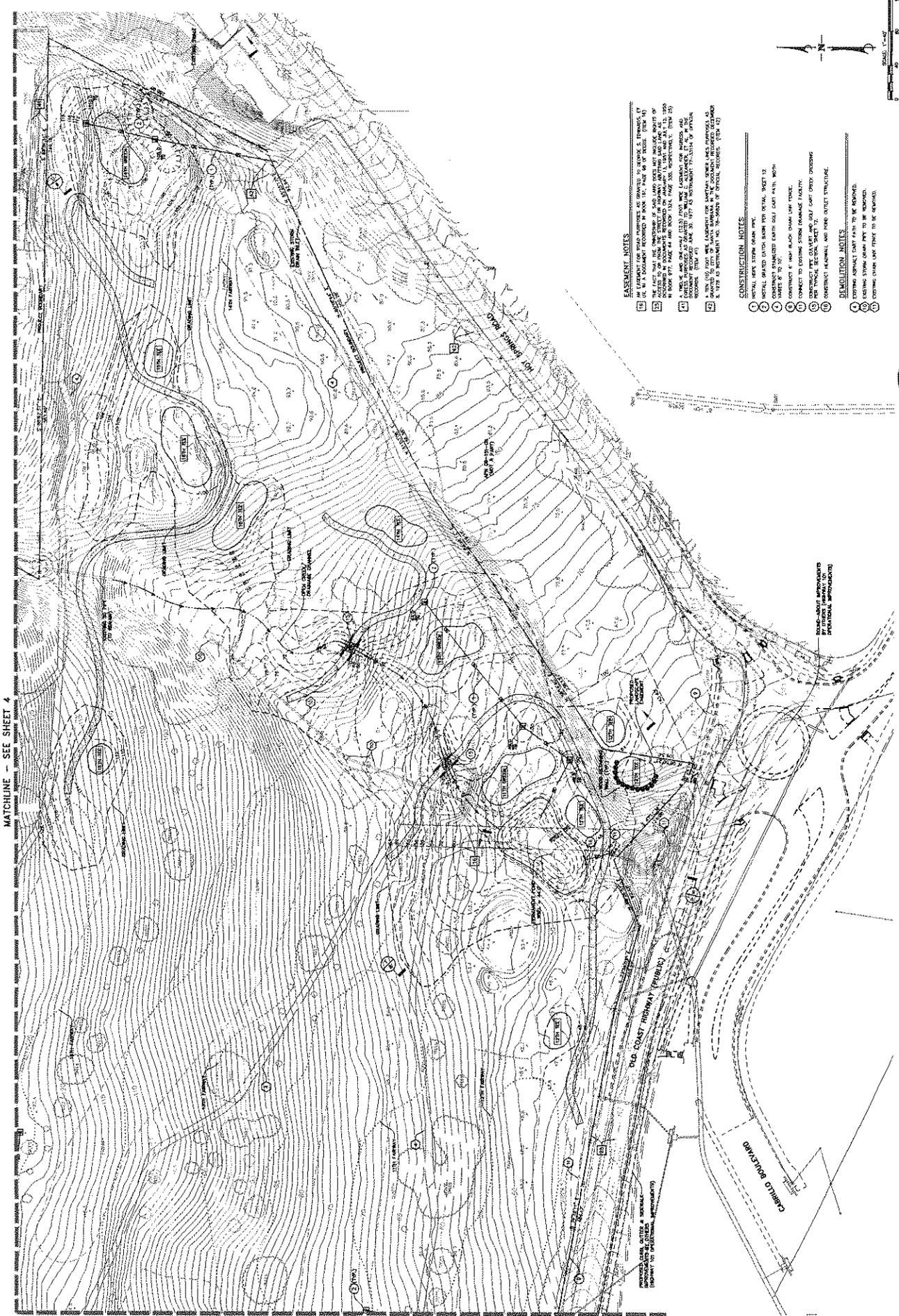
**North Arrow:** [Symbol]

**City of Santa Barbara**  
 PROJECT NO: 07/09  
 SHEET NO: C13  
 DATE: 07/09

**Pentfield & Smith**  
 1111 LA JOLLA BLVD., SANTA BARBARA, CA 93101  
 TEL: 805.966.1000 FAX: 805.966.1001  
 WWW.PENTFIELDANDSMITH.COM







MATCHLINE - SEE SHEET 4

MATCHLINE - SEE SHEET 6

**EXISTING NOTES**

1. ALL ELEVATIONS ARE IN FEET UNLESS OTHERWISE NOTED.

2. THE FACT THAT THE PROPOSED GRADING AND DRAINAGE DOES NOT INCLUDE EXISTING OR PROPOSED CONSTRUCTION SHALL NOT BE CONSIDERED AS A GUARANTEE OF ACCURACY OR AS A WARRANTY OF FITNESS FOR ANY PARTICULAR PURPOSE.

3. IN CASE OF ANY DISCREPANCY BETWEEN THIS PLAN AND ANY OTHER PLAN, THIS PLAN SHALL CONTROL.

4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

**CONSTRUCTION NOTES**

1. INSTALL 18" DIA. STAINLESS STEEL MANHOLE.

2. CONCRETE GRADED DITCH BANK PER DETAIL SHEET 12.

3. CONCRETE GRADED DITCH BANK PER DETAIL SHEET 12.

4. CONCRETE GRADED DITCH BANK PER DETAIL SHEET 12.

5. CONCRETE GRADED DITCH BANK PER DETAIL SHEET 12.

6. CONCRETE GRADED DITCH BANK PER DETAIL SHEET 12.

7. CONCRETE GRADED DITCH BANK PER DETAIL SHEET 12.

8. CONCRETE GRADED DITCH BANK PER DETAIL SHEET 12.

9. CONCRETE GRADED DITCH BANK PER DETAIL SHEET 12.

10. CONCRETE GRADED DITCH BANK PER DETAIL SHEET 12.

**DEMOLITION NOTES**

1. EXISTING ASPHALT DRIVE SHALL BE REMOVED.

2. EXISTING ASPHALT DRIVE SHALL BE REMOVED.

3. EXISTING ASPHALT DRIVE SHALL BE REMOVED.

4. EXISTING ASPHALT DRIVE SHALL BE REMOVED.

5. EXISTING ASPHALT DRIVE SHALL BE REMOVED.

6. EXISTING ASPHALT DRIVE SHALL BE REMOVED.

7. EXISTING ASPHALT DRIVE SHALL BE REMOVED.

8. EXISTING ASPHALT DRIVE SHALL BE REMOVED.

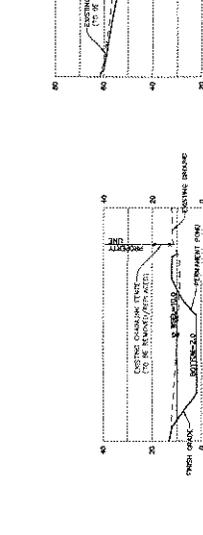
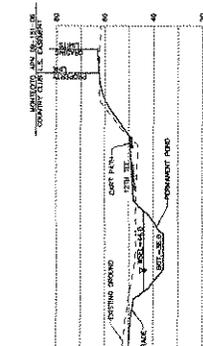
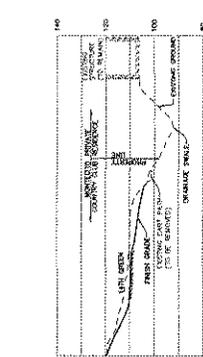
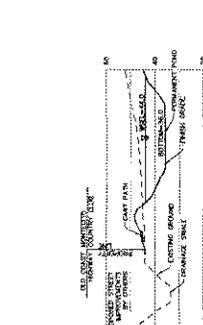
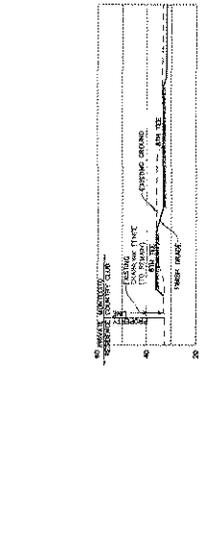
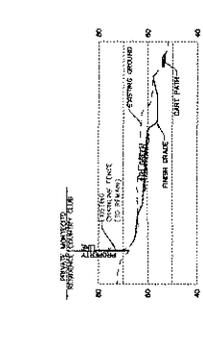
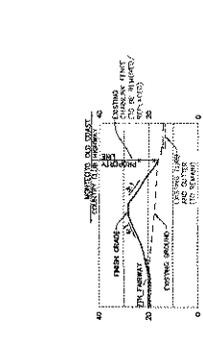
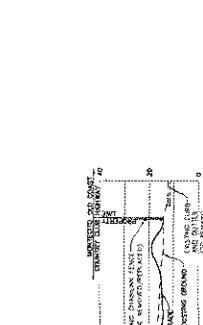
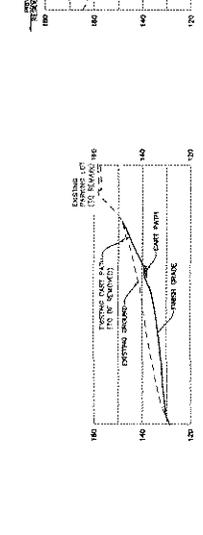
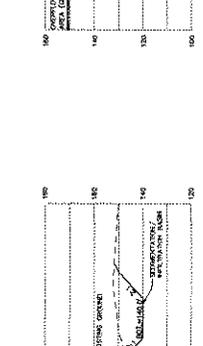
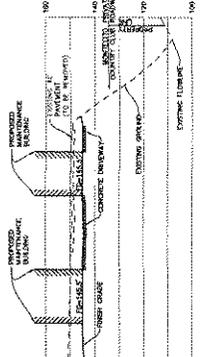
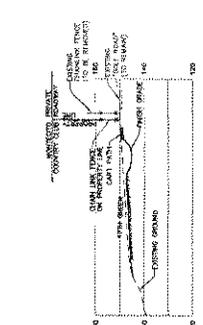
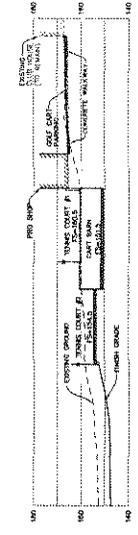
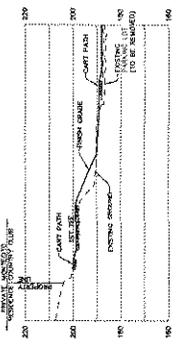
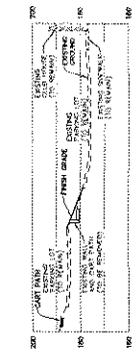
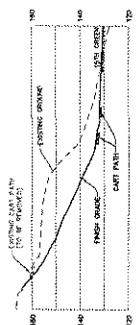
9. EXISTING ASPHALT DRIVE SHALL BE REMOVED.

10. EXISTING ASPHALT DRIVE SHALL BE REMOVED.

		PRELIMINARY IMPROVEMENT PLANS GRADING AND DRAINAGE MONTECITO COUNTRY CLUB 675 SUMMIT ROAD, SANTA BARBARA, CALIFORNIA
CITY OF SANTA BARBARA REVIEWED BY: _____ DATE: _____	PROJECT NO.: 17-0000 SHEET NO.: 013 DATE: 07/27/16	SCALE: 1" = 40' 
PROJECT: _____ LOCATION: _____ DATE: _____	PROJECT: _____ LOCATION: _____ DATE: _____	PROJECT: _____ LOCATION: _____ DATE: _____

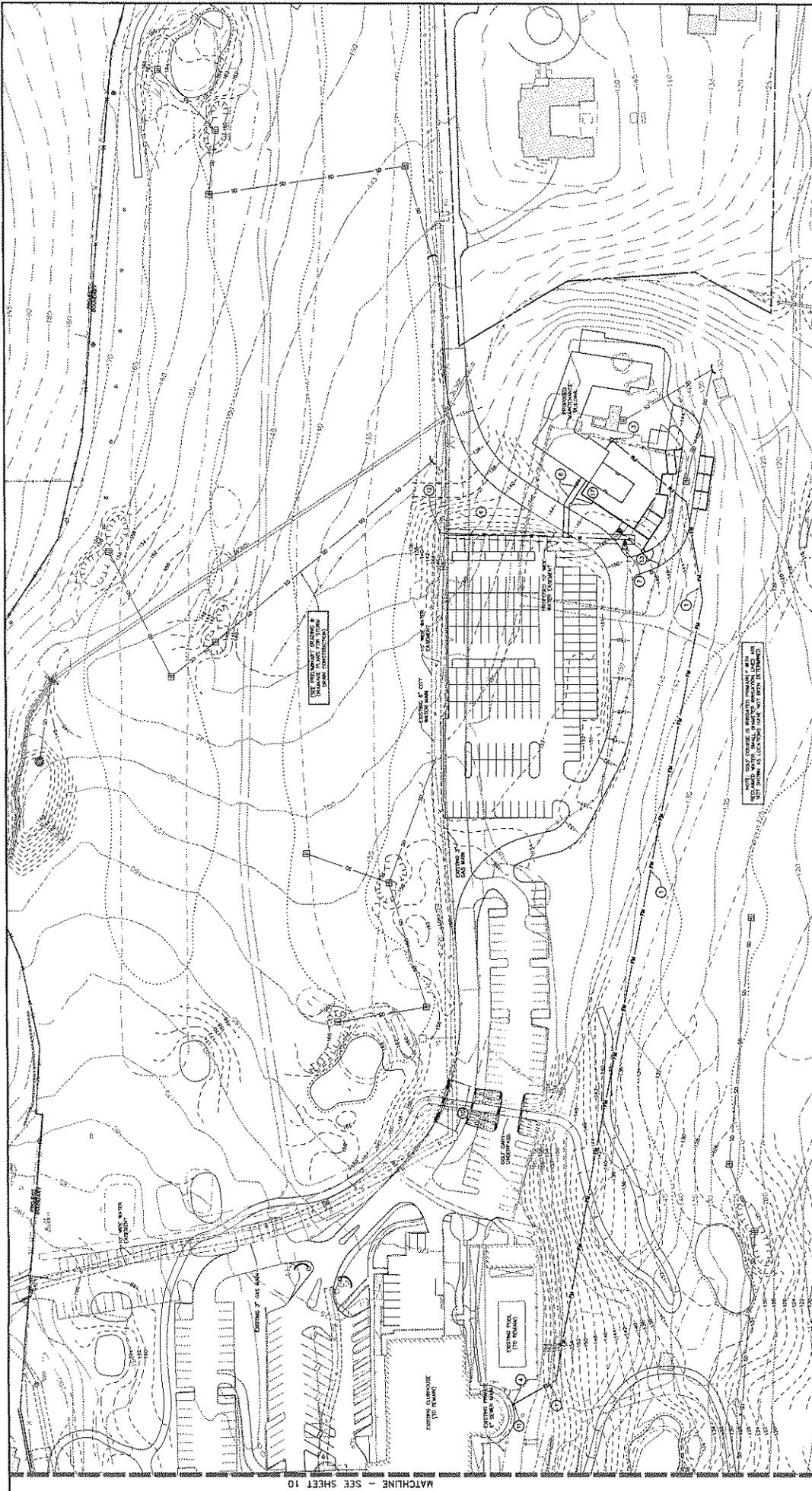


NO.	DATE	DESCRIPTION



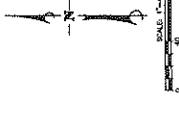






- LEGEND**
- QUALITY SAVED MARK
  - SUMP FORCE MARK
  - WATER MARK
  - SUMP SHOWER PUMP
  - SUMP CLEANOUT
  - PIPE JOINT
  - DOUBLE DETECTOR CHECK ASSEMBLY
  - WATER METER
- (NOTE: EXISTING FACILITIES INDICATED BY GRAY)

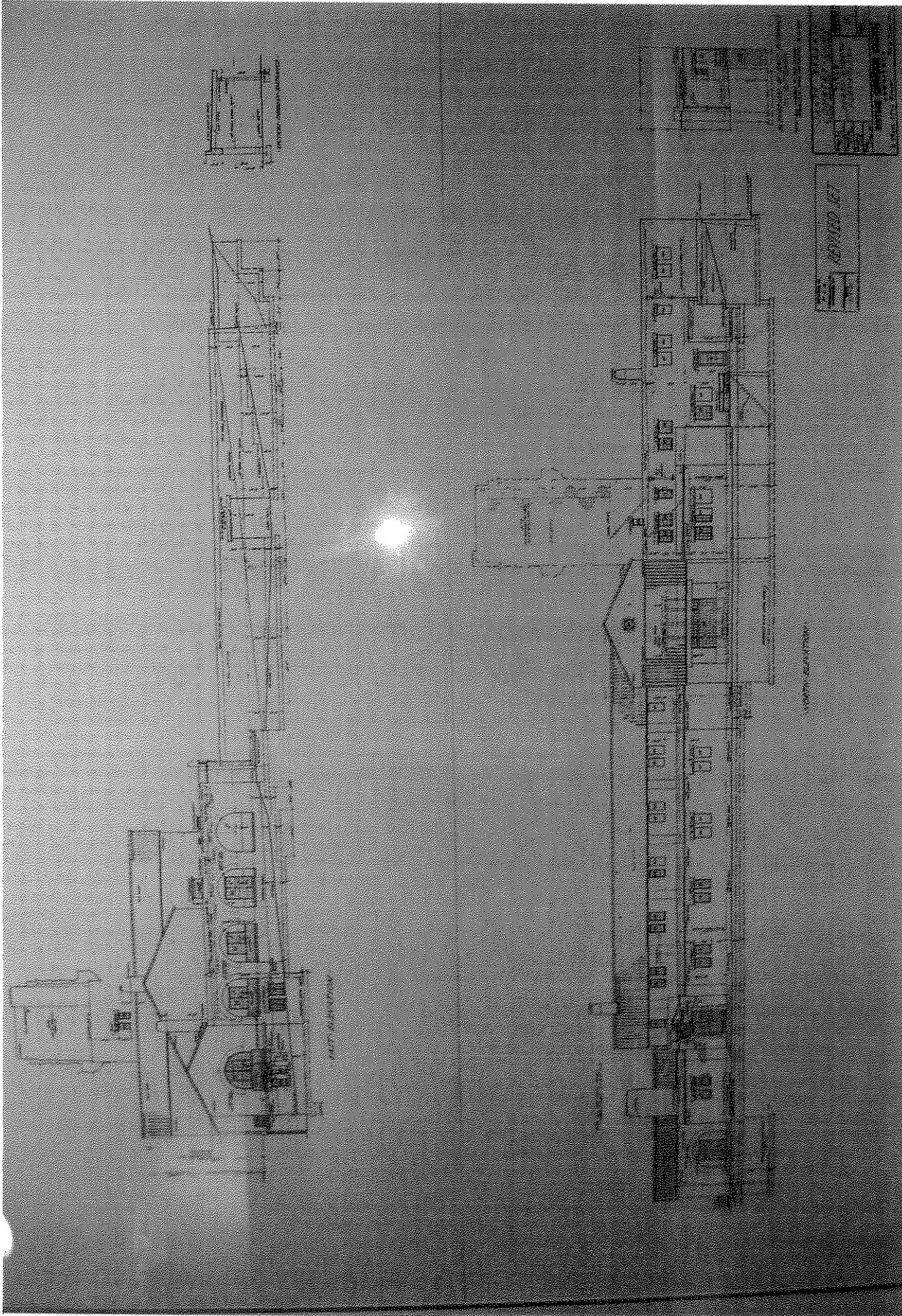
- CONSTRUCTION NOTES**
1. CONSTRUCT 1" WATER SERVICE CONNECTION AND WATER VPS CITY STANDARDS IN 2008 & 2009.
  2. INSTALL LOW PRESSURE SUMP SHOWER MARK.
  3. CONSTRUCT SUMP CLEANOUT PER CITY OF SANTA BARBARA STANDARD DETAIL 5-0010.
  4. CONSTRUCT 1" PIP PUBLIC WATER MAIN.
  5. CONSTRUCT 1" PIP PUBLIC WATER MAIN.
  6. CONSTRUCT 1" PIP PUBLIC WATER MAIN IN THE 4'-0" TO 8'-0" DEPTH.
  7. CONSTRUCT 1" PIP PUBLIC WATER MAIN WITH DOUBLE DETECTOR CHECK ASSEMBLY PER DETAIL 4-1002.
  8. CONSTRUCT 1" PIP PUBLIC WATER MAIN WITH DOUBLE DETECTOR CHECK ASSEMBLY PER DETAIL 4-1002.
  9. CONSTRUCT 1" PIP PUBLIC WATER MAIN WITH DOUBLE DETECTOR CHECK ASSEMBLY PER DETAIL 4-1002.
  10. CONSTRUCT 1" PIP PUBLIC WATER MAIN WITH DOUBLE DETECTOR CHECK ASSEMBLY PER DETAIL 4-1002.
  11. CONSTRUCT 1" PIP PUBLIC WATER MAIN WITH DOUBLE DETECTOR CHECK ASSEMBLY PER DETAIL 4-1002.
  12. CONSTRUCT 1" PIP PUBLIC WATER MAIN WITH DOUBLE DETECTOR CHECK ASSEMBLY PER DETAIL 4-1002.



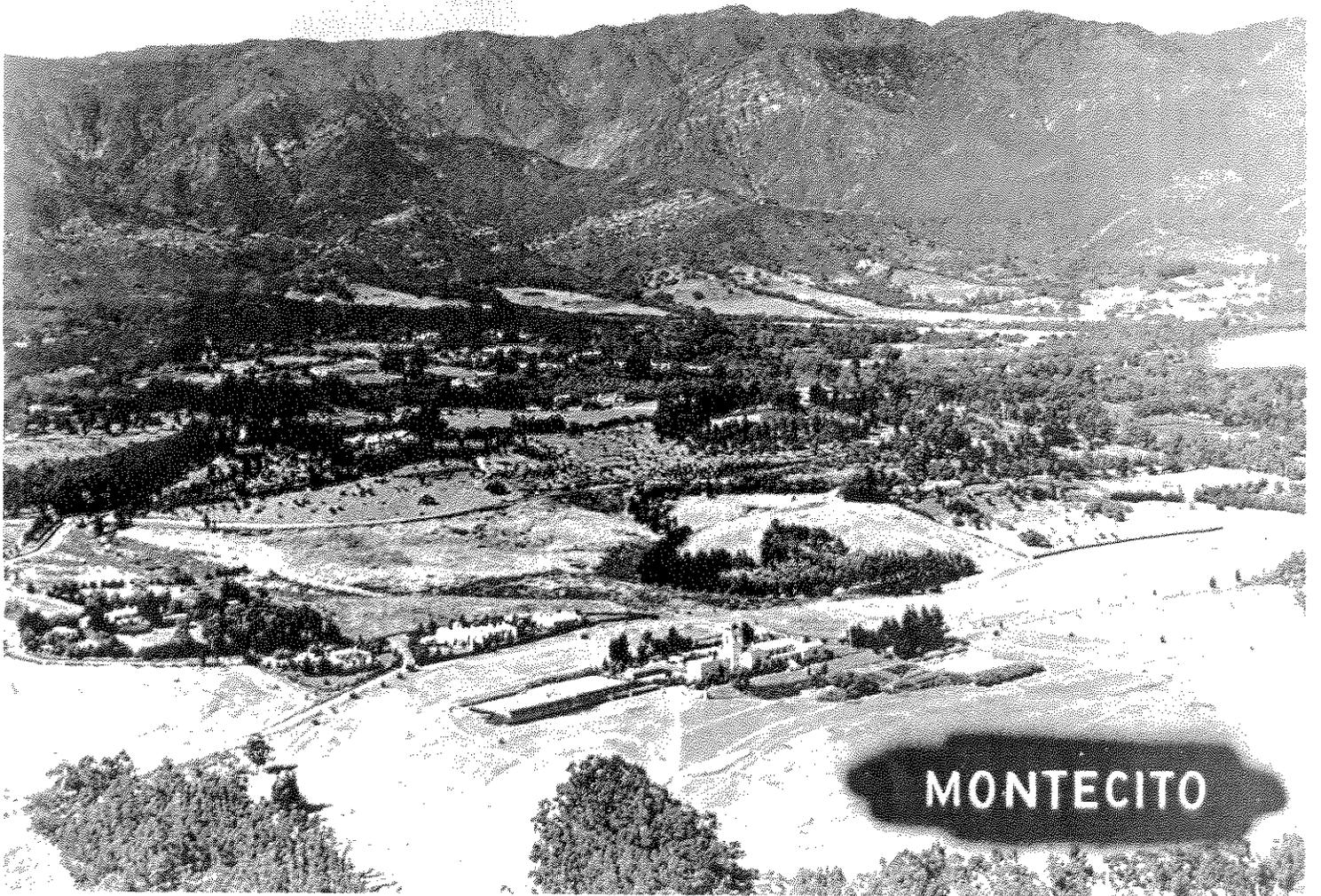
MATCHLINE - SEE SHEET 10

		PRELIMINARY IMPROVEMENT PLANS PROPOSED UTILITIES MONTECITO COUNTRY CLUB 8200 MONTECITO ROAD, SANTA BARBARA, CALIFORNIA
SHEET C13 OF C13 DATE 07/22/08	CITY OF SANTA BARBARA APPROVED BY:	DATE:
PROJECT NO.: 08-001 PROJECT NAME: MONTECITO COUNTRY CLUB PROJECT LOCATION: 8200 MONTECITO ROAD, SANTA BARBARA, CALIFORNIA	DESIGNER: Jeffrey Smith CHECKED: Jeffrey Smith DATE: 07/22/08	SCALE: AS SHOWN

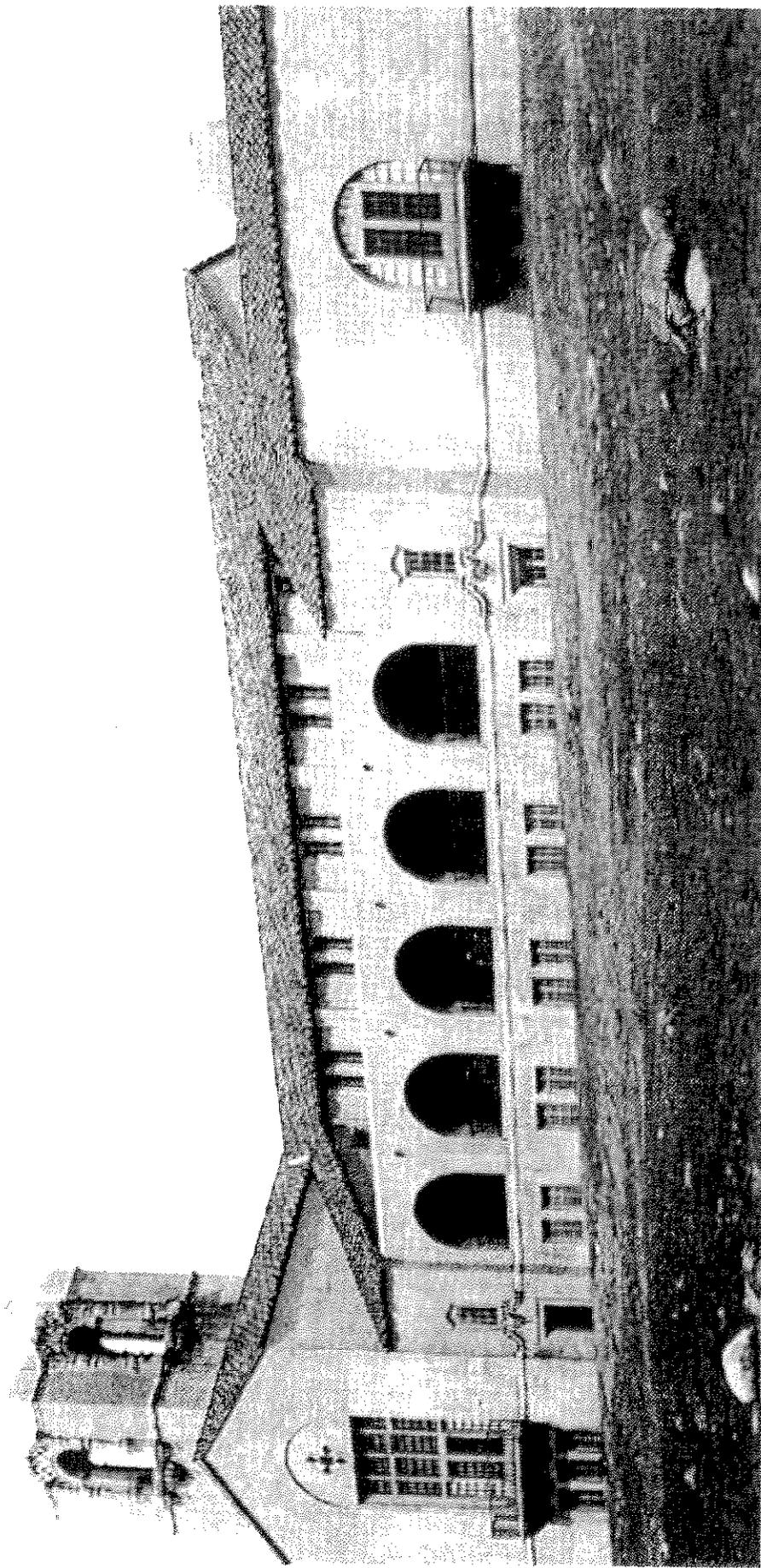




Bertram Goodhue  
Elevations for the Montecito Clubhouse  
(Montecito Country Club)

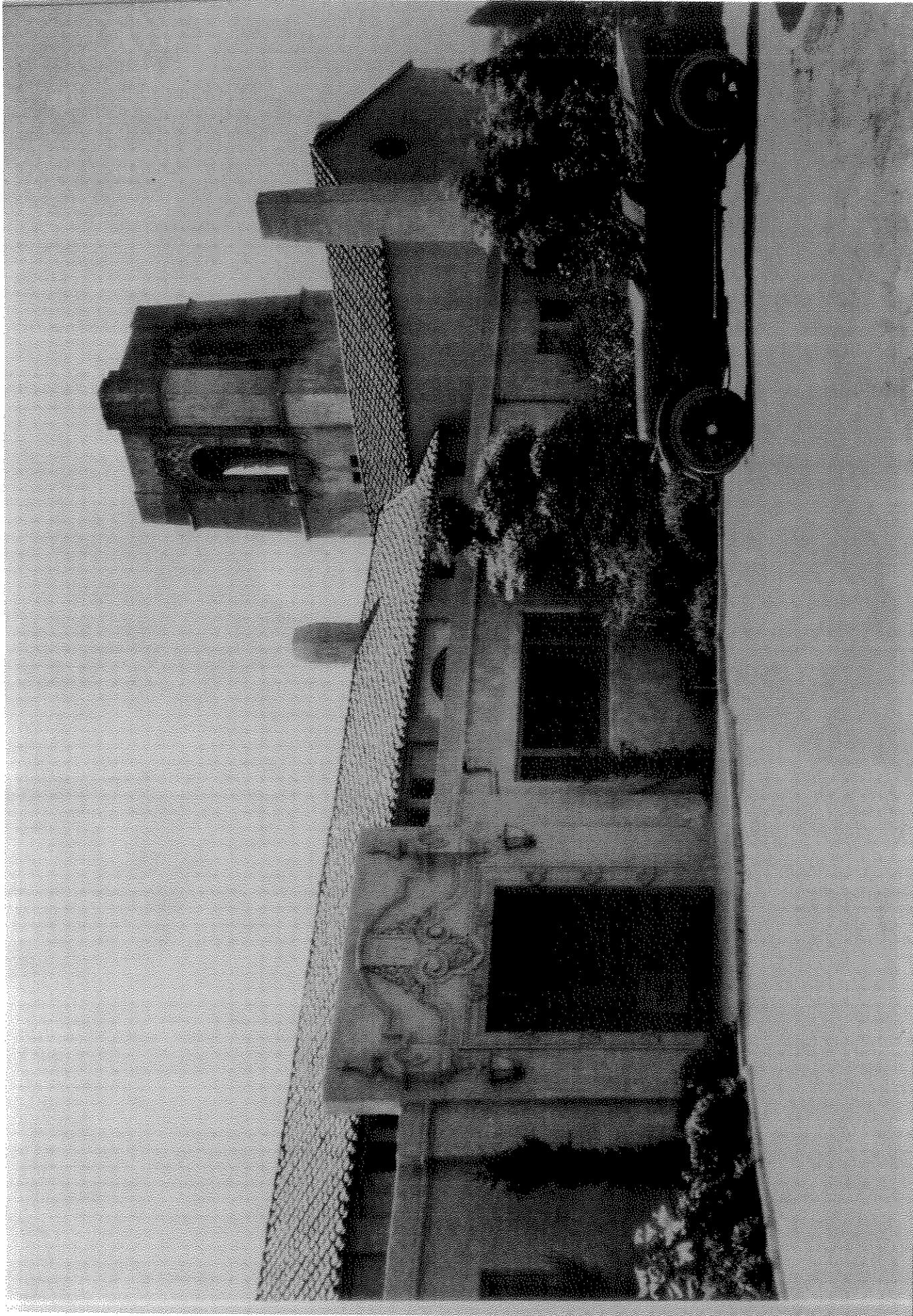


Montecito Country Club  
1938 Aerial Photograph

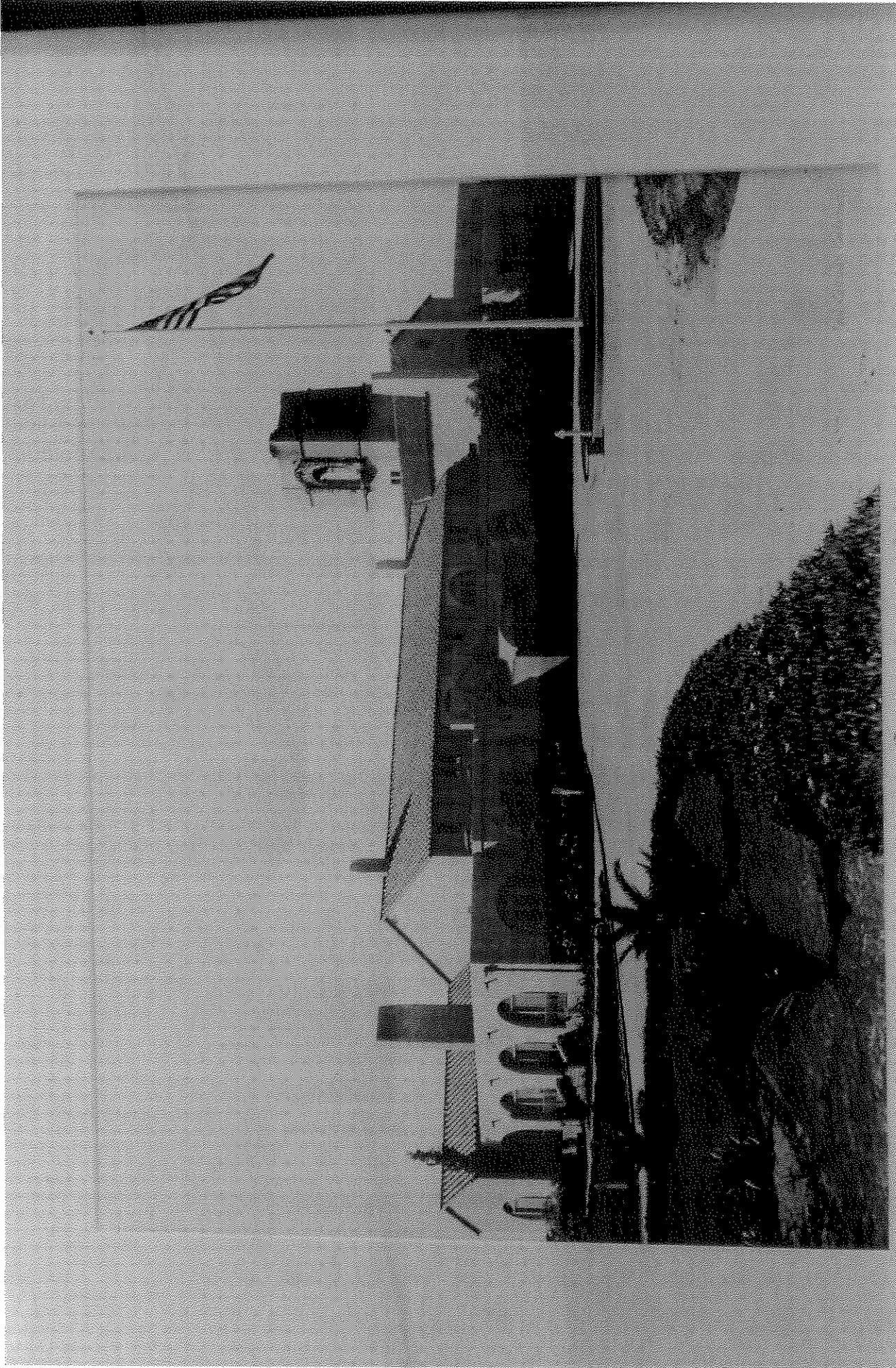


South Elevation of the Montecito Country Club in circa 1918

(Santa Barbara Historical Museum, Gledhill Library)



North Elevation of the Montecito Country Club in circa 1924  
(Montecito Country Club)



1924 Photograph of the Montecito Country Club (north and east elevations)  
(Montecito Country Club)