



PRESIDIO
SANTA BARBARA, CA

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SCOPE OF WORK

1. TO RESPOND TO A VIOLATION LETTER REF#2018-00282 RECEIVED BY THE SB CITY FIRE DEPARTMENT. SCOPE INCLUDES REPLACING (E) BUILDING WINDOWS WITH UNDOCS THAT MATCH OTHER (E) EXTERIOR WINDOWS, REPLACE (E) STUCCO FACES WITH (N) WOOD SIDING TO MATCH EXISTING, REPLACE INTERIOR DOUBLE DOORS WITH (N) INTERIOR WALL TO MATCH EXISTING.

2. PREPARE TO CONVERT THE BUILDING FROM COMMERCIAL OFFICE (E) OCCUPANCY TO SINGLE FAMILY RESIDENCE (R-3).

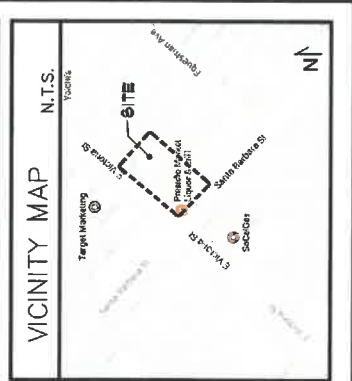
3. HISTORIC LANDMARKS COMMISSION FINAL APPROVAL AT HEARING ON SEPTEMBER 20, 2019 FOR BUILDING WINDOW REPLACEMENT.

4. PARKING LOT RESTRICTIONS, NEW TRASH ENCLOSURE PERMITTING, AND NEW PARKING LOT LANDSCAPING PER ELC APPROVAL RECOMMENDATIONS.

5. ADD SCREENS WHERE NEEDED, CONDITIONING UNITS, DISTANCE FROM PROPERTY LINE.

6. REQUESTED MOD FOR ALTERNATE OPEN YARD DESIGN

1. THE CONVERSION OF OFFICE TO SINGLE FAMILY RESIDENCE RESULTS IN A GRP CREDIT OF 3562 SF.



OWNER: BRION MAIDA
1236 SANTA BARBARA # 4
206 E VICTORIA STREET
SANTA BARBARA, CA 93101
APN # 093-027-091
C-G (1981C TITLE 360)
OCCUPANCY: M
SLOPE: 2%

PROJECT ADDRESS: 206 E VICTORIA STREET
SANTA BARBARA, CA 93101

PARCEL NUMBER: APN # 093-027-091

ZONE: C-G (1981C TITLE 360)

OCCUPANCY: M

OCCUPANCY CONVERSION: B TO R-3
(OFFICE TO SF RESIDENCE)

TYPE OF CONSTRUCTION: V

FIRE SPRINKLERS: NO

THIS PROJECT IS IN THE LOCAL RESPONSIBILITY AREA (LRA) AND IS IN A NON-VECT HIGH-FIRE HAZARD SEVERITY ZONE (NON-VF-HSZ).

SITE DATA
LOT SIZE • 12,600 SQ. FT. (75' x 168')
NO SETBACKS REQUIRED
NO SETBACKS REQUIRED

BLDG HEIGHTS
MAX BUILDING HEIGHT • 49'-0"

SUMP
SUMP REQUIRED: NO
TIER CLASSIFICATION: TIER 1
WE ARE REMOVING IMPERVIOUS SURFACES AND REPLACING WITH PERVIOUS LANDSCAPING. PARKING IS ONLY RESTRICTED.
TOTAL AREA IMPERVIOUS REMOVED: 486 SF.

REQUIRED NOTIFICATIONS & INSPECTIONS

FIRE DEPARTMENT:
1. STOP WORK IMMEDIATELY AND CONTACT THE CITY FIRE DEPT. IF ANY WORK IS DETECTED WHILE IMPLEMENTATION OF THE APPROVED WORKS AT THIS SITE. RESUMPTION OF WORK REQUIRES APPROVAL OF THE MFL.

BUILDING CODES
PLANS SHALL COMPLY WITH THE FOLLOWING CODES -
CALIFORNIA TITLE 24
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
2019 CALIFORNIA ENERGY CODE
2019 RESIDENTIAL ENERGY STANDARDS
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
CITY OF SANTA BARBARA ORDINANCES
8894C TITLE 39

BUILDING AREAS

DESCRIPTION	GROSS SQ. FT.	OCCUPANCY	CONVERSION	ADDRESS
(E) OFFICE BUILDING FIRST FLOOR TO RESIDENTIAL	1892 SQ. FT.	B	R-3	206 E VICTORIA AVE
(E) OFFICE BUILDING SECOND FLOOR TO RESIDENTIAL	1336 SQ. FT.	B	R-3	206 E VICTORIA AVE
(E) OFFICE TO RESIDENTIAL TOTAL	3,228 SQ. FT.			
(E) STORAGE BUILDING / BARN (SERVES RESIDENCE)	706 SQ. FT.	S	M	206 E VICTORIA AVE
(E) NEIGHBORHOOD MARKET	2,333 SQ. FT.	M		2316 SANTA BARBARA ST
(E) SITE TOTAL	6,191 SQ. FT.			

NO CHANGES MADE TO NET OR GROSS SQUARE FOOTAGE.
AREA OF REHABIL / RENOVATION • 36 SQ. FT.

CITY OF SANTA BARBARA
Community Development Department
Building & Safety Division
BUILDING CONSTRUCTION

February 27, 2019
1236 Santa Barbara #4
206 E Victoria Street
Santa Barbara, CA 93101
APN: 093-027-091

Dear Presidio (Maida),
Per the City of Santa Barbara Building & Safety Division, we have reviewed your application for a building permit for the conversion of an office building to residential use. The project is located at 206 E Victoria Street, Santa Barbara, CA 93101. The project consists of converting the first and second floors of the building to residential use. The project is subject to the following conditions:

1. The project must comply with all applicable building codes and standards, including the California Building Code, California Mechanical Code, California Electrical Code, California Green Building Standards Code, and California Energy Code.

2. The project must comply with all applicable local ordinances, including the City of Santa Barbara Ordinance 8894C Title 39.

3. The project must comply with all applicable fire and safety requirements, including the California Fire Code and California Fire Prevention Code.

4. The project must comply with all applicable accessibility requirements, including the California Building Code and California Accessibility Code.

5. The project must comply with all applicable environmental requirements, including the California Environmental Quality Act (CEQA) and the California Air Resources Act (CARB).

6. The project must comply with all applicable historic preservation requirements, including the California Historical Landmark Act and the California Historical Resources Act.

7. The project must comply with all applicable utility requirements, including the California Public Utilities Code and the California Electrical Code.

8. The project must comply with all applicable landscaping requirements, including the California Building Code and California Landscaping Code.

9. The project must comply with all applicable parking requirements, including the California Building Code and California Parking Code.

10. The project must comply with all applicable signage requirements, including the California Building Code and California Signage Code.

11. The project must comply with all applicable record keeping requirements, including the California Building Code and California Record Keeping Code.

12. The project must comply with all applicable reporting requirements, including the California Building Code and California Reporting Code.

13. The project must comply with all applicable monitoring requirements, including the California Building Code and California Monitoring Code.

14. The project must comply with all applicable enforcement requirements, including the California Building Code and California Enforcement Code.

15. The project must comply with all applicable dispute resolution requirements, including the California Building Code and California Dispute Resolution Code.

16. The project must comply with all applicable appeal requirements, including the California Building Code and California Appeal Code.

17. The project must comply with all applicable arbitration requirements, including the California Building Code and California Arbitration Code.

18. The project must comply with all applicable mediation requirements, including the California Building Code and California Mediation Code.

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100. The project must comply with all applicable dispute resolution requirements, including the California Building Code and California Dispute Resolution Code.

RECEIVED
CITY OF SANTA BARBARA
BUILDING & SAFETY DIVISION



PRESIDIO
 SANTA BARBARA, CA

ARCHIVED
 SITE PLAN

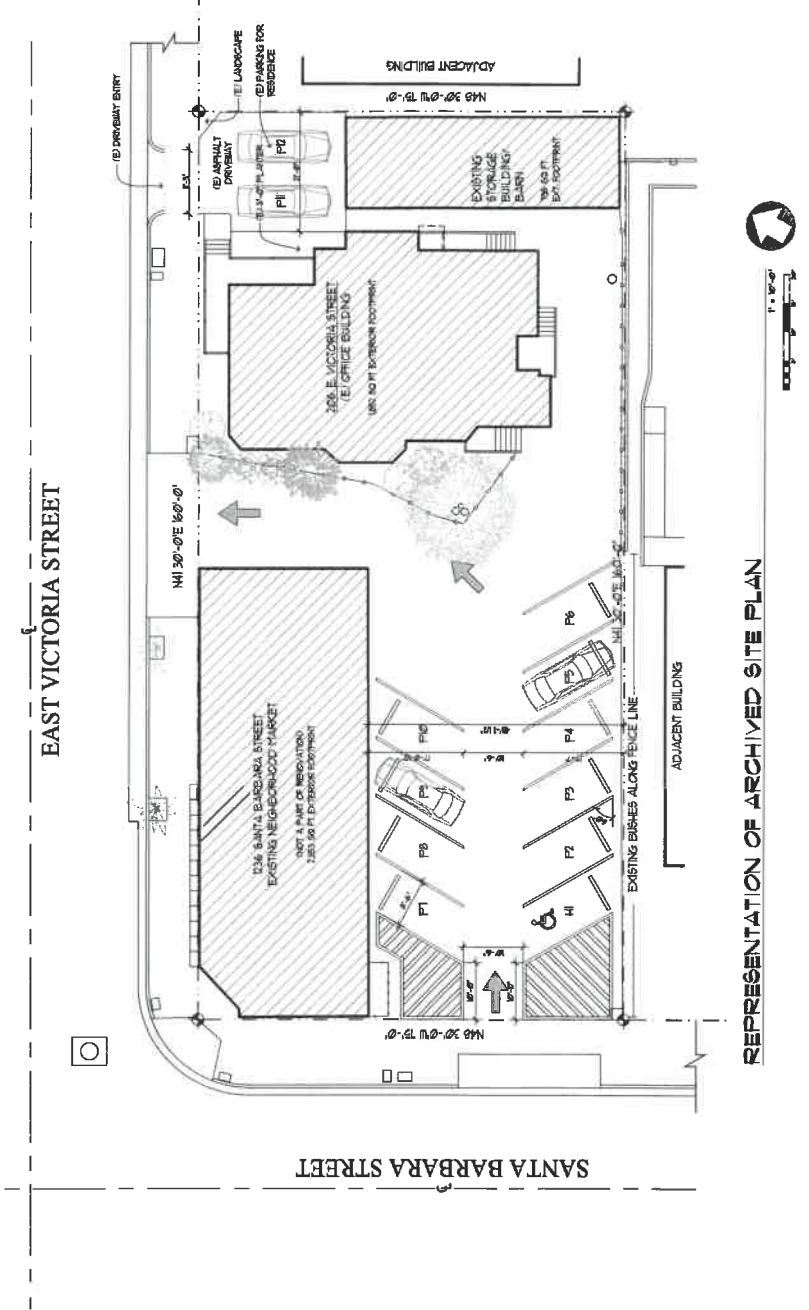
11/06/2019 NOT FOR CONSTRUCTION

11/06/2019
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AS.1

ARCHIVED PARKING PROVIDED:

- SPACES PROVIDED AT MARKET • 10 STANDARD SPACES
 NO ACCESSIBLE SPACES
- SPACES PROVIDED AT OFFICE • 2 STANDARD SPACES (UNCOVERED)
 NO ACCESSIBLE SPACES
- SPACES TOTAL PROVIDED • 12 STANDARD SPACES (UNCOVERED)





PRESIDIO
 SANTA BARBARA, CA

AS-BUILT SITE PLAN

DATE: 11/06/2019
 TIME: 3:31:17 PM

AS.2

AS-BUILT PARKING PROVIDED:

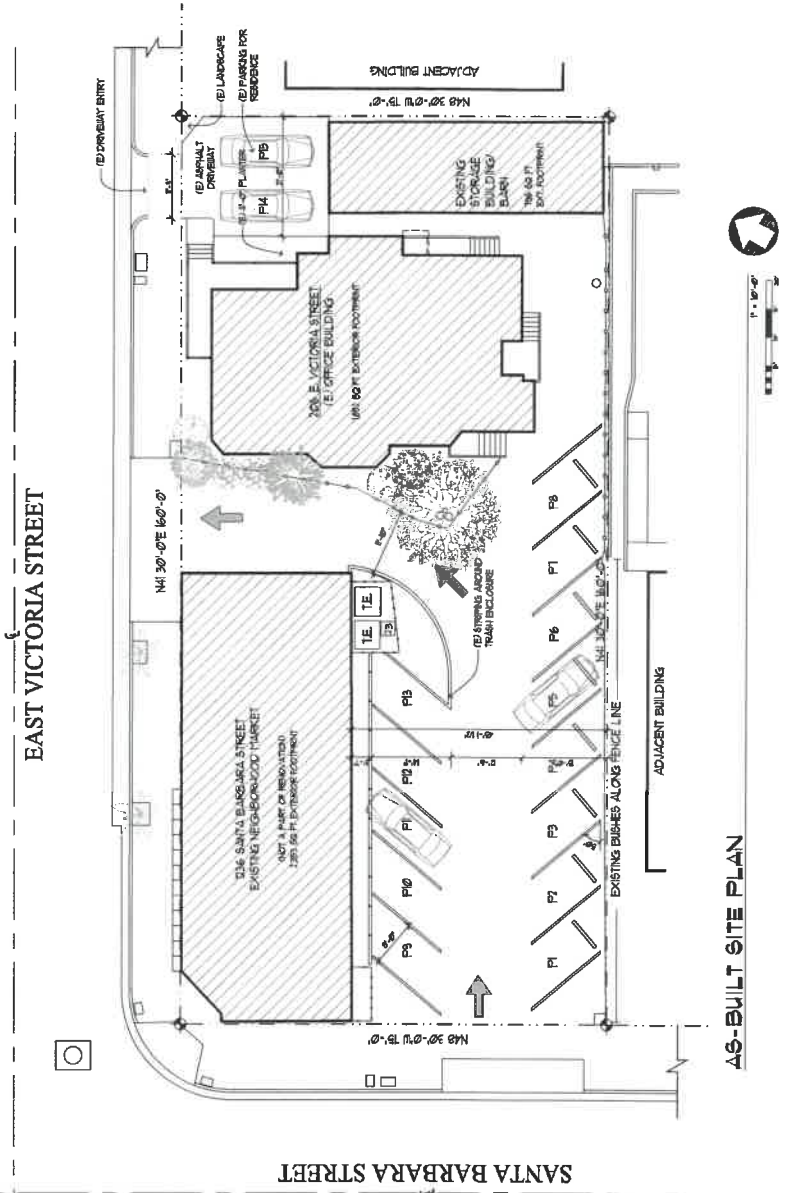
SPACES PROVIDED AT MARKET *

- B STANDARD SPACES
- NO ACCESSIBLE SPACES

SPACES PROVIDED AT OFFICE *

- 3 STANDARD SPACES (UNCOVERED)
- B STANDARD SPACES (UNCOVERED)

SPACES TOTAL PROVIDED *



AS-BUILT SITE PLAN



PRESIDIO
SANTA BARBARA, CA

PREPARED SITE PLAN
DATE: 11/06/2019
BY: [Signature]
AS.3

DATE: 11/06/2019
BY: [Signature]

11/06/2019 NOT FOR CONSTRUCTION

INITIAL MOD SUBMITTAL

PARKING REQUIRED:
SPACES REQUIRED FOR MARKET - 1 SPACES / 500 SQ. FT.
2355 SQ. FT. / 4690 SQ. FT.
5 SPACES
1 SPACE TO BE HANDICAP
18 SPACES
SPACES REQUIRED FOR RESIDENCE - 6 STANDARD SPACES
1 HANDICAP SPACE
TOTAL REQUIRED SPACES - 23

ALTERNATE PROPOSED PARKING PROVIDED:
SPACES PROVIDED AT MARKET - 5 STANDARD SPACES
1 HANDICAP SPACE
SPACES PROVIDED AT RESIDENCE - 2 STANDARD SPACES (UNCOVERED)
1 HANDICAP SPACE
SPACES TOTAL PROVIDED - 8

NOTE: CITY OF SANTA BARBARA TITLE NO. DIVISION III, CITY CODE REGULATIONS
SECTION 201353(B)(3)(C) - CENTRAL BUSINESS DISTRICT (CBD)
C. MEDIUM-DENSITY DEVELOPMENT, THE RESIDENTIAL PARKING REQUIREMENT
FOR THIS ZONING DISTRICT IS 1 SPACE PER 1000 SQ. FT. OF GROSS FLOOR
AREA. AUTOMOBILE PARKING SPACES PER RESIDENTIAL UNIT, AND GUEST
PARKING IS NOT REQUIRED.

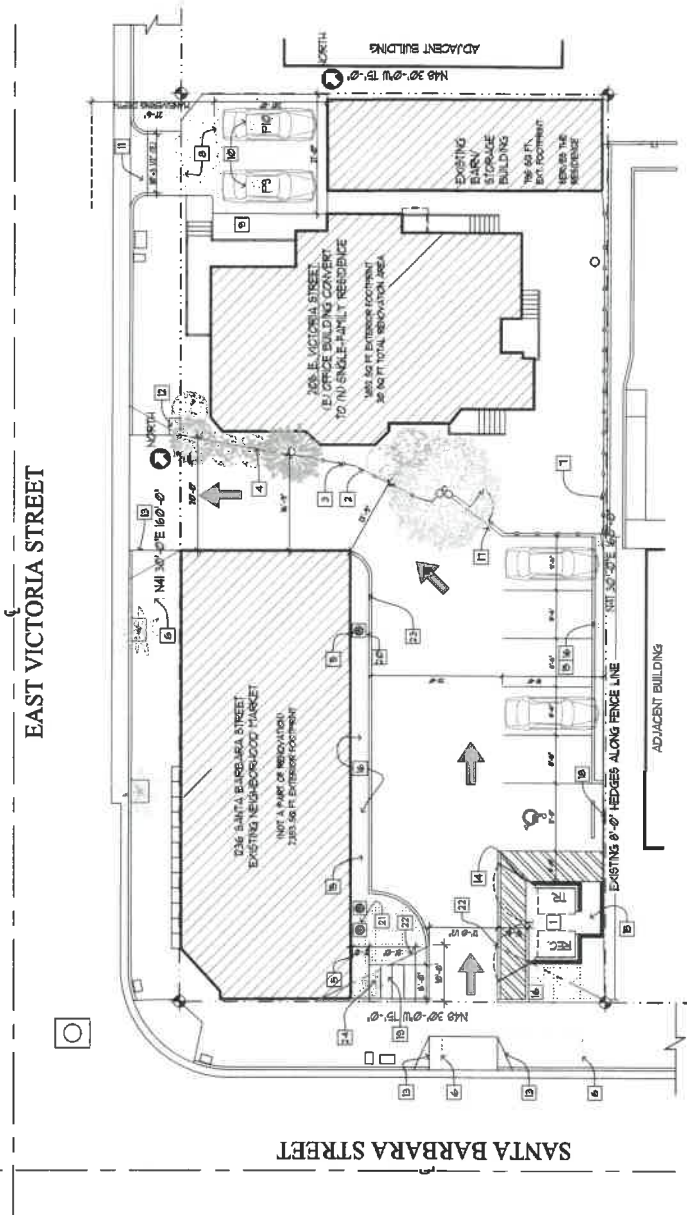
- 16. (E) PARKING FOR RESIDENCE
- 17. (E) DRIVEWAY ENTRY.
- 18. (E) WATER METER.
- 19. NO CURB CUT AT DRIVEWAY ENTRY.
- 20. ACCESSIBLE STAIRS AND ROUTE TO STREET ON.
- 21. NO LANDSCAPE PLANTER WITH TYPICAL 4" CURB.
- 22. NO LOW GROUND COVER IN PLANTER FOR LOW MAINTENANCE AND LOW WATER USE TYPICAL.
- 23. NO 4'-0" WOOD FENCE WITH 4'-0" TROUSSEAN GATE.
- 24. NO ACCESSIBLE PARKING SIGN.
- 25. NO BICYCLE PARKING (4 SPACES BACK BY PEAK RACKS).
- 26. NO LANDSCAPE SCREENING FOR AD-BUILT CONDENSER UNIT.
- 27. RELOCATE CONDENSER TO 10'-0" FROM FRONT LINE (REMOVE N.E. CORNER).
- 28. VISIBILITY TRIANGLE.
- 29. (E) UNPARKED TRAILER INCLUDING (TRAILER)
- 30. REMOVE (E) SHED STRUCTURE.

BICYCLE PARKING:
SPACES REQUIRED FOR MARKET - 4 SPACES
TOTAL SPACES PROVIDED - 4 SPACES

PROPOSED SITE PLAN NOTES:

- 1. INDICATES SITE PLAN NOTE
- 2. PROPOSED TRAILER INCLUDING ACCESS WALLS SHALL BE 8'-0" HIGH WITH SMOOTH FINISH TOP SURFACE AND 1'-0" CLEARANCE FROM CURB. ACCESS GATE WITH 3" CLEARANCE OF ALL HARDWARE FROM CURB.
- 3. (E) 3'-4" WOOD FENCE WITH 4'-0" TROUSSEAN GATE.
- 4. (E) 3'-4" WOOD FENCE WITH 4'-0" TROUSSEAN GATE.
- 5. (E) 3'-4" WOOD FENCE WITH 4'-0" TROUSSEAN GATE.
- 6. (E) 3'-4" WOOD FENCE WITH 4'-0" TROUSSEAN GATE.
- 7. (E) 3'-4" WOOD FENCE WITH 4'-0" TROUSSEAN GATE.
- 8. (E) 3'-4" WOOD FENCE WITH 4'-0" TROUSSEAN GATE.
- 9. (E) 3'-4" WOOD FENCE WITH 4'-0" TROUSSEAN GATE.

SEPERATES LANDSCAPED PARKING AREA
TOTAL ADDED LANDSCAPED AREA 450 SQ. FT.



PROPOSED SITE PLAN

330 EAST CANYON PERKINS, SUITE A
SANTA BARBARA, CA 93101
805.962.6375

ARCHITECTS

CARL SCHNEIDER, AIA



PRESIDIO
SANTA BARBARA, CA

OPEN YARD
REVISION
DATE

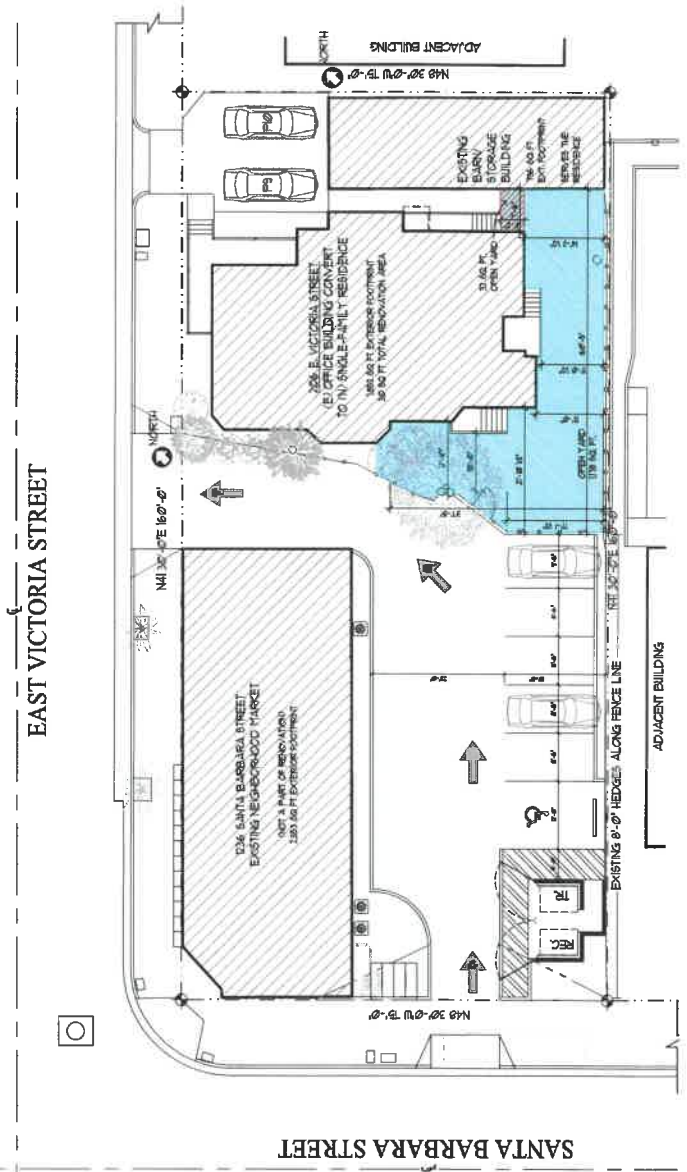
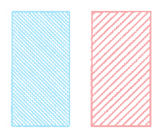
10/15/2019
10/22/2019

AS.4

REQUESTING OPEN YARD MOD:

- OPEN YARD REQUIRED • 0/2000 SF, NET X 8'4" X 1000
- MIXED-USE OPEN YARD REQUIREMENTS • 100 SF X 10' MIN. SET BACK FOR OPEN YARD REQUIREMENT
- OPEN YARD PROVIDED • 1200 SF (6% OF REQUIRED OPEN YARD)

- REPRESENTS EXISTING OPEN YARD AREA
- REPRESENTS EXISTING OPEN YARD THAT DOES NOT MEET REQUIRED OPENING
- 7'-4" X 4'-2" = 31 SF
- 1200 - 31 = 1169 SF CORRECTING



PROPOSED OPEN YARD MODIFICATION EXHIBIT

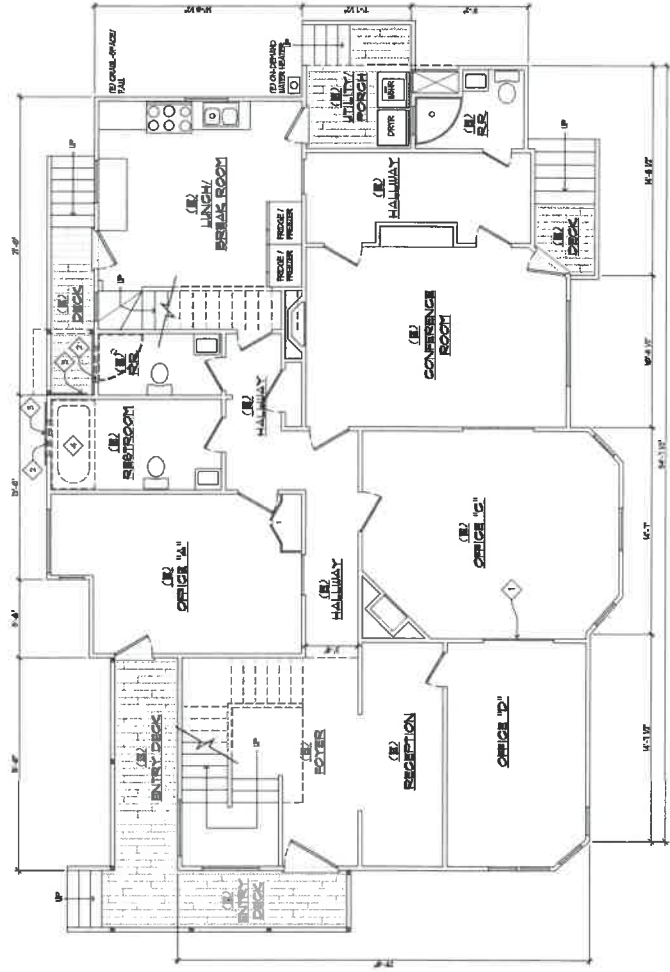


PRESIDIO
 SANTA BARBARA, CA

DATE: 11/06/2019
 PROJECT: 19062019T
 SHEET: A-1

DEMOLITION FLOOR PLAN NOTES:

- ◆ INDICATES FLOOR PLAN NOTE
- 1. PRESERVE (E) 5066 DOUBLE DOOR
- 2. REMOVE (E) 26208 BUILDING WINDOWS
- 3. REMOVE (E) STUCCO EXTERIOR
- 4. REMOVE (E) SHOWER/TUB CORNER



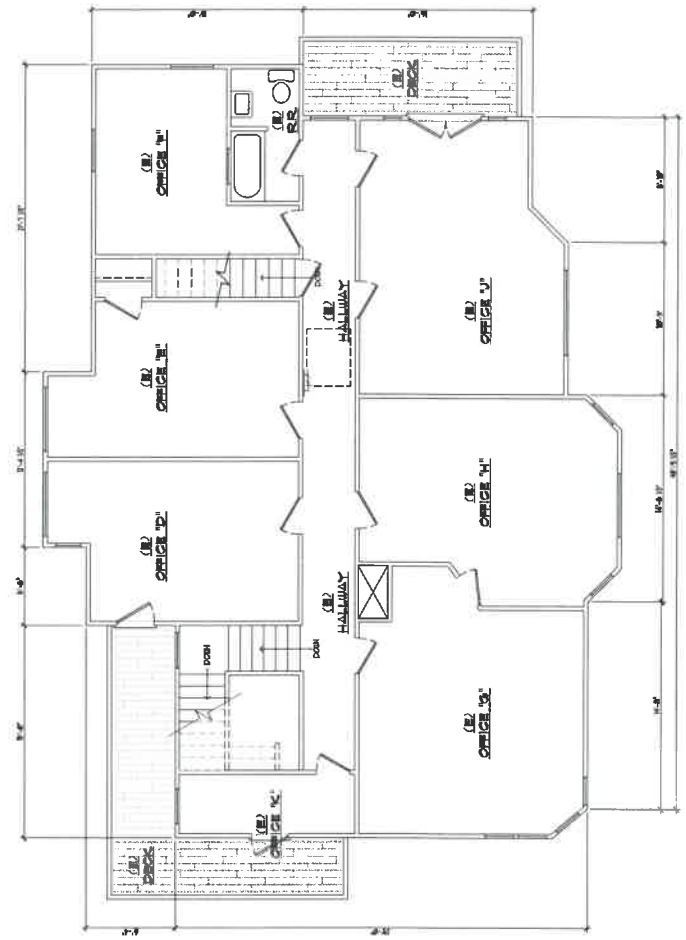
DEMO FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 5' 10' 15' 20'

330 EAST CANYON PRESIDIO, SUITE A
 SANTA BARBARA, CA 93101
 805.962.6575
PSH ARCHITECTS
 CARL SCHNEIDER, AIA



PRESIDIO
 SANTA BARBARA, CA

EXISTING FLOOR PLAN
 11/06/2019
A-2



EXISTING SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 5' 10' 15' 20'



PRESIDIO
 SANTA BARBARA, CA

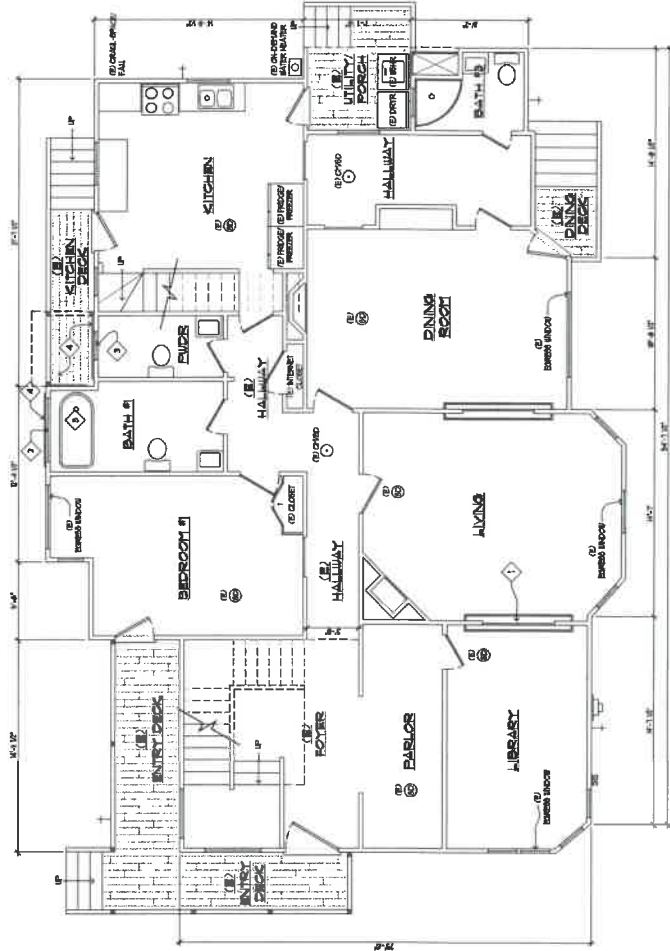
PROPOSED FIRST FLOOR PLAN

NO. 101000	NO. 102000
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A-3

PROPOSED FLOOR PLAN NOTES:

- ◇ INDICATES FLOOR PLAN NOTE
 - 1. (N) RURRED WALL TO PRESERVE (E) DOUBLE DOOR
 - 2. REPLACE (E) 2620 SLIDING WINDOW WITH (N) 4666 WOOD DOUBLE-HUNG SLIDING 8/8M WINDOW WITH DECORATIVE FINISH TO MATCH EXISTING. ADD FROSTED GLASS FOR PRIVACY.
 - 3. REPLACE (E) 7620 SLIDING WINDOW WITH (N) 2666 WOOD DOUBLE-HUNG SLIDING 8/8M WINDOW WITH DECORATIVE FINISH TO MATCH EXISTING. ADD FROSTED GLASS FOR PRIVACY.
 - 4. REPLACE (E) EXTERIOR STUCCO WITH WOOD SIDING TO MATCH EXISTING (SEE EXTERIOR ELEVATIONS, B17, A8).
 - 5. NO FREE STANDING TUB. NEW TUB SHALL COMPLY WITH CODE BS 1700. NEW TUB SHALL BE (N) 600X600S SHALL HAVE A MAX FLOW RATE OF 2.0 GPM.
- NOTE: ALL NEW GLAZING WILL HAVE A THERMOPAN U-FACTOR OF .32 AND A MAXIMUM SHGC OF .25.



PROPOSED FIRST FLOOR PLAN

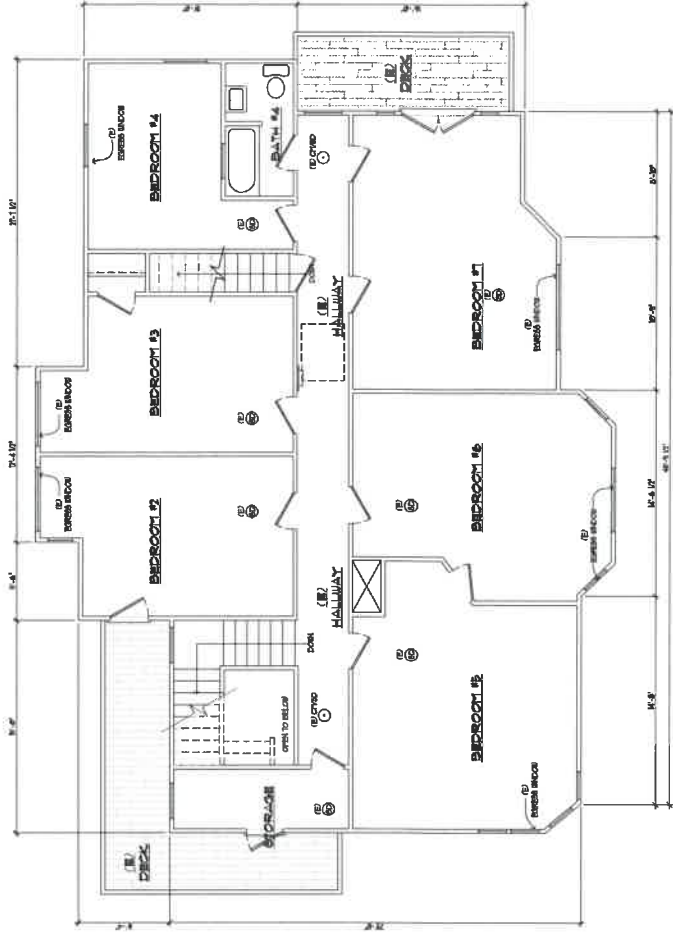


330 EAST CANYON PRESIDIO, SUITE A
 SANTA BARBARA, CA 93101
 805.962.6375
PSH ARCHITECTS
 CARL SCHNEIDER, AIA



PRESIDIO
 SANTA BARBARA, CA

PROPOSED SECOND FLOOR PLAN
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A.4



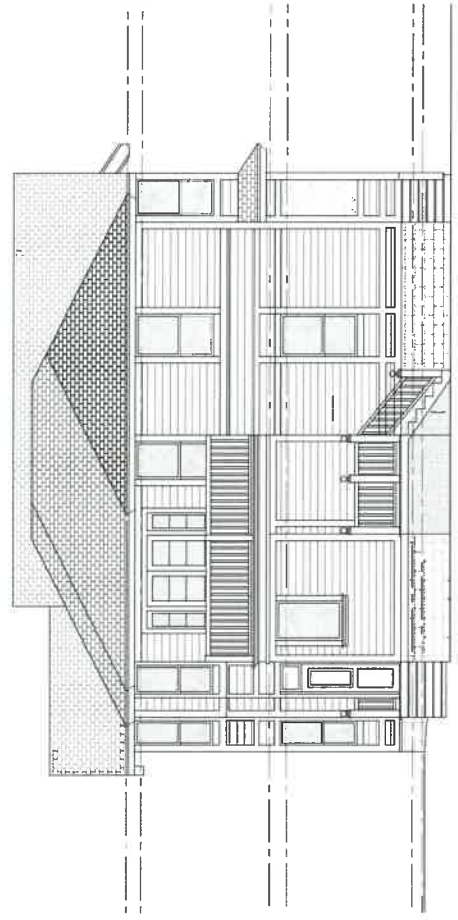
PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 5' 10' 15' 20'

330 EAST CANYON PRESIDIO, SUITE A
 SANTA BARBARA, CA 93101
 805.962.4575
CSA ARCHITECTS
 CARL SCHNEIDER, AIA

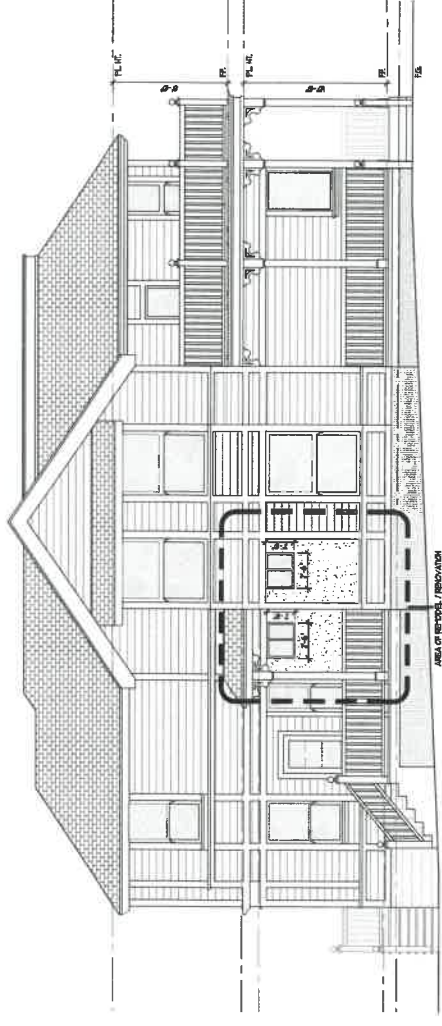


PRESIDIO
 SANTA BARBARA, CA

EXISTING NORTH ELEVATION
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A-5



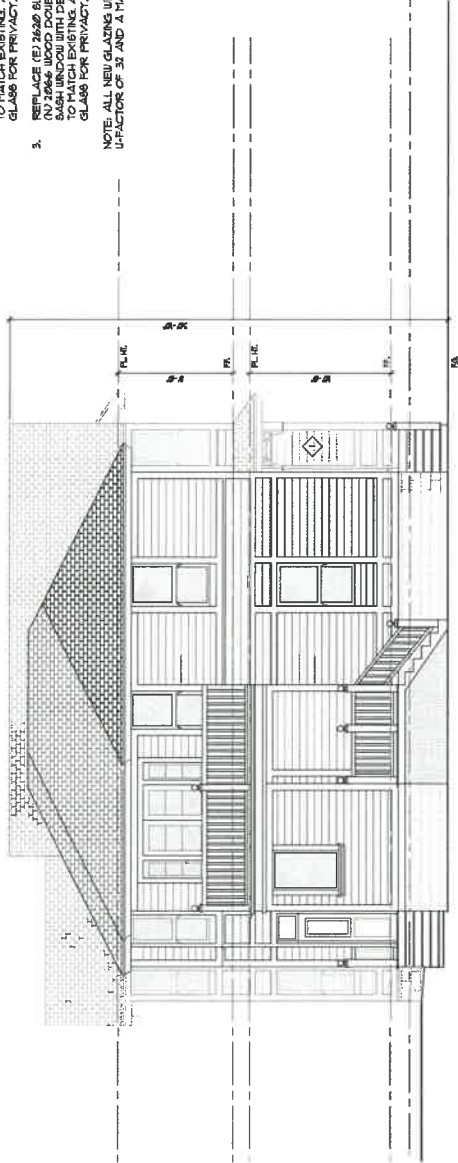
EXISTING EAST ELEVATION



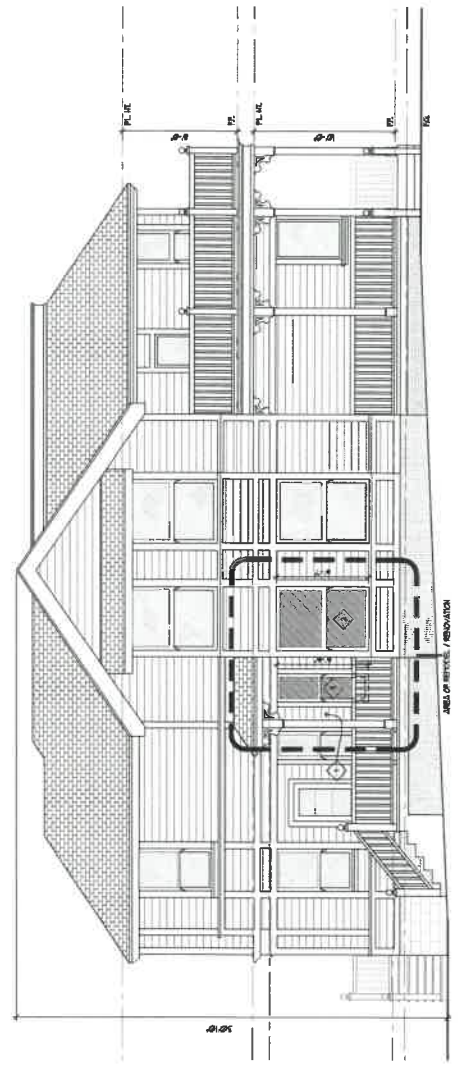
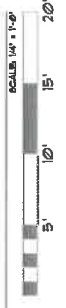
EXISTING NORTH ELEVATION

ELEVATION NOTES:

- ◆ INDICATES ELEVATION NOTE
 - 1. REPLACE (E) STUCCO FINISH WITH (N) WOOD SIDING TO MATCH EXISTING.
 - 2. REPLACE (E) 2626 SLIDER WINDOW WITH (N) 4666 WOOD DOUBLE-HANG SLIDING WINDOW WITH DECORATIVE MORNINGS TO MATCH EXISTING. ADD PROTECTED GLASS FOR PRIVACY.
 - 3. REPLACE (E) 8408 ALDER WINDOW WITH (N) 2644 WOOD DOUBLE-HANG SLIDING WINDOW WITH DECORATIVE MORNINGS TO MATCH EXISTING. ADD PROTECTED GLASS FOR PRIVACY.
- NOTE: ALL NEW GLAZINGS WILL HAVE A MAXIMUM U-FACTOR OF .31 AND A MAXIMUM SHGC OF .25.



PROPOSED EAST ELEVATION



PROPOSED NORTH ELEVATION



300 EAST CANYON PRESIDIO, SUITE A
 SANTA BARBARA, CA 93101
 805.962.4575
ARCHITECTS
 CARL SCHNEIDER, AIA



PRESIDIO
 SANTA BARBARA, CA

A.6

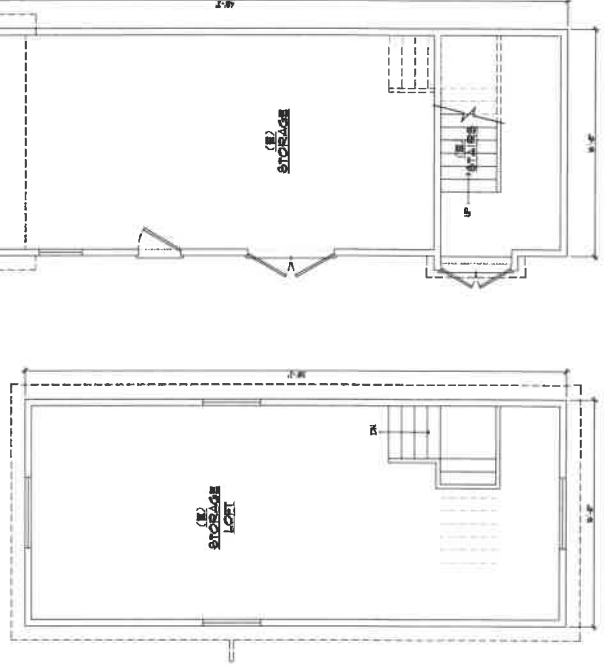
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EXISTING STORAGE BLDG / BARN FIRST AND SECOND FLOOR PLANS

REVISE THE RESIDENTIAL UNIT AND CHANGES PROPOSED



A.7

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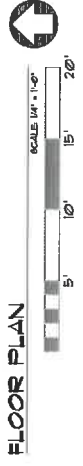
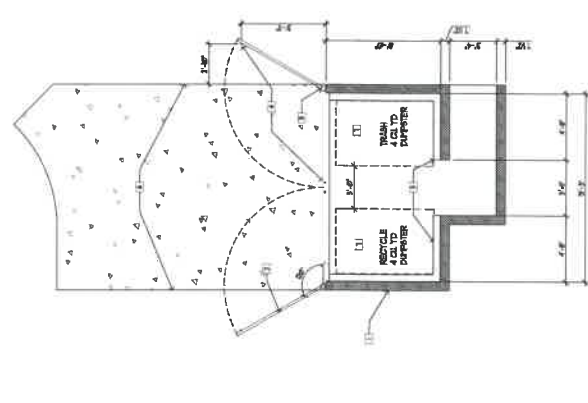
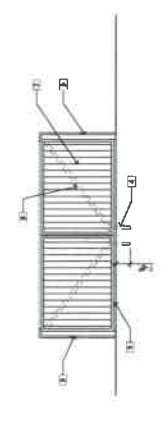
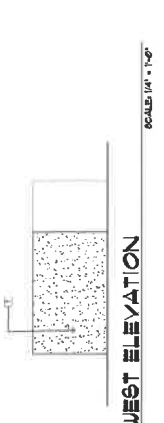
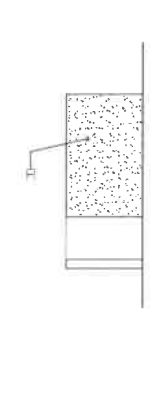
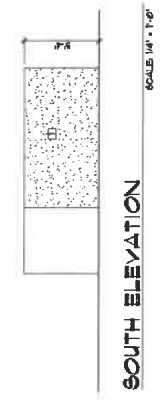


EXISTING STORAGE BLDG FLOOR PLAN

PRESIDIO
SANTA BARBARA, CA



CSH ARCHITECTS
CARL SCHNEIDER, AIA
330 EAST CANYON PRESIDIO, SUITE A
SANTA BARBARA, CA 93101
805.962.6575



- TRASH ENCLOSURE NOTES:**
- 234 80 SF OF CONCRETE FLOOR
 - 2303 X 80078 OUTWARD FT. - 648 COL TO
 - 508 TRASH - 338 COL TO, 4 COL TO
 - 508 RECYCLE - 348 COL TO, 4 COL TO
 - 4 COL TO DUMPSTER EACH
 - RESIDUAL OF PICK UP - 1 PIER W/ECB
- PLAN AND ELEVATION NOTES:**
- 8" CMU WALL WITH STUCCO TEXTURED TO MATCH BLDG
 - 3" W/8" W/8" 1/2" X 2" STEEL ANGLE FRAMED GATE WITH 2" X 6"
 - 3" W/8" W/8" 1/2" X 2" STEEL ANGLE FRAMED GATE WITH 2" X 6"
 - 3" W/8" W/8" 1/2" X 2" STEEL ANGLE FRAMED GATE WITH 2" X 6"
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CARL SCHNEIDER, AIA
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 805.962.6575
 330 EAST CANYON PRESIDIO, SUITE A
 SANTA BARBARA, CA 93101

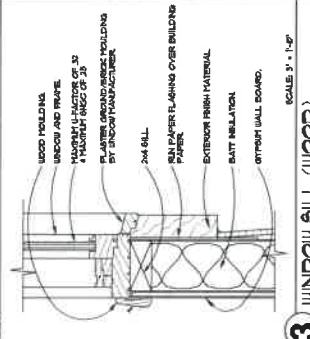
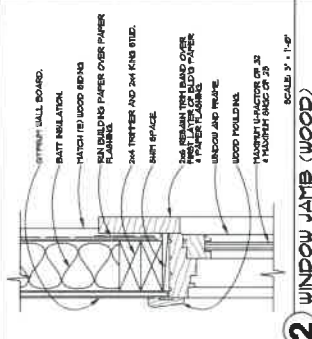
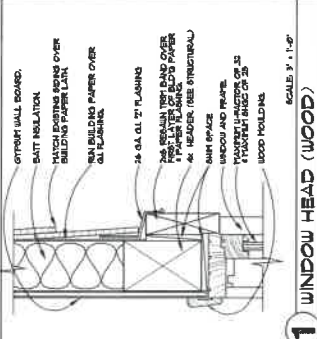


PRESIDIO
 SANTA BARBARA, CA

ARCHITECTURAL
 DETAILS

D.1

11/06/2019
 10:50:08



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