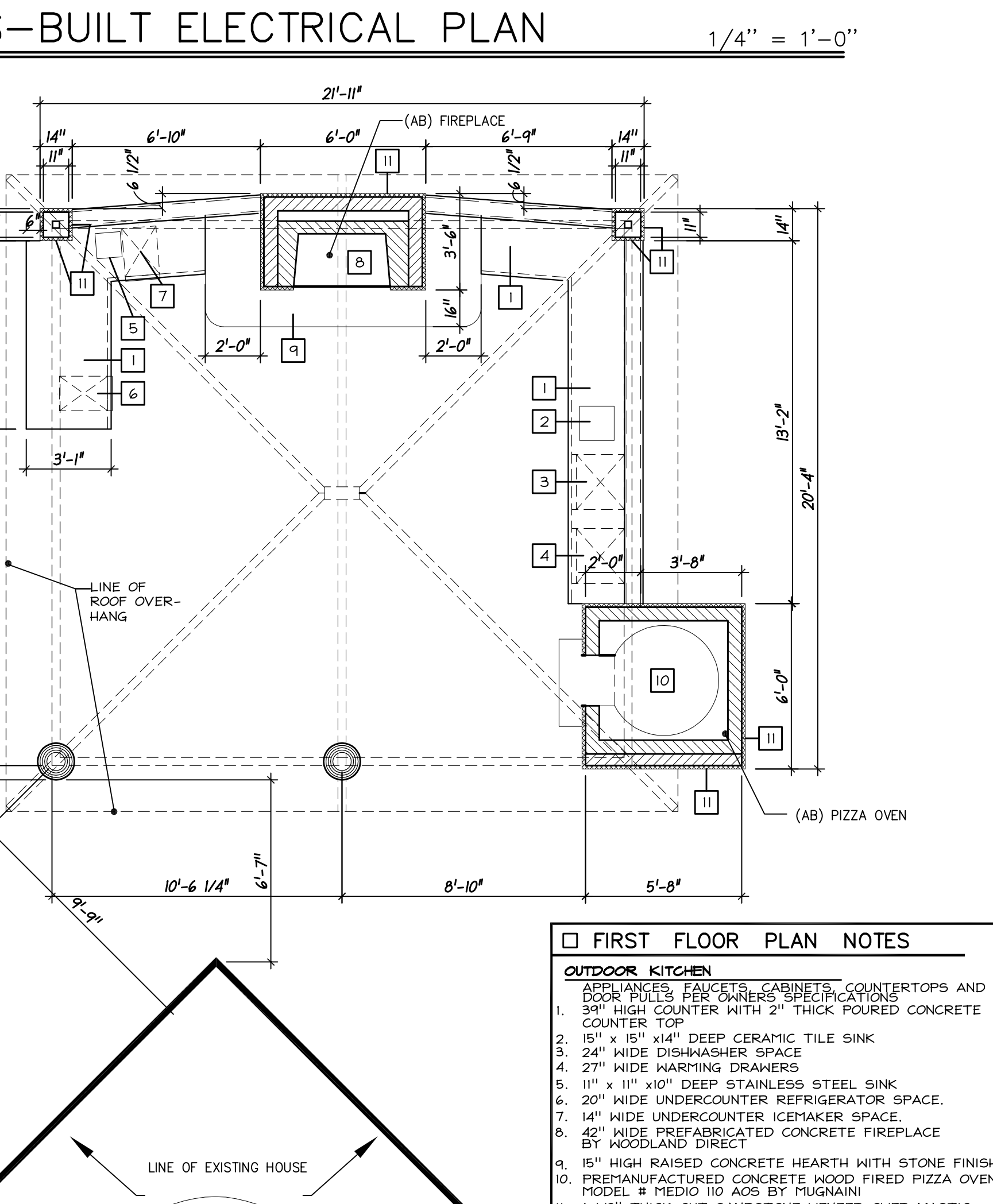
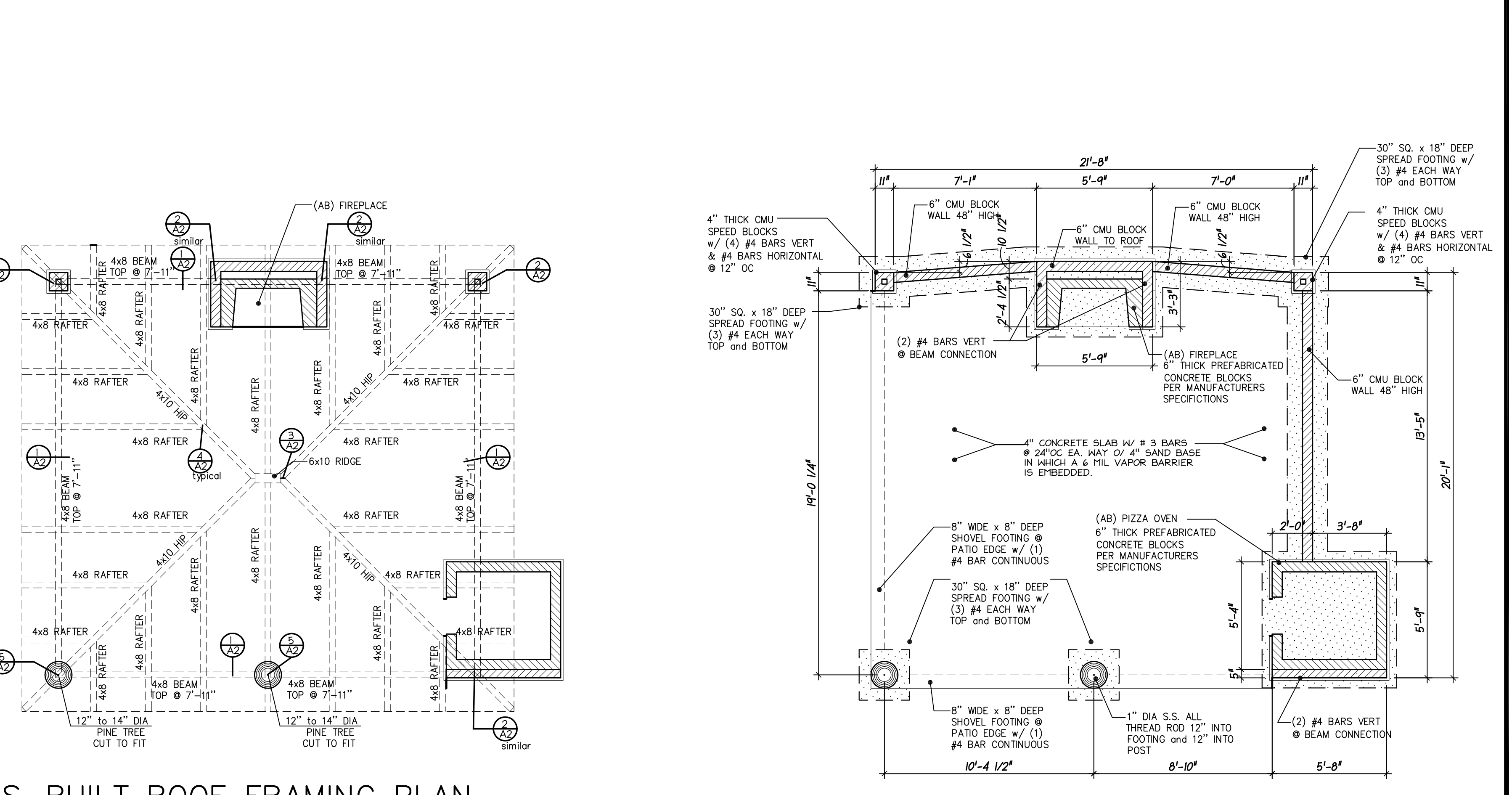
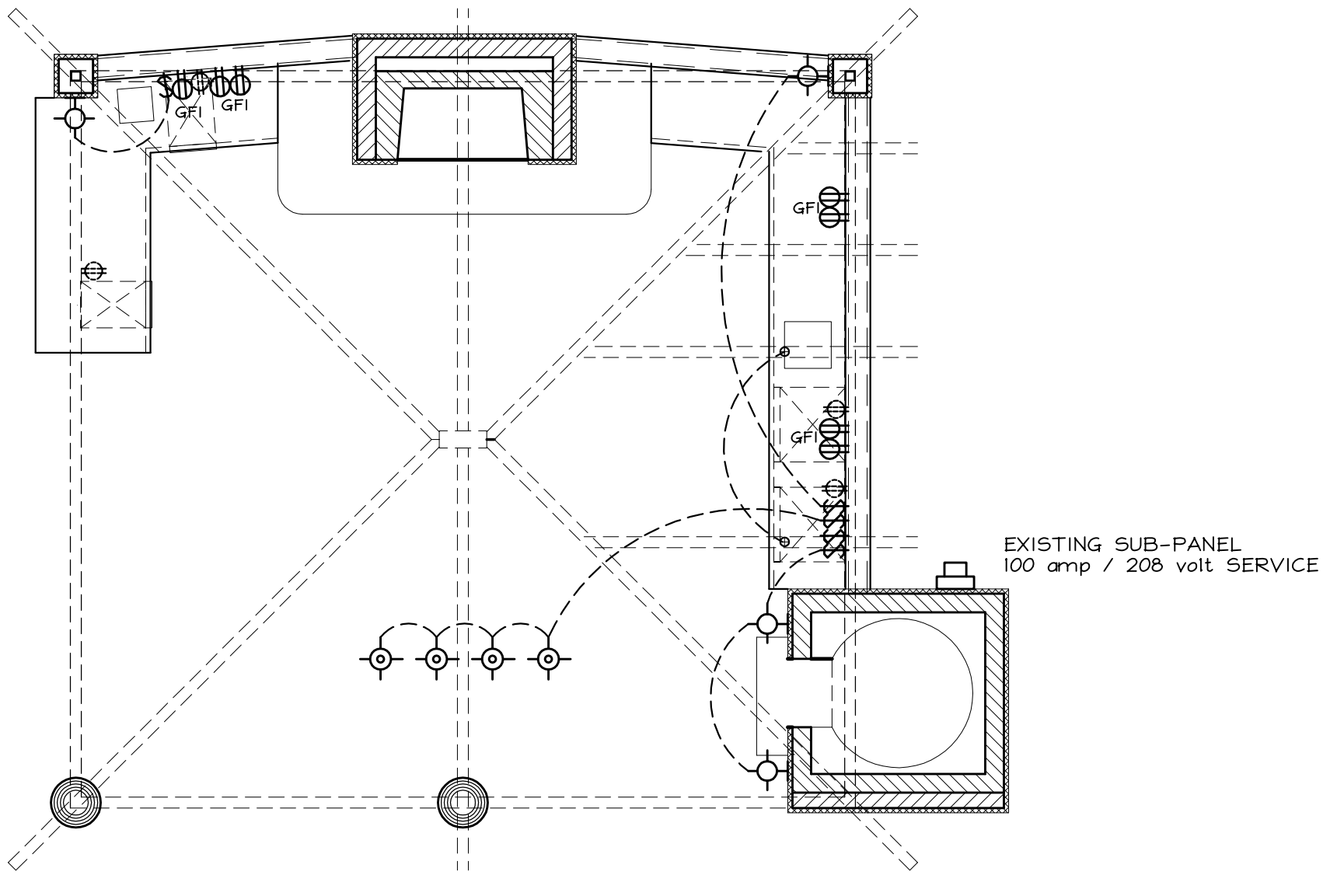
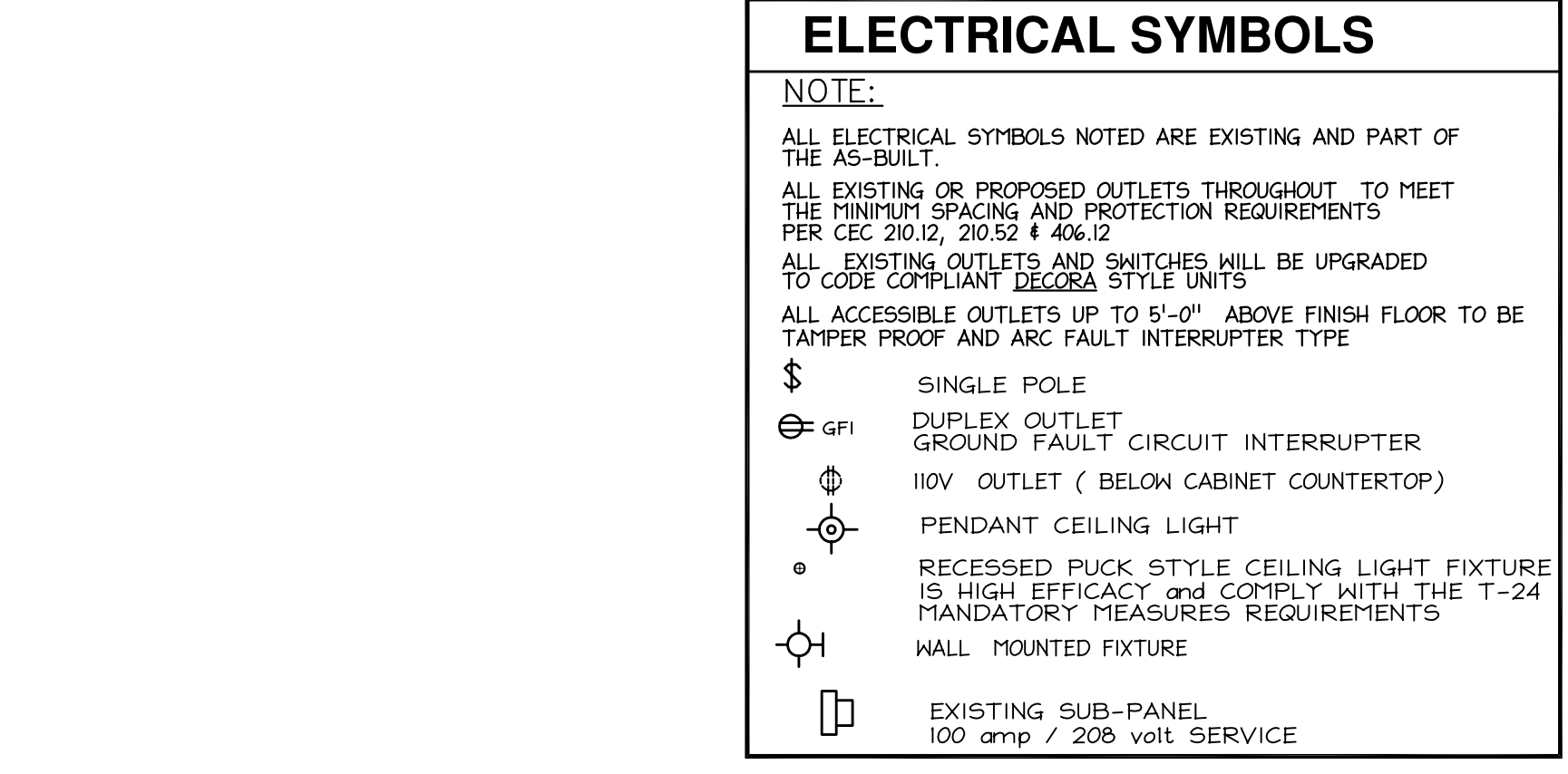
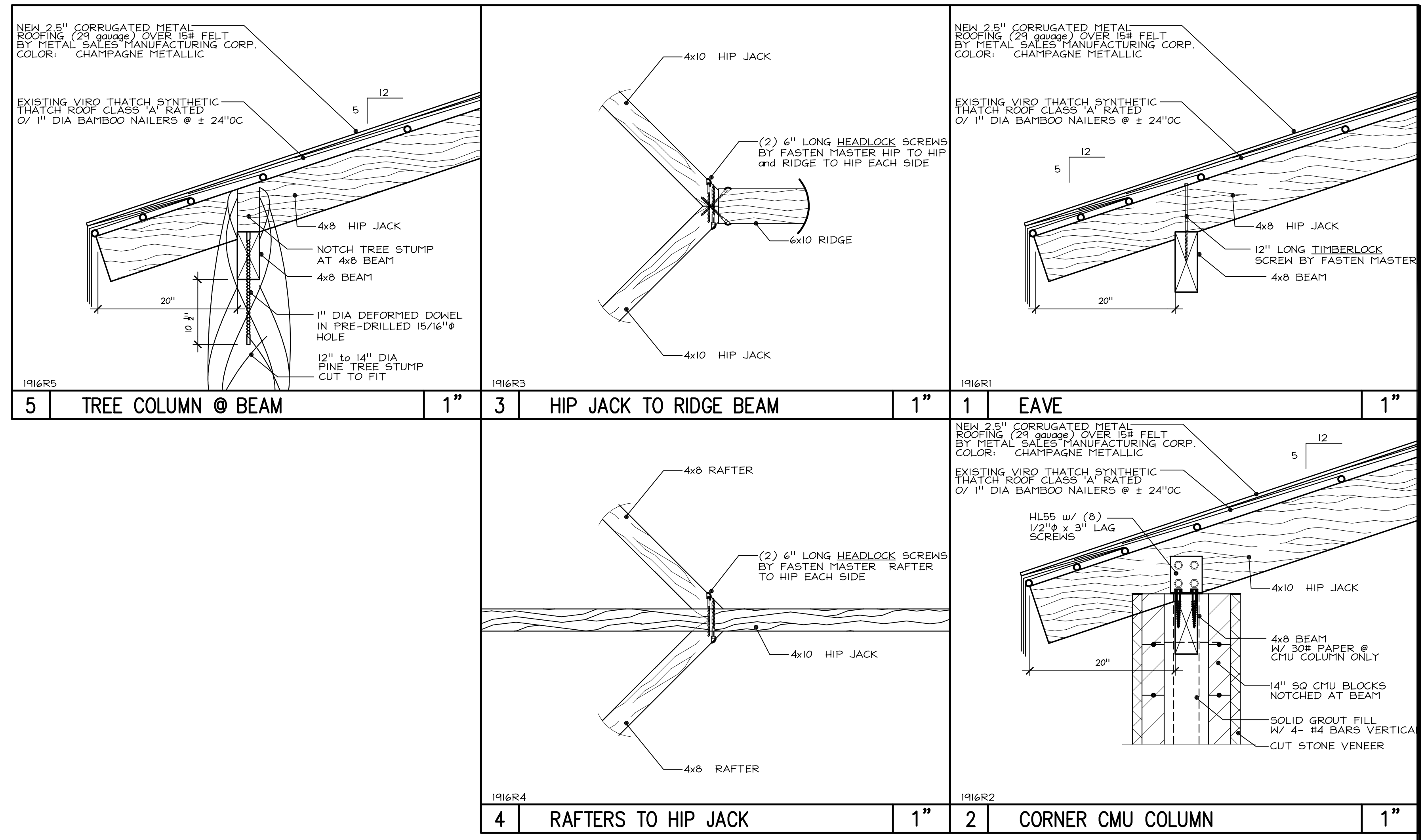


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These drawings are the instruments of service and are the property of The Fine Line. All designs and other information contained on these drawings are for use on the specified project and shall not be used on other projects, or for completion of this project, by others without the written permission and consent of The Fine Line nor are they to be assigned to any third party without said written permission and consent.



**AS-BUILT ROOF FRAMING PLAN** 1/4" = 1'-0"  
**AS-BUILT PALAPA/GAZEBO FOUNDATION, FRAMING & DETAILS** 1/4" = 1'-0"  
457 SQ. FT. GROSS 391 SQ. FT. NET

**The fine line**  
P.O. BOX 60505 SANTA BARBARA, CA 93160 Dale S Pelekare  
PHONE (805) 964-4625 thefineline@gmail.com

**ROBERT and JENNIFER CONROW**  
476 BRAEMAR RANCH LANE  
SANTA BARBARA, CALIFORNIA 93109

**AS-BUILT PALAPA/GAZEBO FOUNDATION, FRAMING & DETAILS**

**A1**

1916  
1-30-2020

© Dale S Pelekare





**F.A.R. Calculator**

Instructions: Enter the information in the white boxes below. The spreadsheet will calculate the proposed FAR (floor area ratio), the 100% max FAR (per the Zoning Ordinance), and the 85% max FAR (per the Zoning Ordinance). Additionally it will determine whether a FAR Modification is required.

The Net Lot Area does not include any Public Road Elements or Public Road Right-of-Way areas. The proposed TOTAL Net FAR Floor Area shall include the net floor area of all stories of all buildings, but may or may not include basement/floor area. For further clarification on these definitions please refer to SBMC 228.15.020.

ENTER Project Address:	476 BRAEMAR RANCH LANE
Is there a basement or cellar existing or proposed?	No
ENTER Proposed TOTAL Net FAR Floor Area (in sq. ft.):	3,762
ENTER Zone ONLY from drop-down list:	A-1
ENTER Net Lot Area (in sq. ft.):	55,365
Is the height of existing or proposed buildings 17 feet or greater?	Yes
Are existing or proposed buildings two stories or greater?	Yes
The FAR Requirements are:	GUIDELINE**
ENTER Average Slope of Lot:	12.00%
Does the height of existing or proposed buildings exceed 25 feet?	No
Is the site in the Hillside Design District?	No
Does the project include 500 or more cu. yds. of grading outside the main building footprint?	No
An FAR MOD is not required per SBMC 228.15	
FLOOR AREA RATIO (FAR):	0.068
Lot Size Range:	>= 20,000 sq. ft.
MAX FAR Calculation (in sq. ft.):	4,430 * (0.013 x lot size in sq. ft.)
100% MAX FAR:	0.093
100% MAX FAR (in sq. ft.):	5,150
85% of MAX FAR (in sq. ft.):	4,377
80% of MAX FAR (in sq. ft.):	4,120
The 3762 square foot proposed total is 74% of the MAX FAR.*	

\* NOTE: Percentage total is rounded up.  
\*\*NOTE: If your project is located on a site with multiple or overlay zones, please contact Planning Staff to confirm whether the FAR limitations are "Required" or "Guideline".

Acreage Conversion Calculator	
ENTER Acreage to Convert to square footage:	1.00
Net Lot Area (in sq. ft.):	43560

**PROJECT DIRECTORY**

PLANS PREPARED BY	THE FINE LINE DALE PEKAREK P O BOX 60505 SANTA BARBARA, CA. 93160 805 964-4625
OWNERS	ROBERT AND JENNIFER CONROW 476 BRAEMAR RANCH LANE SANTA BARBARA, CA 93109

**CODE COMPLIANCE**

- ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- CALIFORNIA BUILDING CODE 2019
  - CALIFORNIA RESIDENTIAL CODE 2019
  - CALIFORNIA MECHANICAL CODE 2019
  - CALIFORNIA PLUMBING CODE 2019
  - CALIFORNIA ELECTRIC CODE 2019
  - CALIFORNIA ENERGY CODE 2019
  - CALIFORNIA FIRE CODE 2019
  - SANTA BARBARA MUNICIPAL CODES AND ADOPTED AMENDMENTS IN CITY ORDINANCE 5780

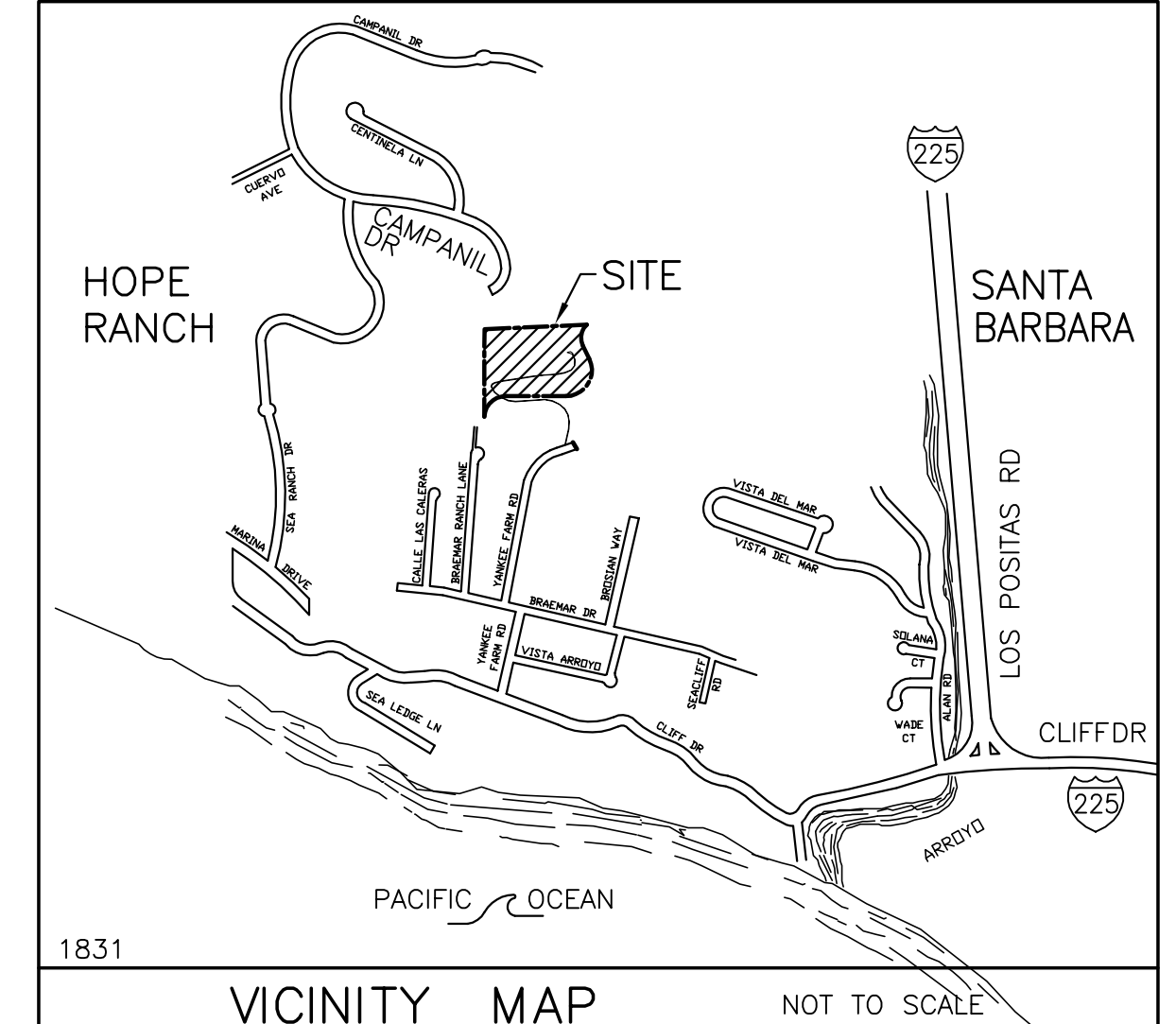
CONSTRUCTION WASTE MANAGEMENT REQUIREMENTS OF CRC R324.1 WILL BE MET. RECYCLE AND/OR SALVAGE FOR REUSE OF MINIMUM OF 50 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CGCB CHAPTER 4 DIVISION 4.4 (CAL GREEN CODE)

FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATINGS, AEROSOL PAINTS AND COATINGS SHALL MEET THE VOLATILE ORGANIC COMPOUND (VOC) EMISSION LIMITS IN ACCORDANCE WITH CGCB CHAPTER 4 DIVISION 4.5 (CAL GREEN CODE)

**WASTE MANAGEMENT**

AN APPROVED COUNTY SORTING/RECYCLING FACILITY MUST BE UTILIZED FOR CONSTRUCTION WASTE MANAGEMENT TO COMPLY WITH CONSTRUCTION WASTE REDUCTION DISPOSAL AND RECYCLING PROVISIONS OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.408.1

SORTING/RECYCLING FACILITY:  
MARLBOROUGH INDUSTRIES  
728 YANONALI STREET  
SANTA BARBARA, CA 93103  
805-963-1852



- SCOPE OF WORK**
- A- DRAWINGS TO LEGALIZE THE 'AS-BUILT' DETACHED 476 SQ.FT. (GROSS) PALAPA/GAZEBO WITH OUTDOOR FIREPLACE, KITCHEN AND PIZZA OVEN
  - B- THERE IS NO NEW SQUARE FOOTAGE TO THE EXISTING RESIDENCE
  - C- THE EXISTING GRADE AROUND THE HOUSE TO REMAIN THE SAME
  - D- PERMIT AS-BUILT ENTRY GATES AND MAN GATE AND 6' HIGH FENCE
  - E- PERMIT AS-BUILT FRONT FENCE > 42" WITH 10'-0" SETBACK
  - F- REQUEST ADMINISTRATIVE MINOR EXCEPTION (28.97.170.E)
  - F- WILL INCLUDE WAIVER REQUEST BY PUBLIC WORKS TRANSPORTATION

**SQUARE FOOTAGE**

GROSS	NET
3036 EXISTING RESIDENCE	2823
576 EXISTING GARAGE	548
3612 TOTAL	3371
457 PROPOSED 'AS-BUILT' PALAPA/GAZEBO	391

**PROPERTY INFORMATION**

PROJECT ADDRESS: 476 BRAEMAR RANCH LANE  
SANTA BARBARA, CA. 93109

APN: 047-030-042

LAND USE ZONE: A1/SD3 SBMC TITLE 28

GENERAL PLAN: MESA

COASTAL ZONE: APPEALABLE and NON-APPEALABLE

HIGH FIRE: YES

FLOOD ZONE: NO

LOT SIZE: 1,271 GROSS ACRES, 1,204 NET ACRES (55,364.76 SQ. FT. GROSS)

LOT SLOPE: 12% PER CITY'S GIS SYSTEM

TYPE OF CONSTRUCTION: V N V-NONRATED

OCCUPANCY TYPE: R-3/ U

PARKING: EXISTING TWO COVERED PARKING SPACES ± 16'-10"

BUILDING HEIGHT: CUT- 0 CU. YARDS  
FILL- 0 CU. YARDS

GRADING: CUT- 0 CU. YARDS  
FILL- 0 CU. YARDS

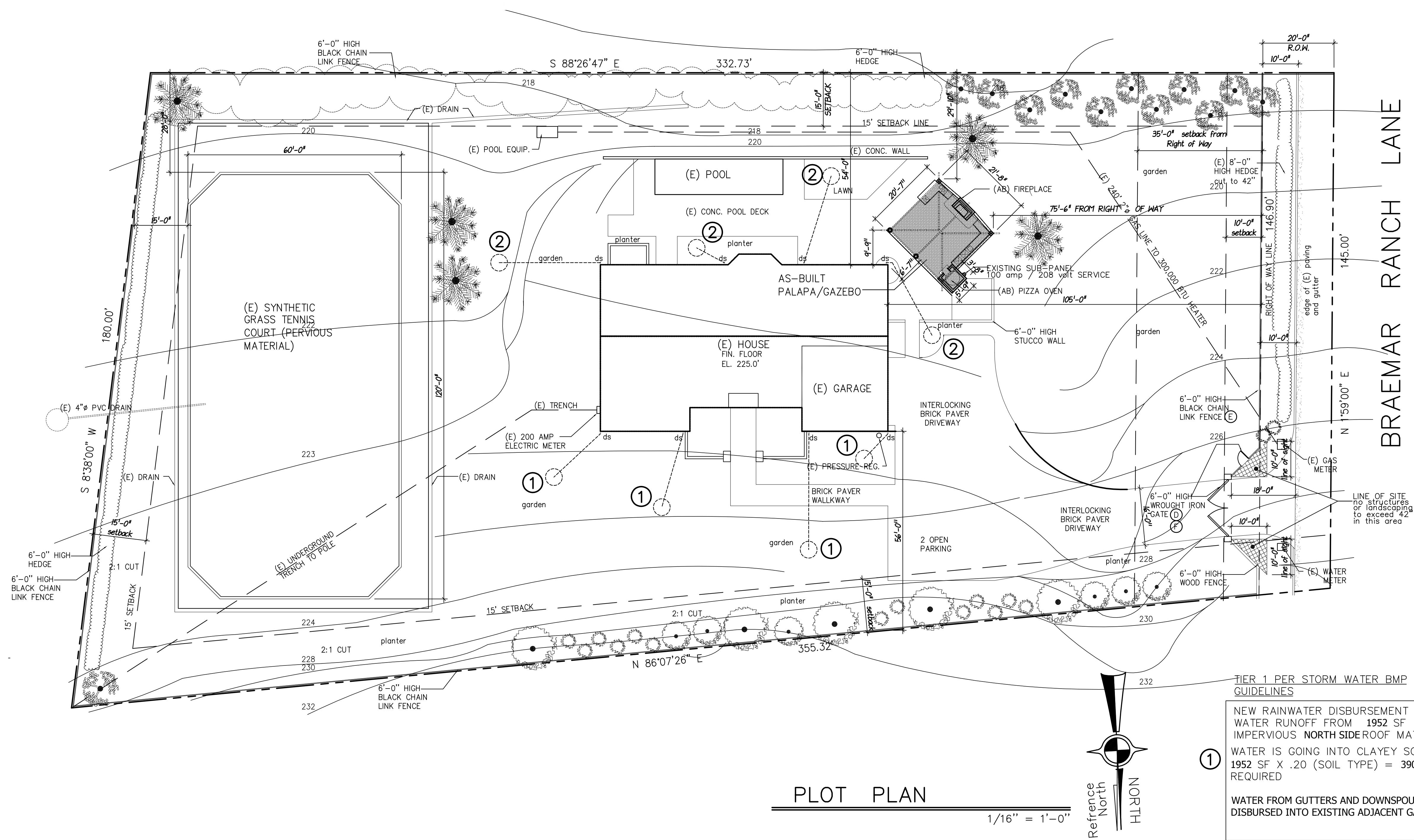
EXISTING COVERAGE:

(E) HOUSE/GARAGE and AS-BUILT GAZEBO	4069 SQ. FT.	7.35%
HARDSCAPE (PORCHES, PATIOS, WALKWAY DRIVEWAY and TENNIS COURT)	13,572 SQ. FT.	24.51%
LANDSCAPE	37,723.76 SQ. FT.	68.14%

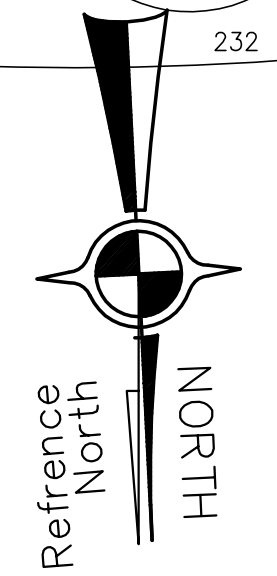
**SHEET INDEX**

- P SITE PLAN AND SITE STATISTICS
- A1 AS-BUILT PALAPA/GAZEBO FLOOR PLAN, ELECTRICAL PLAN, FOUNDATION PLAN, ROOF FRAMING PLAN and DETAILS
- A2 EXTERIOR ELEVATIONS, SECTION A-A

- TIER 1 PER STORM WATER BMP GUIDELINES**
- 1 NEW RAINWATER DISBURSEMENT AREA FOR WATER RUNOFF FROM 1952 SF IMPERVIOUS NORTH SIDEROOF MATERIAL. WATER IS GOING INTO CLAYEY SOIL 1952 SF X .20 (SOIL TYPE) = 390 SF REQUIRED
  - 2 NEW RAINWATER DISBURSEMENT AREA FOR WATER RUNOFF FROM 1659 SF IMPERVIOUS SOUTH SIDEROOF MATERIAL. WATER FROM GUTTERS AND DOWNSPOUTS TO BE DISBURSED INTO EXISTING ADJACENT GARDEN AREA



**PLOT PLAN**  
1/16" = 1'-0"



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**PLOT PLAN and SITE STATISTICS**

**P**  
 1916  
 1-30-2020