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HISTORIC STRUCTURES/SITES REPORT
110 WEST SOLA STREET
SANTA BARBARA, CALIFORNIA
APN: 039-062-010

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CITY OF SANTA BARBARA
PLANNING DIVISION

REVISED FINAL

Prepared for
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EXHIBIT C

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1. INTRODUCTION

The following Historic Structures/Sites Report for 110 West Sola Street (formerly 1401-1405 Chapala Street) was requested by the City Planning Department and the owners, John and Gloria McManus, because the building is over 50 years and is adjacent to two Landmarks, the Mortimer Cook House and the Upham Hotel (1872), and across the street from a potential Landmark the Edgerly Apartments (1912). This study was conducted to analyze the significance of the building and assess the impacts of the proposed project upon it (see Figure 1 for vicinity map). The report meets the Master Environmental Assessment requirements for a Historical Study. Alexandra C. Cole of Preservation Planning Associates prepared the report.

This report was initially submitted to the Historic Landmarks Commission at their August 23, 2006 meeting, with demolition as the proposed project. The motion on that date was to continue the report indefinitely with the comments that an effort should be made to preserve the significant parts of the Sola Street elevation in the new design. In response to these comments, a conceptual design, which emulated the arches and kept portions of the brick wall on the Sola Street elevation, was prepared, and presented to the Historic Landmarks Commission on September 5, 2007. The Commission commented that although there was the desire to save parts of the original wall on Sola Street, or to emulate the arches, the proposed design to do so was inadequate, and keeping the property-line orientation of the wall along Sola Street did not allow for greater setbacks and landscaping along that elevation. The suggested alternatives for the architect were to keep the existing brick wall and revise the plan or to demolish the building and replace it with a new structure. As a result, the new proposed design involves the complete demolition of the building and incorporation of the desired design changes suggested by the Historic Landmarks Commission at that September meeting. This current report incorporates an assessment of the impacts of the revised proposed project.

2. PROJECT DESCRIPTION

The proposed project involves the former Arlington Garage. It is in a C-2 zone, and is located in the Oak Park Neighborhood, bounded on the south by West Sola Street, on the north by Mission Creek, on the east by State Street, and on the west by Highway 101. The area is comprised of older cottages and apartments and Victorian homes, with a transition to office and apartment use. The building, located on the northwest corner of Chapala and West Sola Streets, presents a dominant massing along West Sola Street.

The project consists of demolition of the present building and its replacement with a three-story mixed use project that would consist of commercial, parking and residential entries on the first

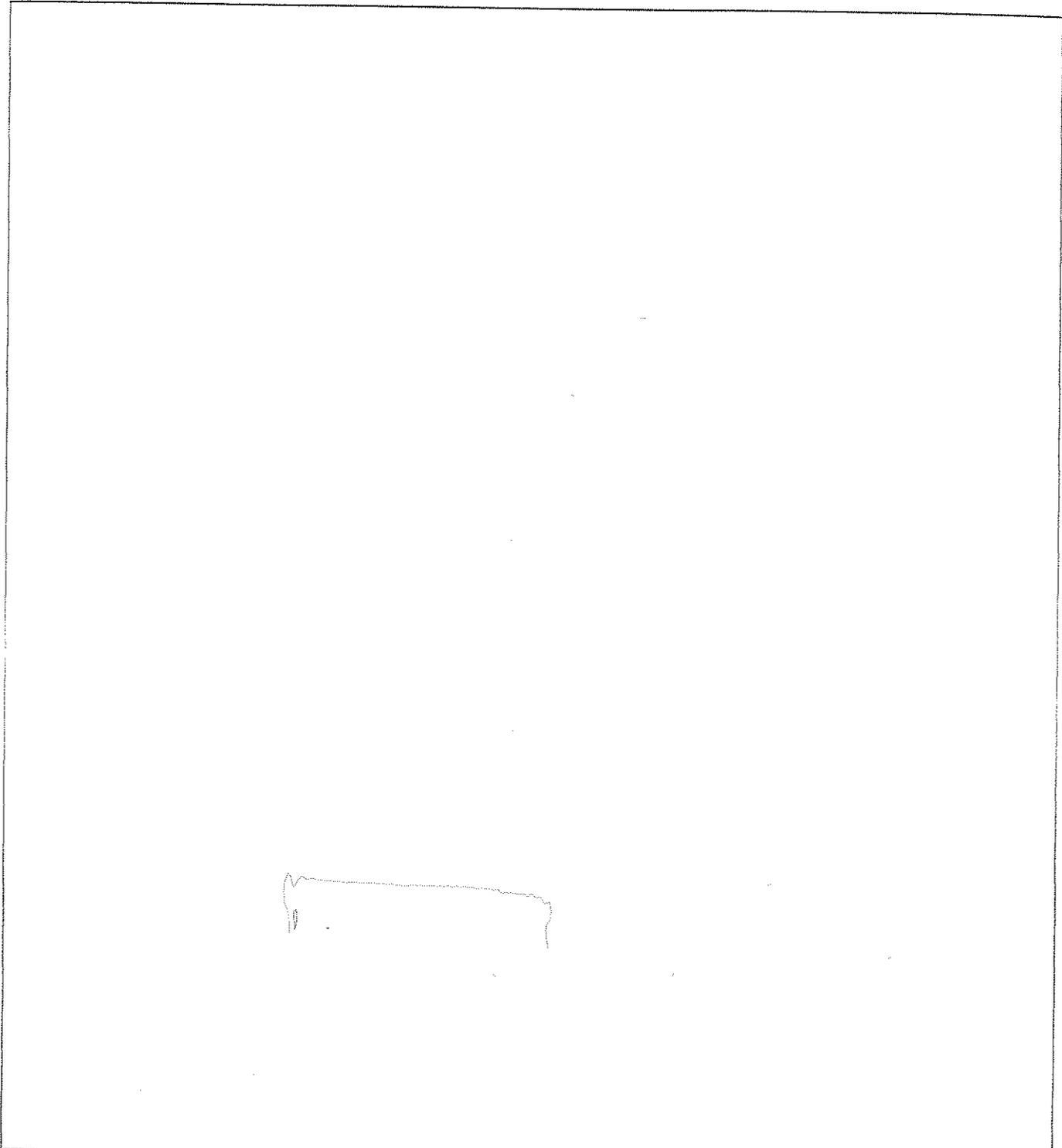


Figure 1
Vicinity Map
U.S.G.S. Map Santa Barbara Quadrangle. 1995

level, four residential units with outdoor spaces on the second level, and one bedroom with bath and outdoor space for each unit on the third level.

3. DOCUMENTS REVIEW

The following sources within the *City of Santa Barbara Master Environmental Assessment Guidelines for Archaeological Resources and Historic Structures and Sites* (January 2002) were consulted to see if the building had already been declared an historic resource: "Designated Historic Structures/Sites" (Appendix B) and "City of Santa Barbara Potential Historic Structures/Sites List" (Appendix C). The building was not listed as a City Structure of Merit or Landmark nor was it listed as a potential historic structure.

4. SITE HISTORY

The land comprising present-day Santa Barbara originally was the home of the Barbareño Chumash, who settled along the coast from Carpinteria to Goleta. A Chumash village, Syukhtun was located along Cabrillo Boulevard and a second, Taynayan, inland near Pedregosa (Mission) Creek on the upper East side. When Spain began to colonize California with missions and pueblos, this land was claimed by King Carlos of Spain and then granted to the Franciscan fathers when the Presidio and Mission were founded in Santa Barbara between 1782-1786. The area became part of the Pueblo lands of Santa Barbara to be used by the Mission and the Presidio.

When Mexico became independent from Spain in 1822, it secularized the missions and sold off their lands in an attempt to break the Spanish hold in California. When California became a state in 1850, the newly-established City of Santa Barbara inherited the Pueblo lands and hired Captain Salisbury Haley to survey the town, laying upon the former winding streets of the pueblo an American grid pattern composed of blocks, streets, and parks. A three-member committee consisting of Eugene Lies, Antonio Maria De la Guerra and Joaquin Carrillo was appointed by the mayor and Common Council to name the new streets created by the Haley survey. Because two of the members of this committee were Californios, many of the street names referred to names of early explorers, settlers, or events related to the history of Santa Barbara from its inception in 1782 until the survey in 1851.

The land where the building at 110 West Sola Street is now located lies in Block 77 of the City, as laid out by the Haley survey, bounded by Chapala, West Sola, De la Vina, and Micheltorena Streets. Chapala Street was named either for Lake Chapala in Jalisco, Mexico or for the prison from which Manuel Micheltorena, Governor of California, recruited some of his troops to protect the province during the years from 1842 to 1845. De la Vina was named for the vineyards it ran through. Micheltorena was named for Governor Manuel Micheltorena, Mexican governor of California from 1842-1845. Sola Street was named for Pablo Vicente Sola, the last Spanish governor of California, from 1815 to 1822 (Days 1986: 193-5).

Although the streets were nicely laid out in the Wackenreuder Map of 1853 which codified the Haley Survey, in actuality the town was little developed at this time. The 1870s became a time

of great growth and change in downtown Santa Barbara. This change was fueled in part by the advertising of journalist Charles Nordhoff, working for the *New York Tribune*, who visited Santa Barbara in 1872 and then wrote *California -A Book for Travelers and Settlers*, which introduced the health benefits of the Santa Barbara climate. As well the construction of Stearns Wharf, with its ability to handle both passenger ships and freighters, enabled redwood to be shipped cheaply from northern California to provide building materials for new houses, which were modeled on eastern and Midwestern architectural styles, such as Italianate, Eastlake and Queen Anne, rather than the earlier Hispanic adobe houses. The population of Santa Barbara rapidly expanded, as Anglos settled and developed the downtown State Street area, from Gutierrez to De la Guerra Streets, with brick commercial buildings housing all the services a fledgling town needed, such as hotels, restaurants, grocery stores, billiard parlors, saloons, variety stores, livery stables, dry goods shops, millinery shops, a post office, liquor stores, drug stores, butcher shops, barber shops, cigar stores, and lumber yards.

The 1892 Sanborn Map shows block 77 with the Mortimer Cook Victorian house, designed in 1872 by Peter Barber, on a quarter block parcel (ultimately the subject parcel), with related outbuildings including a summer lattice house, a carriage house, and a wood house. This parcel was adjacent to the quarter block lot containing the Lincoln House (1872), a boarding house which was the precursor to the Upham Hotel, with a wood shed, dwelling, and two-story shed on the property. Across Chapala Street at State and Victoria Streets was the Arlington Hotel (1876) with a variety of outbuildings. Immediately across Sola Street was a three-story boarding house, the Harrison House (see Sanborn Map of 1892, Figure 2). Even at this early date in the period of Americanization of Santa Barbara, this area was noted for its hotels and boarding houses catering to tourists.

5. ARCHITECTURAL AND SOCIAL HISTORY

By 1919, this small area had changed markedly, although it was still tourist-related. The Lincoln House became the Upham Hotel in 1911 and added a number of new buildings, the old Arlington Hotel, which burned in 1909, was replaced in 1911 with a new Mission Revival hotel designed by Arthur B. Benton, and the Harrison House was replaced in 1912 with the three-story Craftsman boarding house, the Edgerly, also designed by Arthur B. Benton (Sanborn Maps 1886, 1888, 1892, 1907).

In 1919, the larger lot on which the Mortimer Cook house was located was split, the house was moved north, and Mrs. Beatrice M. Barrows took out a permit to build a one-story brick garage in its place on the corner of West Sola and Chapala Streets (see Plate 1) (City Building Permit, November 13, 1919). It was built in the Mission Revival style, very possibly to match the new Arlington Hotel which lay cater-corner across Chapala Street, and which had been rebuilt in the Mission Revival style seven years earlier. No architect or contractor was listed on the building permit.

Although popular throughout California, the Mission Revival style never caught on in Santa Barbara. The earliest (1894-98) examples of this style built in Santa Barbara were the row of five houses on Garden Street in a residential neighborhood near the Santa Barbara Mission, designed by the San Francisco architect A. Page Brown (Ironically, the Santa Barbara Mission, within view of these houses, was not designed in the "Mission" style used by followers of the Mission Revival,

but was neoclassical, based on a Roman temple). The handful of other Mission Revival style buildings constructed between 1901 and 1911 in Santa Barbara were related to tourism, and included hotels, the garage at Sola and Chapala Streets, and the train station, building types which readily lent themselves to the Mission Revival style. They included the Potter Hotel (1901), designed by John Austin, the Southern Pacific Train Station (1905), designed by Francis W. Wilson, the Neal Hotel (1906), designed by J. W. Bagley, and the Arlington Hotel (1911), designed by Arthur B. Benton, who also designed the Mission Inn in Riverside.

This area was a prime location for a new garage. Although the Arlington Hotel already had an Arlington Garage at 1403 State Street at this time, the demand from the enlarged Upham Hotel and the Edgerly Apartments would have provided customers for this new garage. The Flying A studio was established in 1913 a few blocks away, and the Edgerly catered to many of the movie makers who came up from Hollywood to work on films in Santa Barbara. Initially



Plate 1. C. 1920 photograph of Garage at the corner of West Sola and Chapala Streets.
Courtesy Santa Barbara Historical Society

the garage seemed to have no name, but by 1923 was known as the Arlington Hotel Garage. Its proprietors were Louis Tapie and F. M. Light.

In the June 1925 earthquake, the building was damaged, and a permit was taken out for repairs by Mrs. Beatrice M. Peteler (presumably the same Mrs. Beatrice M. Barrows who built the garage)(City Permit 20883, July 23, 1925). Its Mission Revival parapet along State Street was replaced with a Spanish Colonial Revival storefront, with the remodel designed by architect William A. Edwards and the contracting work by Parker and MacQuiddy (see Plate 2). The brick walls at the corner of West Sola and Chapala Streets were stuccoed, the arched windows at the corner were replaced with flat openings, and a two-story addition was designed on the

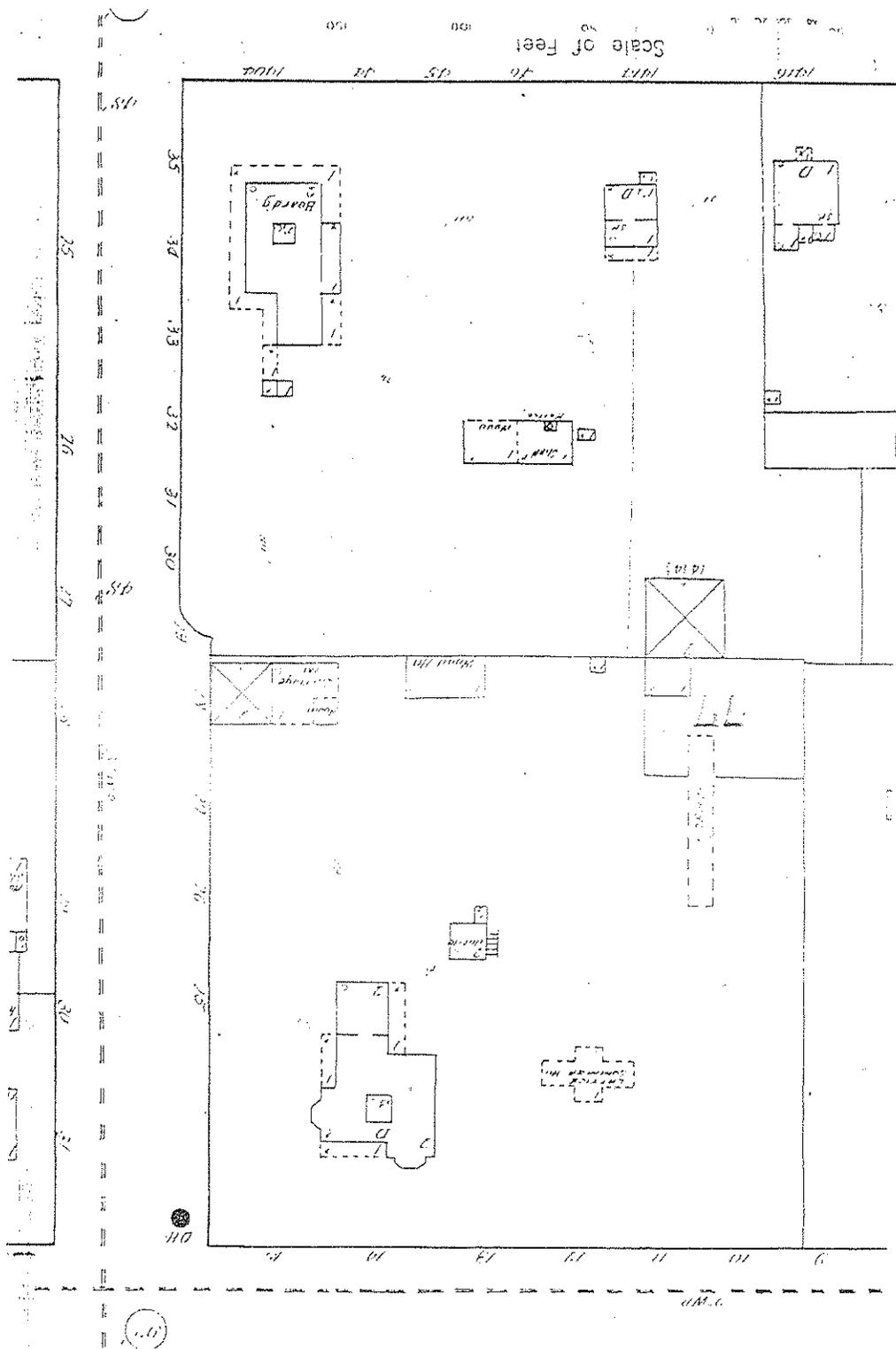


Figure 2. 1892 Sanborn Map

north end. Presumably at this time the wall on the west side was altered, for it has a concrete bond beam and pillars, infilled with brick with multipaned steel sash windows or with concrete blocks.

Judging from Edwards' plans for the 1925 remodel, the stucco corner was to be more elaborated with capitals on the pillars, string courses along the frieze, and plate glass windows at the Chapala Street corner (City archives). However, a simpler rendition of the building was ultimately constructed. Over the next 15 years, the building operated as a garage, under various proprietors, such as the Herdman Brothers, Mason Dillingham, Rio Grande, Ed Buckley, and Francis Peteler (see Plate 3). Gas pumps were added, and the open corner allowed drivers to pull into the building to get gas. It became a service station rather than just a parking garage. By 1936, the garage was being used as well for tractor sales. The building continued to be owned by Mrs. B. M. Peteler (City Directories).

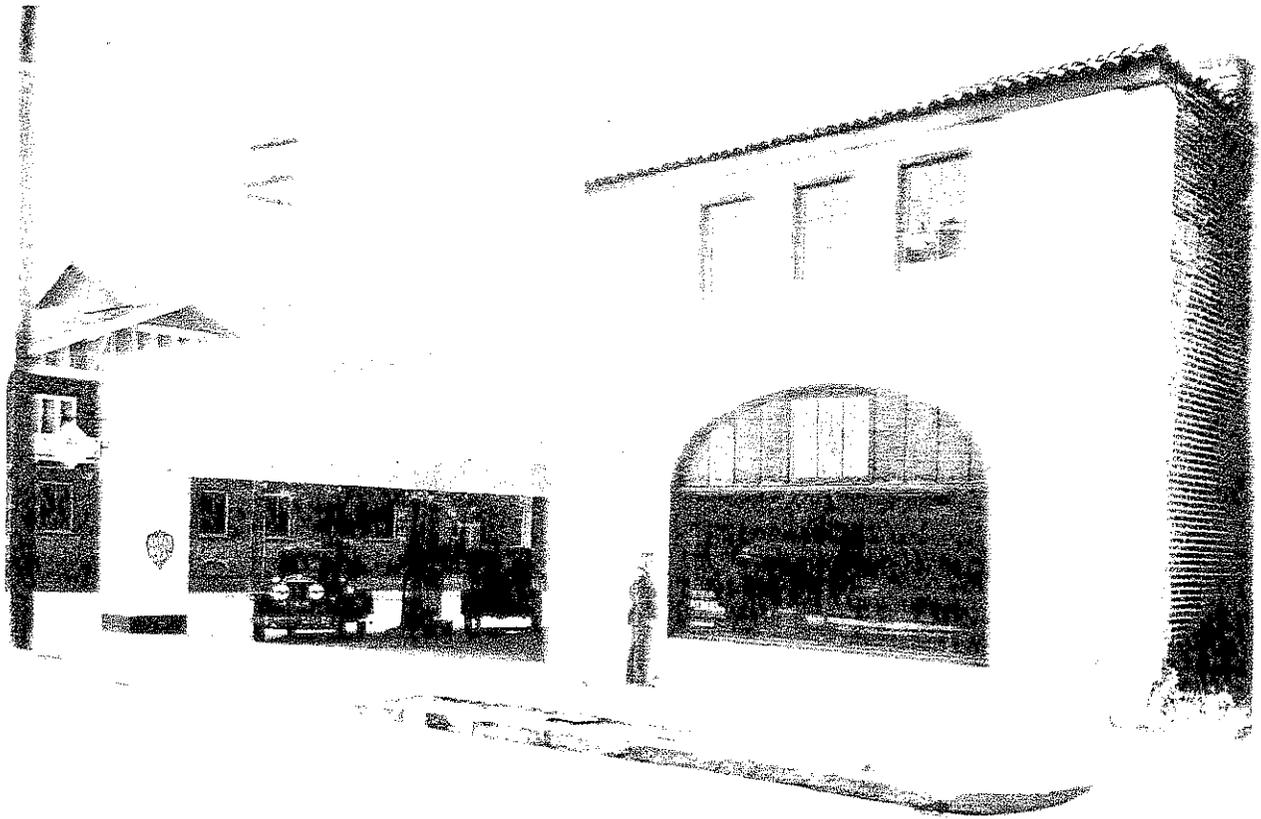


Plate 2. Arlington Garage c. 1926 after the W. A. Edwards remodel. *Courtesy Mr. John McManus*

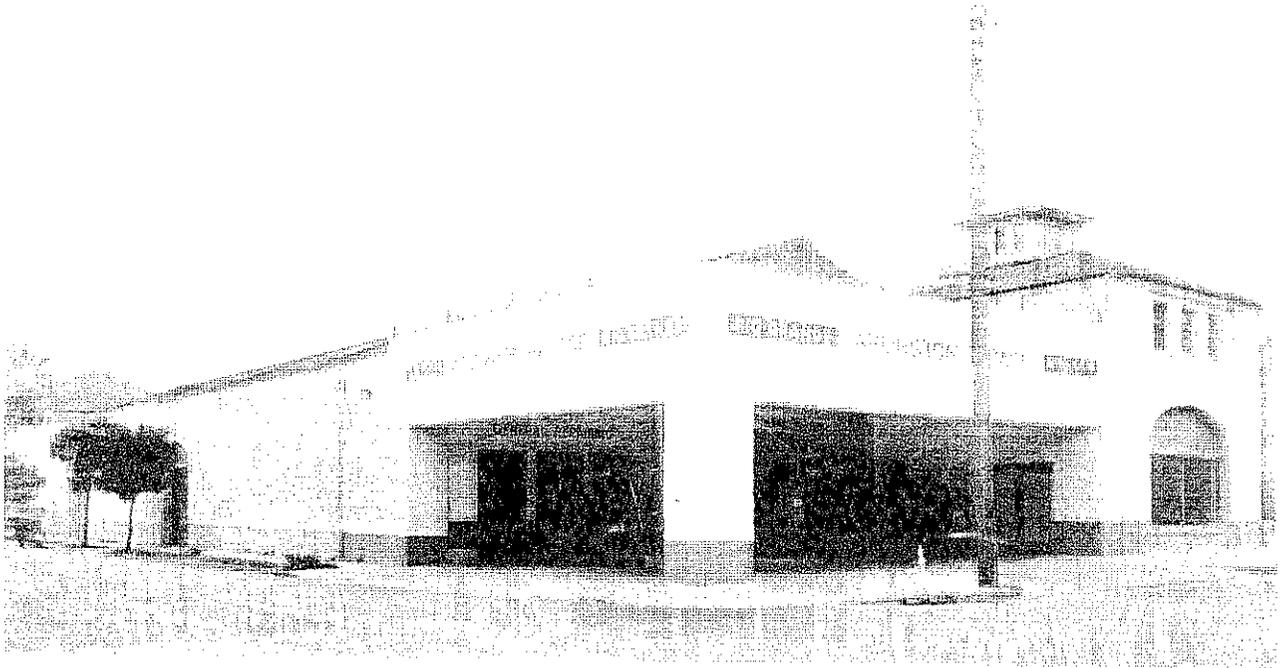


Plate 3. Arlington Garage c. 1931, when Rio Grande was the tenant. *Courtesy Santa Barbara Historical Society*



Plate 4. Former garage transformed into an A & P Store, c. 1938. *Courtesy Santa Barbara Historical Society*

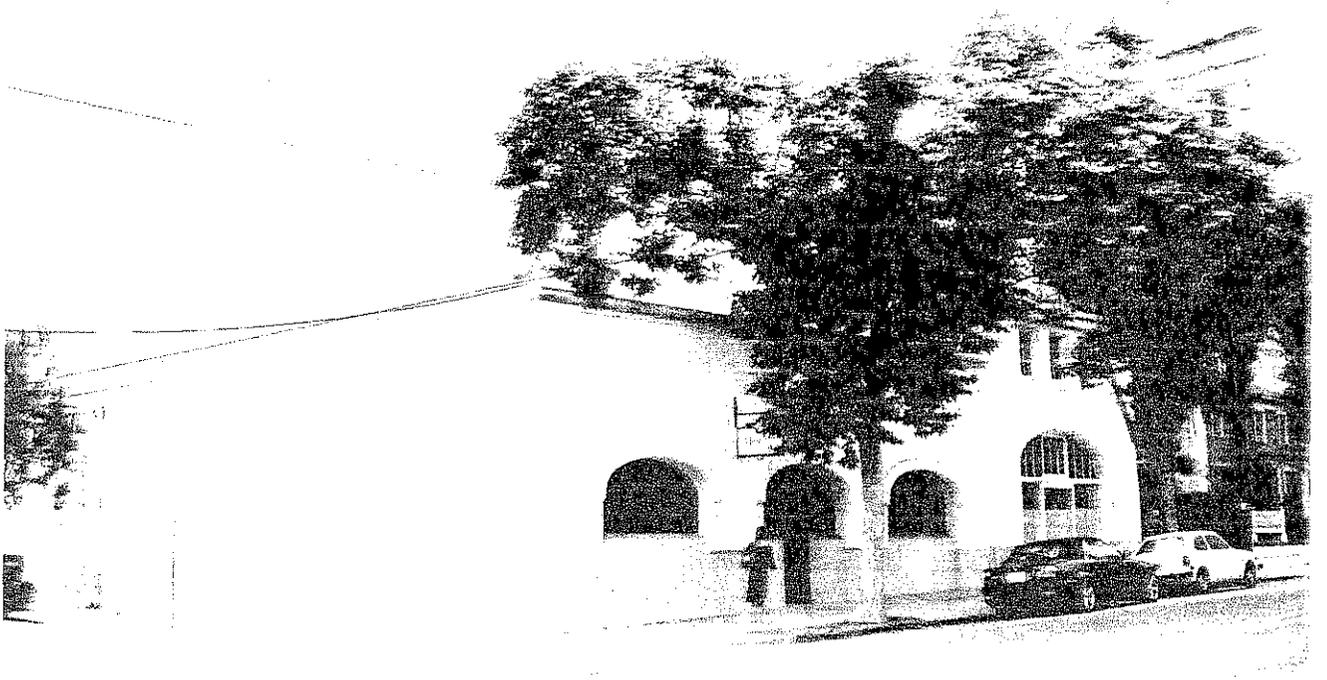


Plate 5. Alterations made in 1984 by Edwards & Pitman: to change building to office use. June 2006.
Facing northwest. A. C. Cole

In 1938, the garage was sold to Pete Beronio and was transformed into an A & P store (see Plate 4). Alex D'Alfonso was the contractor (City Building Permit number B1780, dated May 2, 1938). The large openings where cars drove through were replaced with stucco bulkheads and large multi-paned show windows. In 1948, Mr. Beronio made a further alteration, replacing the show window in the north two-story portion with paired doors (City permit number D-803, dated February 15, 1948). The building remained the A & P store until 1960, when it became Karl's Furniture Store. In 1971, it became Dale's Furniture Store, while the two-story office portion (1405 Chapala Street) was rented to Crawford's Treasure House. Dale Furniture continued in the corner building until 1983, while the tenant at 1405 changed to Ancient Hours, Clocks and Antiques and in 1983 to Margo's Clothing Store.

In 1984, Sovereign Life Insurance moved into the building, and made a number of alterations. At the time of this change in tenant, the building had 15 existing parking spaces at in the southwest portion of the building, reached through the arched opening along Sola Street, as well as a print shop, store, and storage area. The large A & P windows along Sola Street were infilled, and along the Chapala Street elevation, the large windows were replaced with the current storefront with aluminum and glass windows and a central door set within arched openings (see Plate 5). The architects were Edwards and Pitman. At this time two of the arched openings along West Sola Street had large wood sliding doors and the third had been infilled with redwood vertical planks in which a paneled paired door provided access.

In 1987, the existing retail office at 1405 Chapala Street was incorporated into the remainder of the building to provide additional office space for Sovereign Life Insurance Company. Possibly at this time the entry doors at 1405 were replaced with a central window, presumably when that corner stopped being a retail store and was incorporated as an office in to the larger building. In 1993, architect Murray Duncan made interior remodels for a change in use for El Puente Community School, a project of the Santa Barbara County Education Board. This school used 1/3 of the building's space, 5,000 feet at the Chapala Street side, with its entry at 1401 Chapala Street.

The following year, in 1994, the travel store, Magellan's, opened in the remaining 10,000 square foot section of the building as a leaseholder with La Cumbre Savings the owner. Part of their required tenant improvements to open as a retail store in the building included the alteration of two of the three arched openings. Recessed entries were added within these arched openings, with multipaned window walls and glass and wood doors protected by wrought iron gates. The architects for the entry alterations were Grant Pedersen Phillips Metsch Sweeney (City Building Permit number 94-02290). At this time, the address was changed to 110 West Sola Street.

In 1995, John and Gloria McManus, the owners of Magellan's, formed an LLC, Carmac & Associates (comprised of members Ann Carneros and John and Gloria McManus), to purchase the building. El Puente School continued in the building until 1997, when the Magellan store grew sufficiently large to need the extra space.

6. FIELD INVENTORY

Setting

The former garage at 110 West Sola Street sits at the front of the lot facing State and Chapala Streets. To the east is State Street, to the south is West Sola Street, to the north is West Micheltorena Street, and to the west is De La Vina Street. Immediately adjacent to the building are the City Landmark 1872 Mortimer Cook house, now the Institute of World Culture, and the City Landmark 1872 Upham Hotel. Across West Sola Street to the south is the Edgerly apartment complex, and across Chapala Street to the east is a modern office building housing Green Hills software. Diagonally across Chapala Street is the Arlington Theater and parking lot and adjacent to it is the Vons shopping center with parking lot.

This former garage, a commercial building, is an anomaly in its residential neighborhood. Unlike the adjacent Upham Hotel and Cook house, which have setbacks from the sidewalk, landscaped areas, varied wall planes with bays, and lots of windows, this structure is a rectangle built out to the property lines, with no setbacks for landscaping, and few windows.

Description

The rectangular brick building at 110 West Sola Street is a high one-story building set on a concrete foundation with a two-story portion at the northeast corner. The composition roof has a complex roof line with a rear gable and a front gable on hipped configuration, all set behind a

brick parapet wall topped by a soldier course. The two-story block has a pyramidal roof covered with red tile. The front corner has been stuccoed with a prominent rounded cornice.

The Chapala elevation has a front entrance consisting of three round arches topped with label moldings. Two of these arches, with high bulkheads and small six-pane aluminum-framed windows, flank the third arch which contains a hollow core door surrounded by aluminum-framed windows. The two-story portion has a segmental arched opening on the first floor with an 11-pane transom window and a three-pane storefront window below. The central window is framed by a wood surround which once served as the jamb for a former door. The second floor fenestration consists of three paired six-pane casement windows set in shallow reveals.

The West Sola Street elevation has three overscale segmental arched openings with a soldier course topped by three rowlock courses set on brick corbels. The central opening has a large wood overhead door with crossbucks decoration. The other two openings have been infilled with recessed multipaned windows framed by broad muntins and with wood and glass doors. Decorative wrought iron fences close at night for security.

The north elevation, reached by a small driveway adjacent to the Mortimer Cook house next door, is a solid brick wall with running bond, with an infilled opening at the northwest corner.

The west elevation, reached by another narrow driveway adjacent to the Upham Hotel has a broad medium-pitch gable end of brick, with a concrete bond beam and piers, dividing the wall into three parts. The central bay is infilled with concrete blocks, and the flanking bays are infilled with brick topped by multi-paned steel sash windows.

Alterations

A number of alterations have been made to this building since its construction in 1919. They are as follows:

- 1925: Replace original Mission Revival parapet and arched front entrance to a Spanish Colonial Revival design with large flat openings and a two-story portion
- 1938: Replace large garage openings at the corner with multipaned show windows to serve as a retail shop
- 1948: Replace show window at north with double doors
- 1984: Infill large show window on West Sola Street, replace large show window on Chapala Street with new windows and door set in arched openings
- 1994: Infill two large arched openings on West Sola Street with recessed entries and wrought iron security gates

Unknown dates: Infill window on northwest corner; replace northeast door to former 1405 Chapala Street with a window

7. DETERMINATION OF SIGNIFICANCE

Criteria of Significance

To judge whether a building is significant, the City's Master Environmental Assessment *Guidelines* uses criteria provided by CEQA and City Guidelines. Under CEQA Guideline §15064.5(a) historic resources include the following:

- (1) A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (Pub. Res. Code §5024.1, Title 14 CCR, Section 4850 et seq.)
- (2) A resource included in a local register of historical resources, as defined in §5020.1 (k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements of §5024.1 (g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.
- (3) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, providing the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historic Resources (Pub. Res. Code §5024.1, Title 14 CCR, Section 4852) including the following:
 - (A) Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
 - (B) Is associated with the lives of persons important in our past;
 - (C) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
 - (D) Has yielded, or may be likely to yield, information important in prehistory or history.
- (4) The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historic Resources, not included in a local register of historical resources (pursuant to section 5020.1 (k) of the Public Resources Code, or identified in an historical resources survey (meeting the criteria in §5024.1(g) of the Public Resources Code) does not preclude a lead agency from determining that the resource may be an historical resource as defined in Public Resources Code sections 5020.1(j) or 5024.1.

Under City of Santa Barbara Guidance, a significant historic resource includes but is not limited to:

1. Any structure, site or object designated on the most current version of the following lists: National Historic Landmarks, National Register of Historic Places, California Registered Historical Landmark, California Register of Historical Resources, City of Santa Barbara Landmarks, City of Santa Barbara Structures of Merit.
2. Selected structures that are representative of particular styles including vernacular as well as high styles, architectural styles that were popular fifty or more years ago, or structures that are embodiments of outstanding attention to architectural design, detail, materials, or craftsmanship.
3. Any structure, site or object meeting any or all criteria established for a City Landmark and a City Structure of Merit (Municipal Code, Chapter 22.22.040, Ord. 3900 ¶1, 1977), as follows:
 - A. Its character, interest or value as a significant part of the heritage of the City, the State or the Nation;
 - B. Its location as the site of a significant historic event;
 - C. Its identification with a person or persons who significantly contributed to the culture and development of the City, the State or the Nation;
 - D. Its exemplification of a particular architectural style or way of life important to the City, the State, or the Nation;
 - E. Its exemplification as the best remaining architectural type in its neighborhood;
 - F. Its identification as the creation, design, or work of a person or persons whose effort has significantly influenced the heritage of the City, the State or the Nation;
 - G. Its embodiment of elements demonstrating outstanding attention to architectural design, detail, materials, or craftsmanship;
 - H. Its relationship to any other landmark if its preservation is essential to the integrity of that landmark;
 - I. Its unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood;
 - J. Its potential of yielding significant information of archaeological interest;
 - K. Its integrity as a natural environment that strongly contributes to the well-being of the people of the City, the State or the Nation.
4. Any structure, site or object meeting any or all of the criteria provided for the National Register of Historic Places and the California Historical Landmark list, as follows:

The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects of State and local importance that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and

 - A. That are associated with events that have made a significant contribution to the broad patterns of our history; or
 - B. That are associated with the lives of persons significant in our past; or
 - C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or

- D. That have yielded, or may be likely to yield, information important in prehistory or history.
5. Any structure, site, or object associated with a traditional way of life important to an ethnic, national, racial, or social group, or to the community at large; or illustrates the broad patterns of cultural, social, political, economic, or industrial history.
 6. Any structure, site or object that conveys an important sense of time and place, or contributes to the overall visual character of a neighborhood or district.
 7. Any structure, site, or object able to yield information important to the community or is relevant to historical, historic archaeological, ethnographic, folkloric, or geographical research.
 8. Any structure, site or object determined by the City to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California, provided the City's determination is based on substantial evidence in light of the whole record [Ref. State CEQA Guidelines §15064.5(a)(3)].

8. FINDING OF SIGNIFICANCE

Conclusion

The building is eligible for designation as a City Structure of Merit under Criteria "I" and 6, as an established and familiar visual feature of a neighborhood which contributes to the overall visual character of the neighborhood. The brick wall with its three arches on Sola Street and two-story portion on Chapala Street are eligible under Criteria "G" and 2 for embodying elements demonstrating outstanding attention to architectural design, detail, and materials.

Analysis of Significance for 110 West Sola Street

California Register of Historic Resources

The former garage was surveyed in 1978 and it was not included in those chosen by the Historic Landmarks Commission to be sent to the State for inclusion on the State Historic Resources inventory.

City of Santa Barbara Landmark or Structure of Merit

To be considered as a potential Landmark or Structure of Merit a building must retain integrity of location, materials, design, and setting and meet one of the above criteria.

The building retains integrity of location, materials, and setting. It retains integrity of location because it has not been moved. It retains integrity of materials, the brick walls, on all elevations except the Chapala Street side. Its design has been compromised by the various alterations to it.

Criterion A. Although the building has a dominant presence on the corner, the variety of alterations to it, most particularly the remodel done in 1984, have removed its character-defining features which would allow it to read as a early twentieth century commercial building. It is not eligible under Criterion A.

Criterion B. The building was not the location of a significant event. It is not eligible under Criterion B.

Criterion C. The building is not identified with a person or persons who significantly contributed to the culture and development of the City, the State or the Nation. It is not eligible under Criterion C. Although it was named the Arlington Hotel, it was not connected to the hotel which had its own garage, with the same name, on State Street.

Criterion D. The former garage was originally a Mission Revival-style building, later transformed after the earthquake with Spanish Colonial Revival architectural details along the Chapala Street façade and around the corner along West Sola Street. However, as happened with many downtown buildings after the earthquake, the remaining three sides were left showing the bricks, and therefore revealing their earlier time of construction. The 1984 remodel removed any semblance of the building as a former garage and/or store by removing the large windows and making a modern office entry on Chapala Street. Although the brick walls on the north and south sides, the overscale brick arches, and the two-story portion with the hipped red tile roof and stucco walls may make a passerby think about the building as a hybrid remnant from an earlier day, there is no longer a particular style to this building. It is not eligible under criterion D.

Criterion E. Because of its many alterations, the building is not the best remaining architectural type in its neighborhood. It is not eligible under Criterion E.

Criterion F. The building's architect and contractor are unknown. It is not eligible under Criterion F.

Criterion G. The building, along West Sola Street where the brick arches remain, embodies elements demonstrating outstanding attention to architectural design, detail, materials, or craftsmanship representing a past which appears more nineteenth century than twentieth century. The three arched doorways, with their soldier and rowlock courses, along West Sola Street, and the arched opening on the two-story portion on Chapala Street, are the remainder of architectural features from an earlier time. These parts of the building are eligible under Criterion G.

Criterion H. The building is adjacent to two Landmarks, the Mortimer Cook House and the Upham Hotel. The building is not related to them architecturally, although it was once related to the Upham Hotel by providing parking. Its preservation is not essential to the integrity of those Landmarks. It is not eligible under Criterion H.

Criterion I. This building, by its bulk along West Sola Street and its arched openings within the brick elevation, represents an established and familiar visual feature of a neighborhood. It is eligible under Criterion I.

Criterion J. This criterion is not applicable under the purview of this report.

Criterion K. This criterion is not applicable.

Criterion 1. The building is not eligible under Criterion 1 because it is not listed on the National Register of Historic Places and the California Register of Historic Resources.

Criterion 2. Parts of the building are eligible under Criterion 2. The building, along West Sola Street where the brick arches remain, embodies elements demonstrating outstanding attention to architectural design, detail, materials, or craftsmanship representing a past which appears more nineteenth century than twentieth century. The three arched doorways, with their soldier and rowlock courses, along West Sola Street, and the arched opening and tower on the two-story portion on Chapala Street, are the remainder of architectural features from an earlier time. These parts of the building are eligible under Criterion 2.

Criterion 4. The building is not eligible under criterion 4 because it is not eligible for listing on the National Register of Historic Places or on the California Historic Landmark list.

Criterion 5. The building is not eligible under Criterion 5 because it is not associated with a traditional way of life nor does it illustrate broad patterns of cultural, social, political, economic, or industrial history.

Criterion 6. The building is eligible under Criterion 6 because the property anchors the northwest corner of West Sola and Chapala Streets and contributes to the overall visual character of the neighborhood. Although its front has been altered a number of times, its mass and bulk remain to provide a presence on the corner.

Criterion 7. The building is not eligible under Criterion 7 because it is not able to yield information relevant to historical, historic archaeological, ethnographic, folkloric, or geographical research.

Criterion 8. The building is not eligible under Criterion 8 because it is not listed on the CRHR.

9. ASSESSMENT OF IMPACTS OF THE PROJECT

CEQA Guidelines for Determining Project Effects

CEQA defines a potential adverse effect as one that would cause a substantial change in the significance of a resource. Such a substantial change means demolition, destruction, relocation, or alteration of the physical characteristics of the resource or its immediate surroundings that

justify its eligibility for the CRHR or its inclusion in a local register of historic resources (PRC Section 15064.5 (b) (1,2)).

According to the latest CEQA guidelines, if a project involving significant historical resources follows *The Secretary of the Interior's Standards for the Treatment of Historic Properties With Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (Standards)* (Weeks and Grimmer 1995), the project is considered to be mitigated to a level of less than a significant impact on the historic resource (PRC Section 15064.5 (b) (3)). The *Standards* are as follows:

1. A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.
4. Changes to a property that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.
8. Archeological resources shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a way that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Analysis of Proposed Project According to CEQA Guidelines

Summary

The building is considered an historic resource according to CEQA standards because it is eligible for designation as a City Structure of Merit under Criteria "I" and 6, as an established and familiar visual feature of a neighborhood which contributes to the overall visual character

of the neighborhood. The brick wall with its three arches on Sola Street and two-story portion on Chapala Street are eligible under Criteria "G" and 2 for embodying elements demonstrating outstanding attention to architectural design, detail, and materials.

The proposed project calls for the demolition of the building and construction of a new mixed use building in its place. In my professional opinion, the size, bulk, and scale of the proposed design is compatible with the two adjacent Landmarks. Both the Upham Hotel and the Mortimer Cook house are large tall two-story Victorian buildings, set high on their respective lots. The third story elements of the proposed building are taller than the Upham, yet the majority of the building, at two-stories, is lower. The proposed building is lower than the Cook house. To minimize the scale of the building further facing the Upham Hotel, the proposed building is set back five feet from the Upham property line on the west with a one-story element facing the Upham. The building matches the 13'6" setback of the Upham for the segment closest to the Hotel along Sola Street and has the same 30" high sandstone wall as a landscaping element along Sola Street.

To maximize the view of the Mortimer Cook house looking north on Chapala Street from Sola Street, the proposed building is set back 15 feet from the sidewalk at the north corner, with a one-story element continuing an additional 11 feet adjacent to the Cook house. Additionally the second floor at Chapala Street has an open porch providing for a further glimpse of the Cook house. As well, the building is set back five feet from the north property line where adjacent to the front of the Cook house, and its north elevation facing the Cook house presents a simpler design with parapet walls so it does not compete with the Landmark.

Along Sola Street, the setback varies from five feet to 13'6", breaking the long façade into three distinct units and providing an undulating wall as well as landscaping areas to make its street presence pedestrian friendly. This break-up of the long wall is compatible with the Sola Street elevation of the Upham Hotel, which has a recessed wing and two shallow bays, as well as the three-story Edgerly Apartment across Sola Street, set back four, seven, and twelve feet, with its shallow wing and protruding central porch element (see Plates 12 and 13). The commercial space on Chapala Street is designed to look residential, and therefore fits into the residential context of Chapala Street.

In my professional opinion, because the building is significant under Criteria "I" and 6, and parts of it are significant under Criteria "G" and 2, demolition will cause a potentially significant mitigatable (Class II) impact. With the required mitigation measures listed in section 10 below, the project, according to CEQA criteria, would be considered to be mitigated to a level of less than a significant impact on the historic resource (PRC Section 15064.5 (b) (3)).

10. REQUIRED ACTION/MITIGATION MEASURES

1. The building shall be documented according to the City's "Required Documentation of Buildings Prior to Demolition" prior to the demolition. Two copies of the archival photographs shall be prepared, one for the City archives and one for the Gledhill Library.

2. A commemorative plaque shall be created and affixed to the wall of the new building celebrating the history of the original garage and its later use as the A & P store.

11. RESIDUAL IMPACTS

After implementation of the required mitigation measures listed above, a potentially significant but mitigatable (Class II) impact would be reduced to an adverse but not significant impact (Class III).

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Nelson, Chris. 1980. "1405 Chapala". *Historic Resources Survey*. City of Santa Barbara.

Weeks, Kay and Anne Grimmer. 1995. *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings*. Washington, D. C.: U. S. Department of the Interior. National Park Service. Cultural Resource Stewardship and Partnerships. Heritage Preservation Services.

Maps

1892 Sanborn Fire Insurance Map

1907 Sanborn Fire Insurance Map

- 1930 Sanborn Fire Insurance Map
1950 Sanborn Fire Insurance Map

Archives Consulted:

City of Santa Barbara Public Library
City of Santa Barbara Street files
Gledhill Library, Santa Barbara Historical Society

Architectural Drawings

1925. William A. Edwards. "Plans & Elevations & Sections. Alterations of Garage for Mrs. B. Peteler". July 23, 1925.

1938. Alex D'Alfonso. "Proposed New Store in Garage Building at Santa Barbara for the A&P." April 11, 1938.

1984. Edwards and Pitman. "New Front Façade and Remodeling. Sovereign Life Insurance Company of California."

13. PLATES

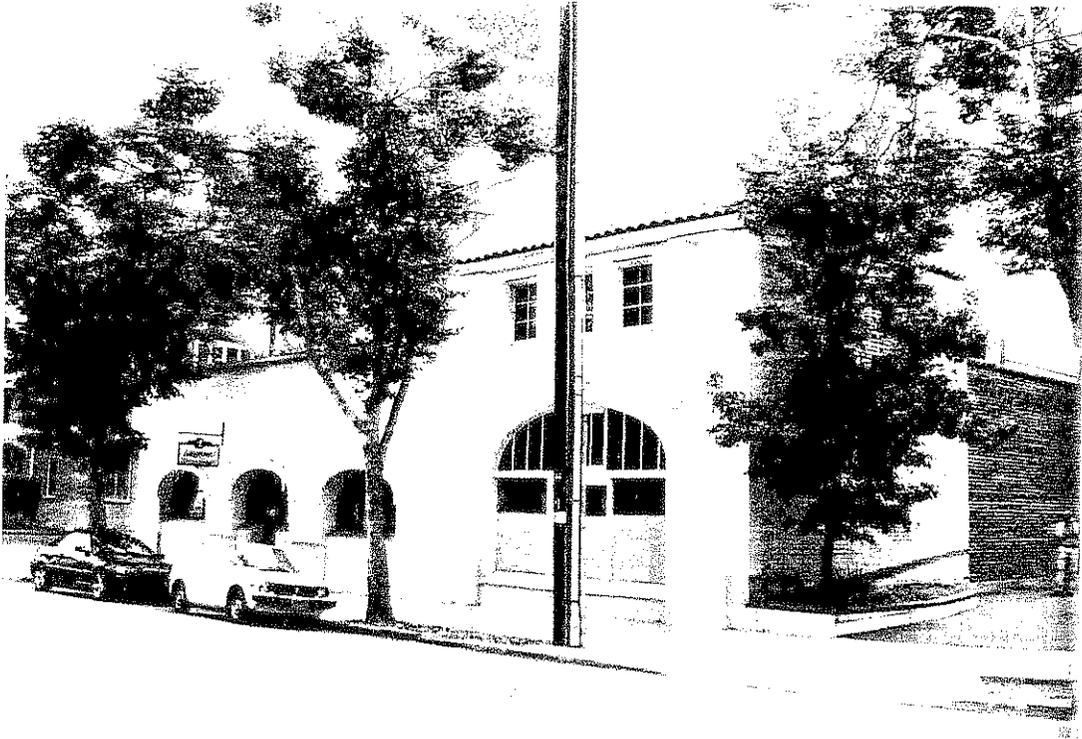


Plate 1. View of Chapala Street façade, showing two-story portion at right and modern office entry at left. Facing southwest. June 2006. A. C. Cole



Plate 2 . Detail of two-story portion showing original arched window and transom. Facing west. June 2006 A. C. Cole

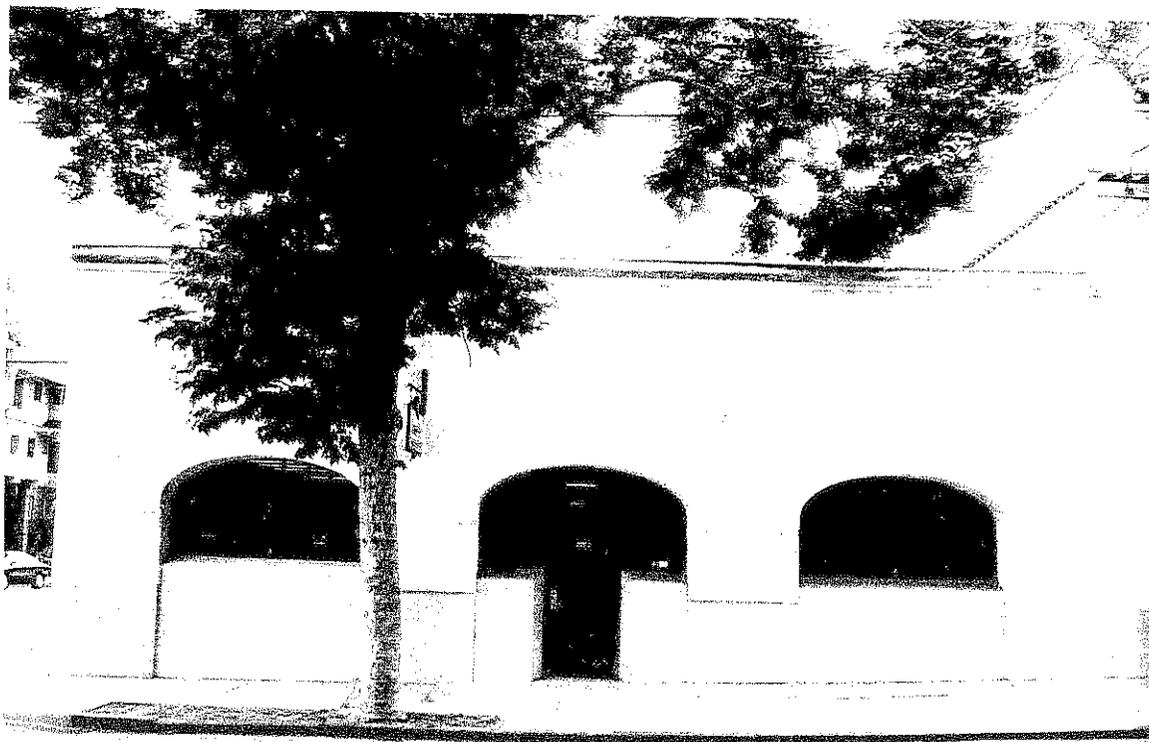


Plate 3. Detail of Chapala Street modern office entry. Facing west. June 2006. A. C. Cole



Plate 4. Corner of West Sola and Chapala Streets. Facing northwest. June 2006. A. C. Cole

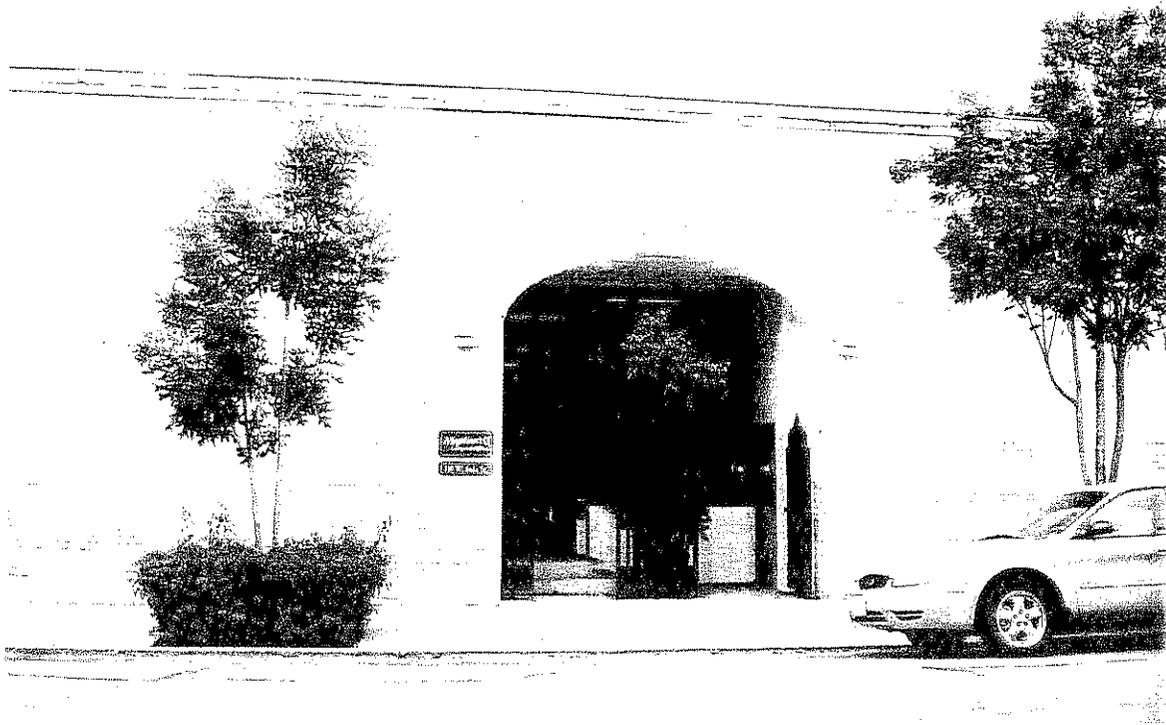


Plate 5. Detail of arched opening with modern entryway. Facing north. June 2006. A. C. Cole



Plate 6. Detail of south elevation showing industrial doors in arched opening.
Facing northeast. June 2006. A. C. Cole



Plate 7. Detail of arched opening with modern entryway.
Facing north. June 2006. A. C. Cole

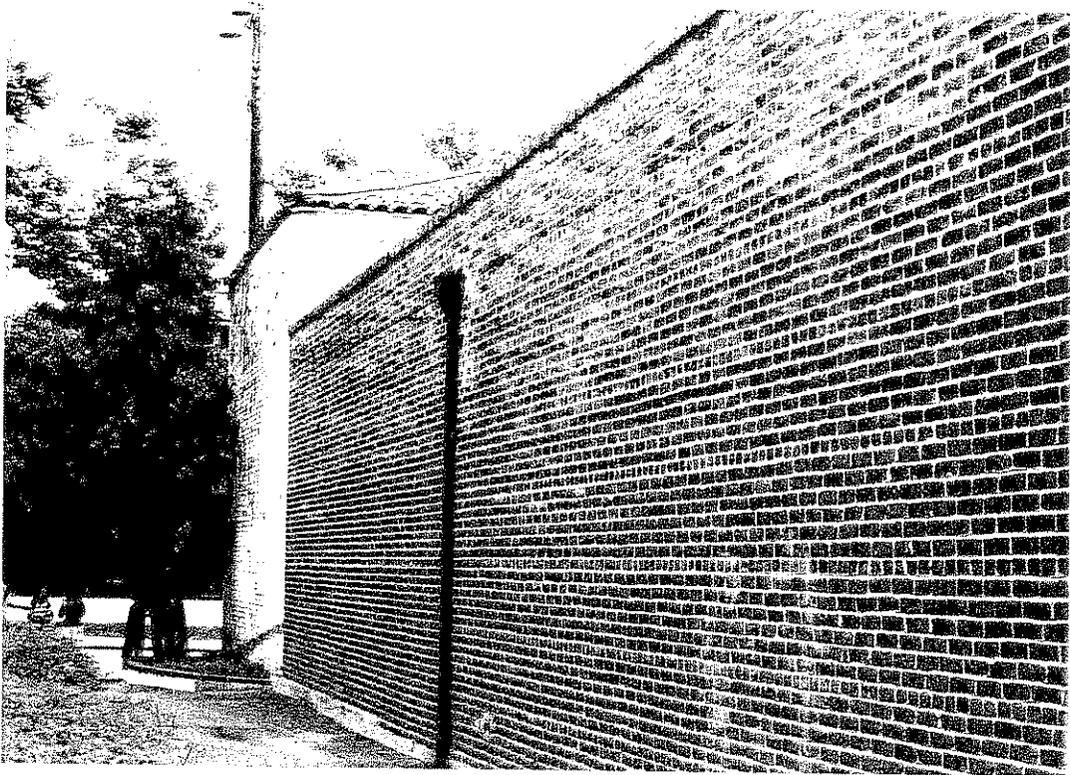


Plate 8. Detail of rear (north) brick wall with one and two-story portions.
Facing east, June 2006. A. C. Cole

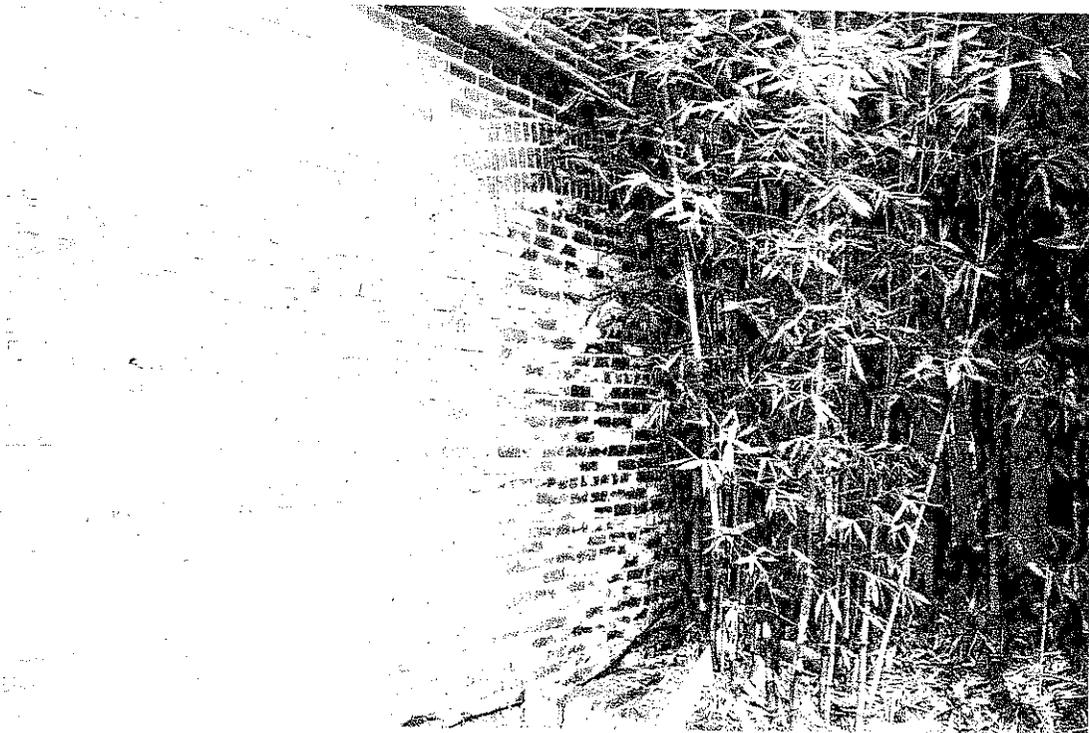


Plate 9. Detail of brick wall on north elevation showing infilled window at northwest corner.
Facing west, June 2006. A. C. Cole

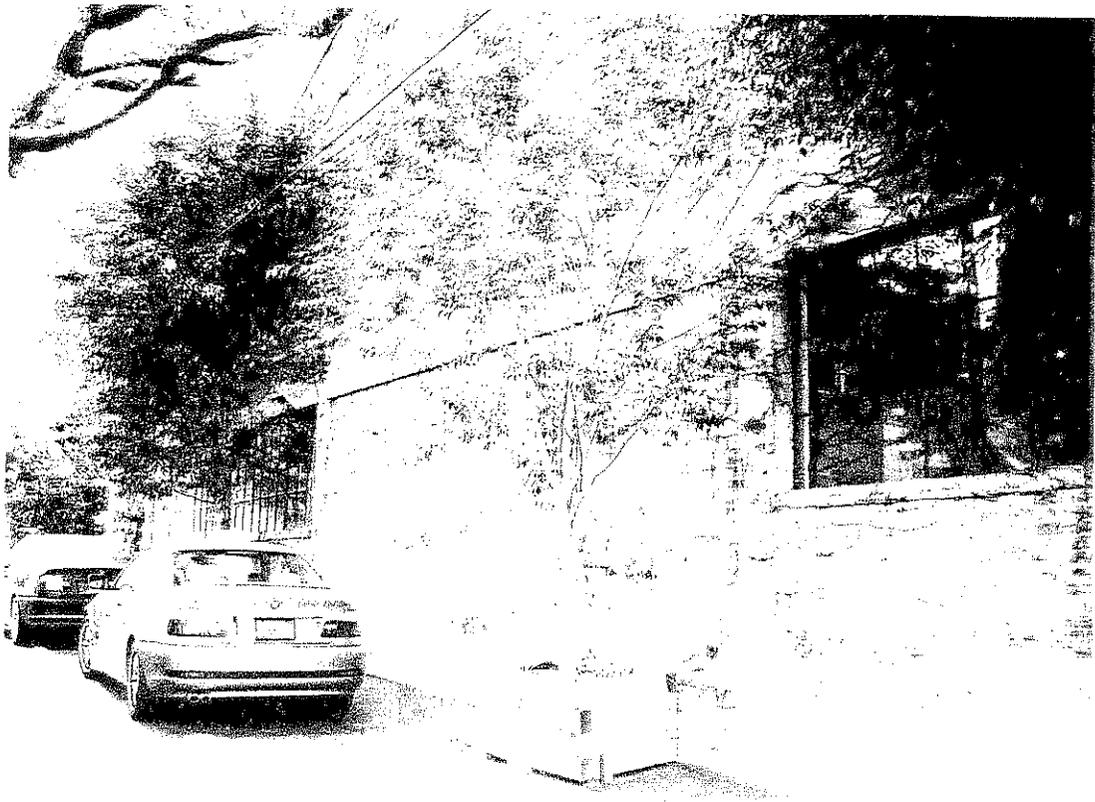


Plate 10. Detail of west elevation, showing concrete bond beam, infill windows, brick, and concrete block. Facing northeast. June 2006. A. C. Cole



Plate 11. Mortimer Cook house at 1407 Chapala Street. Facing west. June 2006. A. C. Cole



Plate 12. Upham Hotel, adjacent on the west to 110 West Sola Street.
Facing northwest. June 2006. A. C. Cole



Plate 13. Edgerly Apartments across West Sola Street from 110 West Sola Street.
Facing southeast. June 2006. A. C. Cole



Plate 14. Site of Arlington Hotel across Chapala Street from 110 West Sola Street.
Facing southeast. June 2006. A. C. Cole



Plate 15. View looking south, showing relationship between Mortimer Cook house on right
and 110 W. Sola Street on left. Facing south. August 2006. A. C. Cole.



Plate 16. View of Upham Hotel on left in relationship to 110 West Sola Street on right.
Facing northwest. August 2006. A. C. Cole