



City of Santa Barbara California

STAFF HEARING OFFICER STAFF REPORT

REPORT DATE: February 27, 2014
AGENDA DATE: March 5, 2014
PROJECT ADDRESS: 2948 Ventura Drive (MST2014-00022)
TO: Susan Reardon, Senior Planner, Staff Hearing Officer
FROM: Planning Division, (805) 564-5470
 Danny Kato, Senior Planner *DK*
 Jo Anne La Conte, Assistant Planner *JAL*

I. PROJECT DESCRIPTION

The 5,000 square-foot site is currently developed with a 992 square foot, one-story residence and a detached 398 square foot two-car garage. The proposed project involves demolition of the existing front and rear porches and the construction of a 35 square foot addition, a 131 square foot front entry porch with new entry steps, a 248 square foot rear trellis, an increase to the height of a portion of the roof on the east side of the dwelling, new windows, doors, skylights and exterior alterations to the dwelling. The discretionary applications required for this project are:

1. A Front Setback Modification to allow new steps to be located within the required 20-foot front setback (SBMC § 28.15.060 and SBMC § 28.92.110); and
2. An Interior Setback Modification to allow an addition, and alterations, including an increase in roof pitch and new windows in the six-foot interior setback at the east side of the property (SBMC § 28.15.060 & SBMC § 28.92.110).

Date Application Accepted: February 3, 2014 Date Action Required: May 4, 2014

II. RECOMMENDATION

Staff recommends that the Staff Hearing Officer approve the project, subject to conditions.

III. SITE INFORMATION AND PROJECT STATISTICS

A. SITE INFORMATION

Applicant:	Amy Taylor, Architect	Property Owner:	Leah and Don Fineburg
Parcel Number:	053-291-041	Lot Area:	5,000 sq. ft.
General Plan:	Low Density Residential 5 du/acre	Zoning:	E-3
Existing Use:	Single Family Residence	Topography:	3% slope

B. PROJECT STATISTICS

	Existing	Proposed
Living Area	992 sq. ft.	+35 = 1,027 sq. ft.
Garage	398 sq. ft.	No change

C. PROPOSED LOT AREA COVERAGE

Building: 1,516 s.f. 30.3% Hardscape: 1,474 s.f. 29.5% Landscape: 2,010 s.f. 40.2%

IV. ZONING ORDINANCE CONSISTENCY

Standard	Requirement/ Allowance	Existing	Proposed
Setbacks			
- Front	20 ft.	Approx. 25 ft.	Approx. 16 ft.
- Interior			(steps)*
House – East	6 ft.	5 ft	No Change*
House – West	6 ft.	9 ft	No Change
Garage	6 ft.	1 ft	
- Rear	6 ft.	2 ft. (garage)	
Building Height	30 ft.	Approx. 15 ft.	16 ft. 9 inches
Parking	2 covered	2 covered	No Change
Open Yard	1,250 sq. ft.	1,243 sq. ft.	No Change

*Modification requested

V. DISCUSSION

The proposal consists of an addition and alterations to the existing residence that will result in a net increase of 35 square feet of floor area, including an increase in roof pitch on the east side of the dwelling and new windows and doors. The existing residence is legally non-conforming to the six-foot interior setback at the east side of the property. The project as proposed is exempt from Design Review requirements and will result in a 1,027 net square foot, one-story residence with a detached two-car garage.

The Front Setback Modification is requested to allow new 60” wide entry steps leading to the front porch to be located within the required front setback. The proposed steps are located approximately 16’ from the front property line, and are two feet wider and encroach one foot closer to the front property line than allowed by the Zoning Ordinance. Staff supports the requested Modification because the steps are an unenclosed element, and are not anticipated to adversely impact the adjacent neighbors or the visual openness of the public street frontage.

The Interior Setback Modification is requested to allow the proposed addition, including an increased roof height and new and relocated windows on the nonconforming portion of the dwelling within the interior setback. The dwelling is legally non-conforming to the east interior setback at five feet. The proposed roof height increase is approximately one foot nine

inches higher to accommodate a new cathedral ceiling, and approximately two feet of the proposed 35 foot front addition will encroach into the interior setback, in line with the existing development on site. The window changes will result in two new windows (approximately 2 ½ ft. by 2 ft. each) and two relocated windows of the same size. Staff regularly advises applicants to eliminate or minimize new openings within required setbacks that may cause privacy, noise, or light impacts on adjacent neighbors. However, in this instance, the two new high windows are not likely to create privacy issues and the relocated windows will remain the same size. The new windows will allow for additional light into the dwelling and the increase in roof height for the cathedral ceiling will add spaciousness to the modest home. Staff supports the requested modification, and finds that the minor addition, increase in roof height, and window changes within the setback are appropriate improvements to a single family residence and are not anticipated to adversely impact the adjacent neighbor to the east.

A Zoning Information Report prepared in 2013 noted zoning code violations for over-height hedges along the interior property line within ten feet and for a water softener in the interior setback. Therefore, staff has included a condition that all hedges on site shall conform to the SBMC and that the water softener shall be removed from the interior setback.

VI. FINDINGS AND CONDITIONS

The Staff Hearing Officer finds that the front setback Modification is consistent with the purposes and intent of the Zoning Ordinance and is necessary to secure an appropriate improvement on the lot, because the steps are not anticipated to adversely impact the adjacent neighbors or the visual openness of public street frontage.

The Staff Hearing Officer finds that the interior setback Modification at the east side of the property is consistent with the purposes and intent of the Zoning Ordinance, and is necessary to secure an appropriate improvement on the lot, because it provides a uniform improvement to allow a living room addition, and the window changes and increase in roof height are not anticipated to adversely impact the adjacent neighbors

Said approval is subject to the following conditions:

1. All hedges on the property shall be reduced comply with SBMC § 28.87.170.
2. The water softener shall be removed from the interior setback.

Exhibits:

- A. Site Plan
- B. Applicant's letter, dated January 16, 2014

Contact/Case Planner: Jo Anne La Conte, Assistant Planner
(jlaconte@SantaBarbaraCA.gov)
630 Garden Street, Santa Barbara, CA 93101
Phone: (805) 564-5470 x3320



ISSUED FOR: DATE:

Drawing No. 13 Dec 11

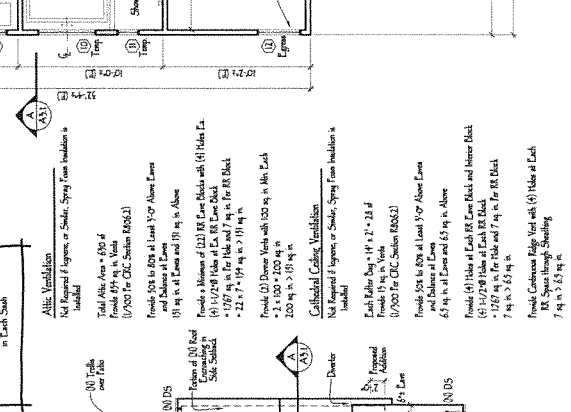
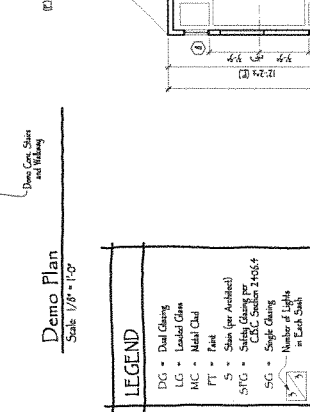
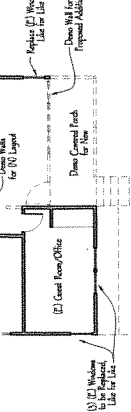
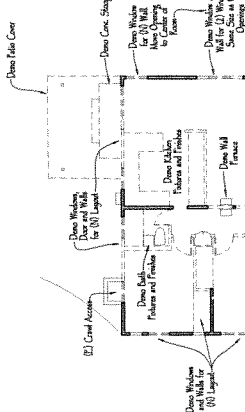
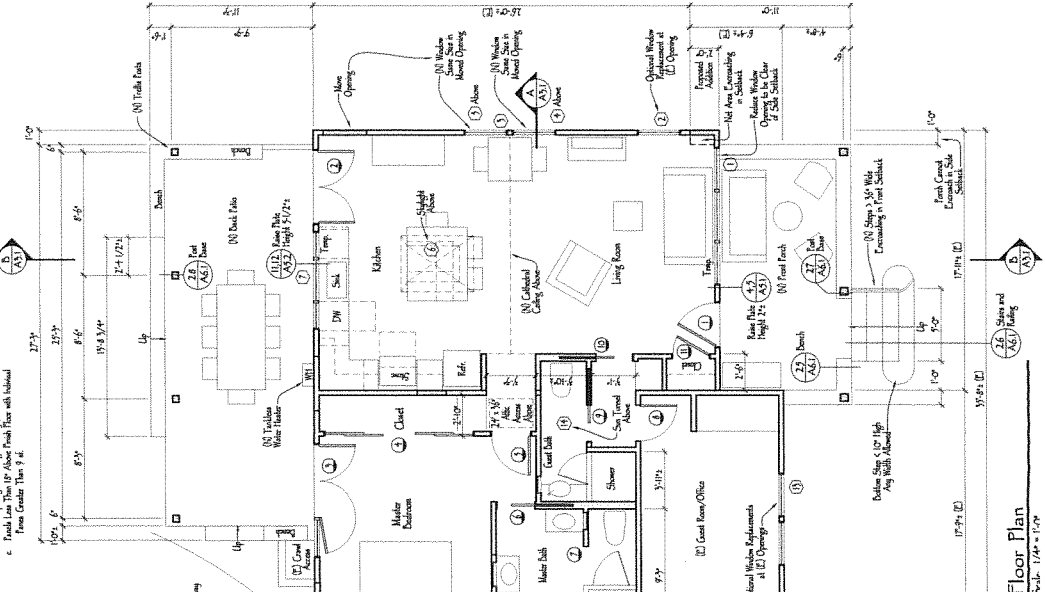
Mod. Application 16 Jan 14

Fineberg
Alterations and Renovation for
Leah and Don Fineberg
29948 Ventura Dr.
Santa Barbara, CA
ARN 095-291-041

Floor Plan, Roof Plan and Schedules

A2.1

- Notes**
1. Dimensions are to face of Stud, Unless Noted.
 2. All New Exterior Cladding to be Double Glazed.
 3. Sleeping Room: When New Windows are Installed, to be Provided with a Minimum of One Exterior Egress Opening Per CBC 803.16.
 - a. 20 of Min. Net Clear Opening Size for Green House.
 - b. 20 of Min. Net Clear Height.
 - c. 44" Min. Height Above Finish Floor.
 4. Safety Glazing to be Provided in the Following Location Per CBC 814.04.3:
 - a. Front Entry Glazing.
 - b. Glass Partitions in Bathrooms, Closets, and other Enclosed Areas.
 - c. All Showers and Tub Enclosures Glazing with 5/8" of Safety Glass.
 - d. Glass Partitions in Bathrooms, Closets, and other Enclosed Areas and where Bottom Edge is Less Than 5'0" Above the Working Surface.
 - e. All Showers and Tub Enclosures Glazing with 5/8" of Safety Glass.
 - f. Glass Partitions in Bathrooms, Closets, and other Enclosed Areas and where Bottom Edge is Less Than 5'0" Above the Working Surface.
 5. Glazing to be Installed in the Following Location Per CBC 814.04.3:
 - a. Front Entry Glazing.
 - b. Glass Partitions in Bathrooms, Closets, and other Enclosed Areas.
 - c. All Showers and Tub Enclosures Glazing with 5/8" of Safety Glass.
 - d. Glass Partitions in Bathrooms, Closets, and other Enclosed Areas and where Bottom Edge is Less Than 5'0" Above the Working Surface.
 - e. All Showers and Tub Enclosures Glazing with 5/8" of Safety Glass.
 - f. Glass Partitions in Bathrooms, Closets, and other Enclosed Areas and where Bottom Edge is Less Than 5'0" Above the Working Surface.
 6. Provide Lateral Shear Walls for (2) Water Heaters per CBC 816.03.
 7. Gas Chimney Drip to be Ventilated Outside and Equipped with a Wind Draft Diverter. Vent to the Maximum Vertical and Horizontal Length, Including:
 - (1) 30 Degree Element at 4' Int.

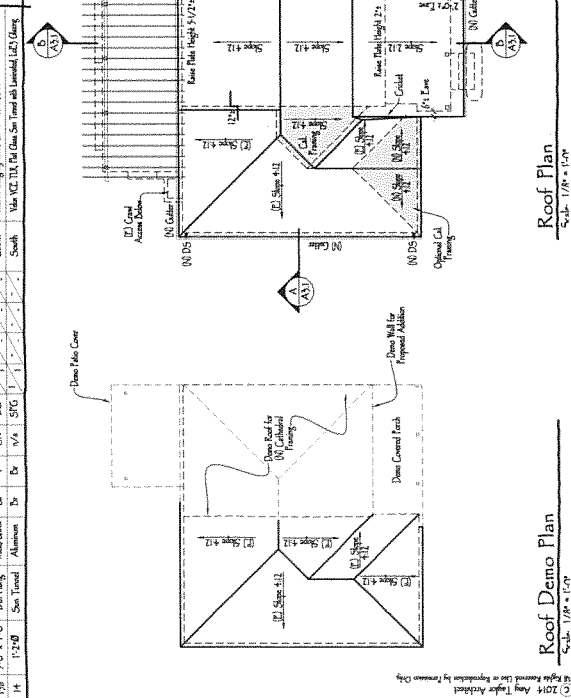


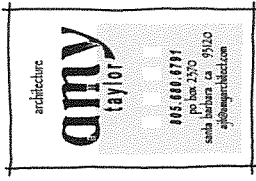
DOOR SCHEDULE

ID	SIZE	FINISH	TYPE	SWING	OPERATION	GLASS	GLASS TYPE	GLASS LOCATION	FINISH	GLASS TYPE	GLASS LOCATION
1	3'-0" x 6'-0"	15/84+ A	Wood	P	SW	SG	SG	1	South	Wood Entry Door	South
2	6'-0" x 6'-0"	15/84+ B	Wood/Alum	L	SW	SG	SG	2	North	Moving Heavy Wood/Alum (IDP)564 DCL	North
3	6'-0" x 6'-0"	15/84+ C	Wood/Alum	L	SW	SG	SG	3	North	Moving Heavy Wood/Alum (IDP)564 DCL	North
4	6'-0" x 6'-0"	15/84+ D	Wood	P	SW	SG	SG	4	Male Guest	1 Fixed Glass Sliding, Very Jumbo Rd.	Male Guest
5	2'-6" x 6'-0"	15/84+ E	Wood	P	SW	SG	SG	5	Main Bedroom		Main Bedroom
6	2'-6" x 6'-0"	15/84+ F	Wood	P	SW	SG	SG	6	Main Bath WC		Main Bath WC
7	2'-6" x 6'-0"	15/84+ G	Wood	P	SW	SG	SG	7	Good Office	Fixed, Very Combination with Shower and Tile	Good Office
8	2'-6" x 6'-0"	15/84+ H	Wood	P	SW	SG	SG	8	Good Office	Very Entry and No Chair in Main Office	Good Office
9	2'-6" x 6'-0"	15/84+ I	Wood	P	SW	SG	SG	9	Good Bath		Good Bath
10	2'-6" x 6'-0"	15/84+ J	Wood	P	SW	SG	SG	10	Good Bath		Good Bath
11	2'-6" x 6'-0"	15/84+ K	Wood	P	SW	SG	SG	11	Good Bath		Good Bath

WINDOW SCHEDULE

ID	SIZE	FINISH	TYPE	SWING	OPERATION	GLASS	GLASS TYPE	GLASS LOCATION	FINISH	GLASS TYPE	GLASS LOCATION
1	3'-0" x 4'-0"	DH 1/2" DG	Wood/Alum	L	P	SN	SG	1	South	Moving Heavy Wood/Alum (IDP)564, Tempered	South
2	3'-0" x 4'-0"	FD 1/2" DG	Wood/Alum	L	P	SN	DG	2	South	Moving Heavy Wood/Alum (IDP)564	South
3	3'-0" x 4'-0"	DH 1/2" DG	Wood/Alum	L	P	SN	DG	3	East	Moving Heavy Wood/Alum (IDP)564	East
4	3'-0" x 4'-0"	DH 1/2" DG	Wood/Alum	L	P	SN	DG	4	East	Moving Heavy Wood/Alum (IDP)564	East
5	3'-0" x 4'-0"	DH 1/2" DG	Wood/Alum	L	P	SN	DG	5	East	Moving Heavy Wood/Alum (IDP)564	East
6	2'-6" x 2'-6"	FD 1/2" DG	Wood/Alum	L	P	SN	DG	6	North	Moving Heavy Wood/Alum (IDP)564	North
7	2'-6" x 2'-6"	FD 1/2" DG	Aluminum	L	P	SN	SG	7	North	Vals VCE 204, with Laminated L&S Glazing	North
8	1'-0" x 3'-0"	DH 1/2" DG	Wood/Alum	L	P	SN	DG	8	North	Moving Heavy Wood/Alum (IDP)564	North
9	3'-0" x 3'-0"	FD 1/2" DG	Wood/Alum	L	P	SN	DG	9	North	Moving Heavy Wood/Alum (IDP)564	North
10	1'-0" x 3'-0"	DH 1/2" DG	Wood/Alum	L	P	SN	DG	10	West	Moving Heavy Wood/Alum (IDP)564	West
11	1'-0" x 3'-0"	DH 1/2" DG	Wood/Alum	L	P	SN	DG	11	West	Moving Heavy Wood/Alum (IDP)564	West
12	2'-2" x 4'-0"	DH 1/2" DG	Wood/Alum	L	P	SN	SG	12	West	Moving Heavy Wood/Alum (IDP)564, Tempered	West
13	2'-2" x 4'-0"	DH 1/2" DG	Wood/Alum	L	P	SN	DG	13	West	Moving Heavy Wood/Alum (IDP)564, Tempered	West
14	1'-6" x 4'-0"	CG 1/2" DG	Aluminum	L	P	SN	DG	14	West	Moving Heavy Wood/Alum (IDP)564, Tempered	West
15	3'-0" x 4'-0"	DH 1/2" DG	Wood/Alum	L	P	SN	DG	15	South	Moving Heavy Wood/Alum (IDP)564, Tempered	South
16	3'-0" x 4'-0"	DH 1/2" DG	Wood/Alum	L	P	SN	DG	16	South	Moving Heavy Wood/Alum (IDP)564	South





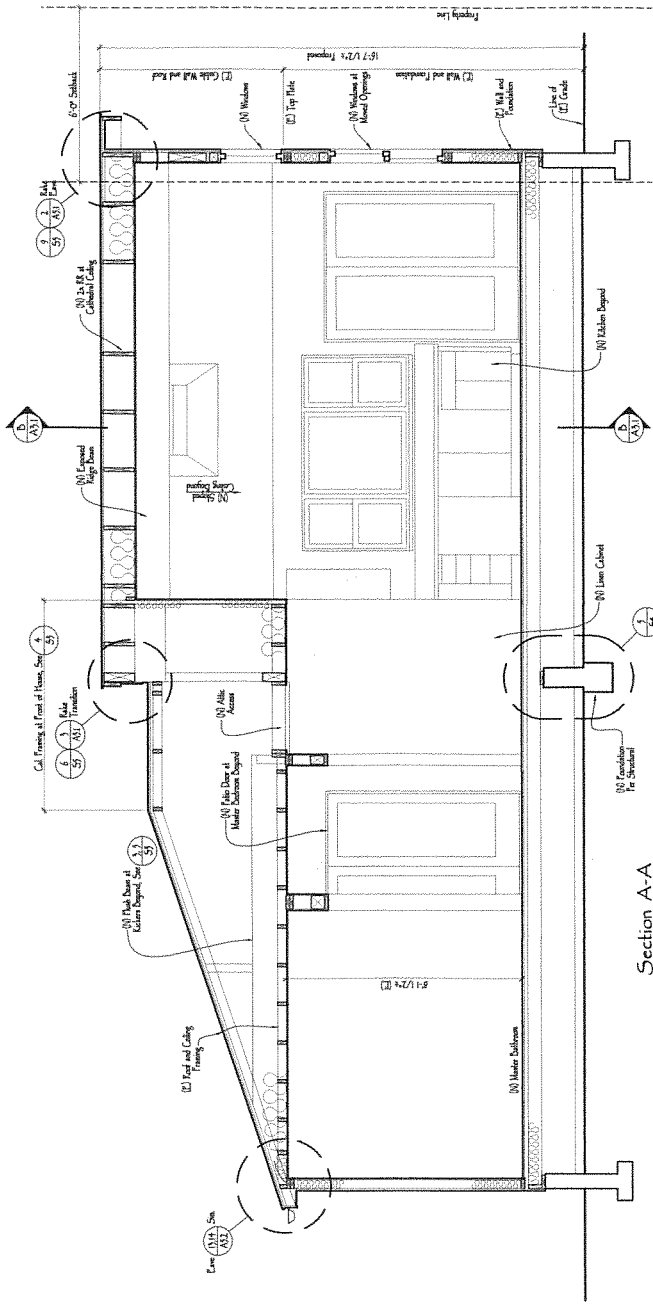
New Insulation

- Roof at (N) Cathedral Ceiling, (M) Where Space is Constrained) R-50 Batt (R-19 Min. Where Space is Constrained) or Equivalent, or Similar Spray Foam
- Roof at (E) Attic R-50 Batt (R-19 Min. Where Space is Constrained) or Equivalent, or Similar Spray Foam
- Walls R-15 Batt
- Floor R-19 Batt

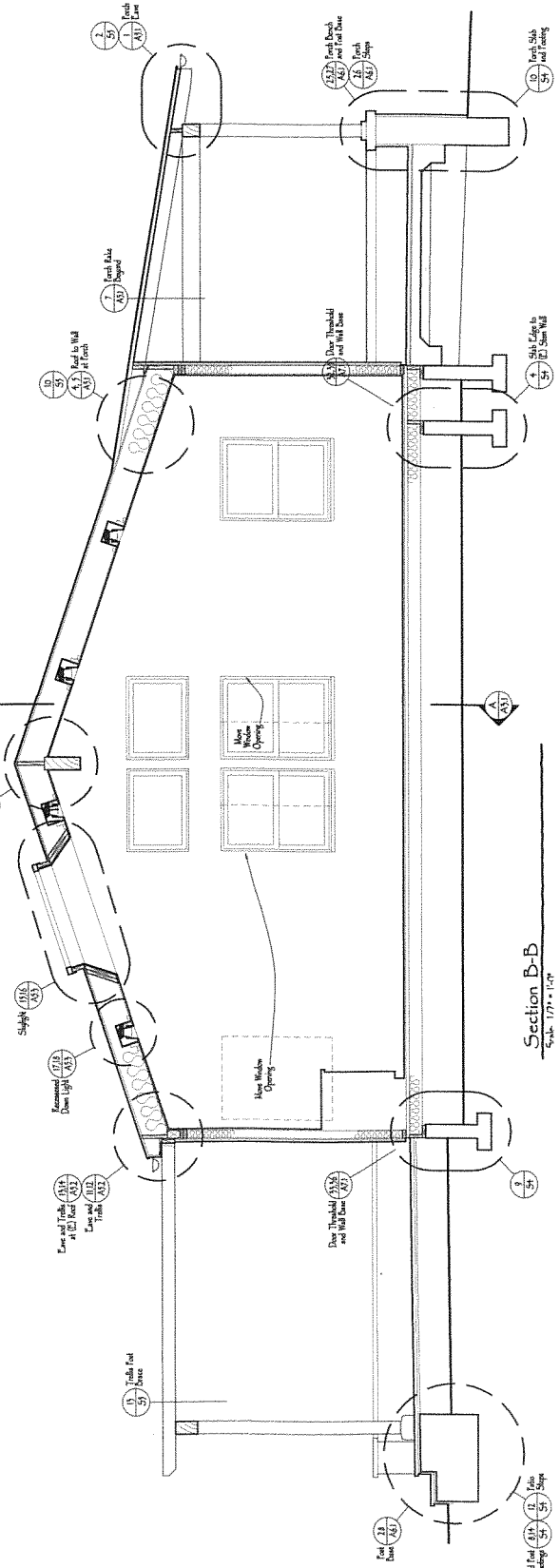


ISSUED FOR:	DATE:
Building Plan Check	18 Dec 13
Final Application	18 Jan 14

Alterations and Remold for Leah and Don Fineberg 2948 Ventura Dr. Santa Barbara, CA ATN 057-291-041	
Sections	
A3.1	



Section A-A
Scale: 1/2" = 1'-0"



Section B-B
Scale: 1/2" = 1'-0"

Fineberg Remodel
 2948 Ventura Drive
 Santa Barbara
 16 Jan 14

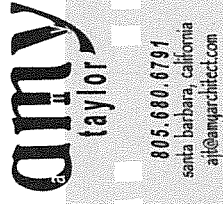
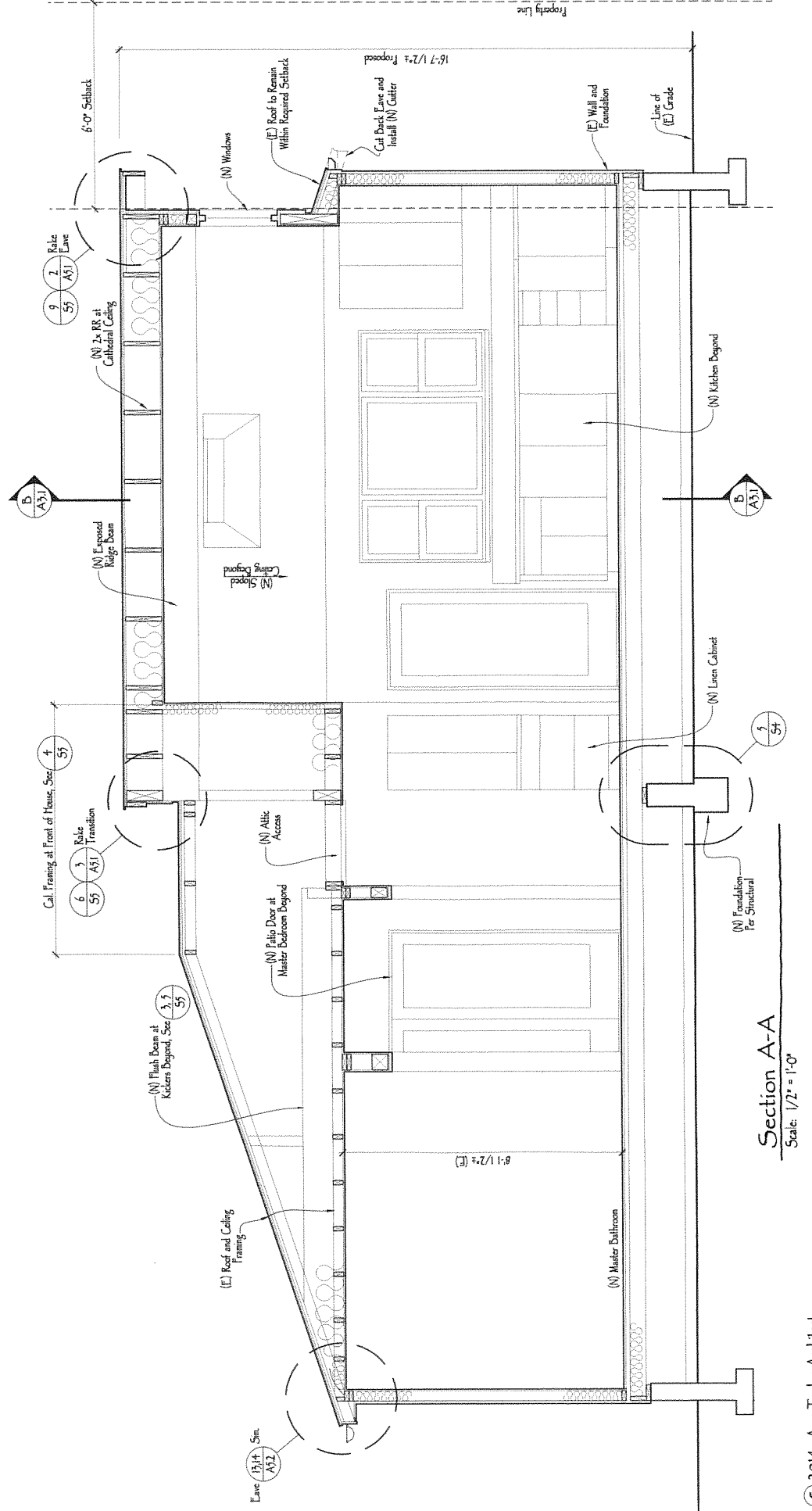


Exhibit A

Section A-A without Interior Setback Modification Request
 Submitted for Plan Check BDL2013-02676

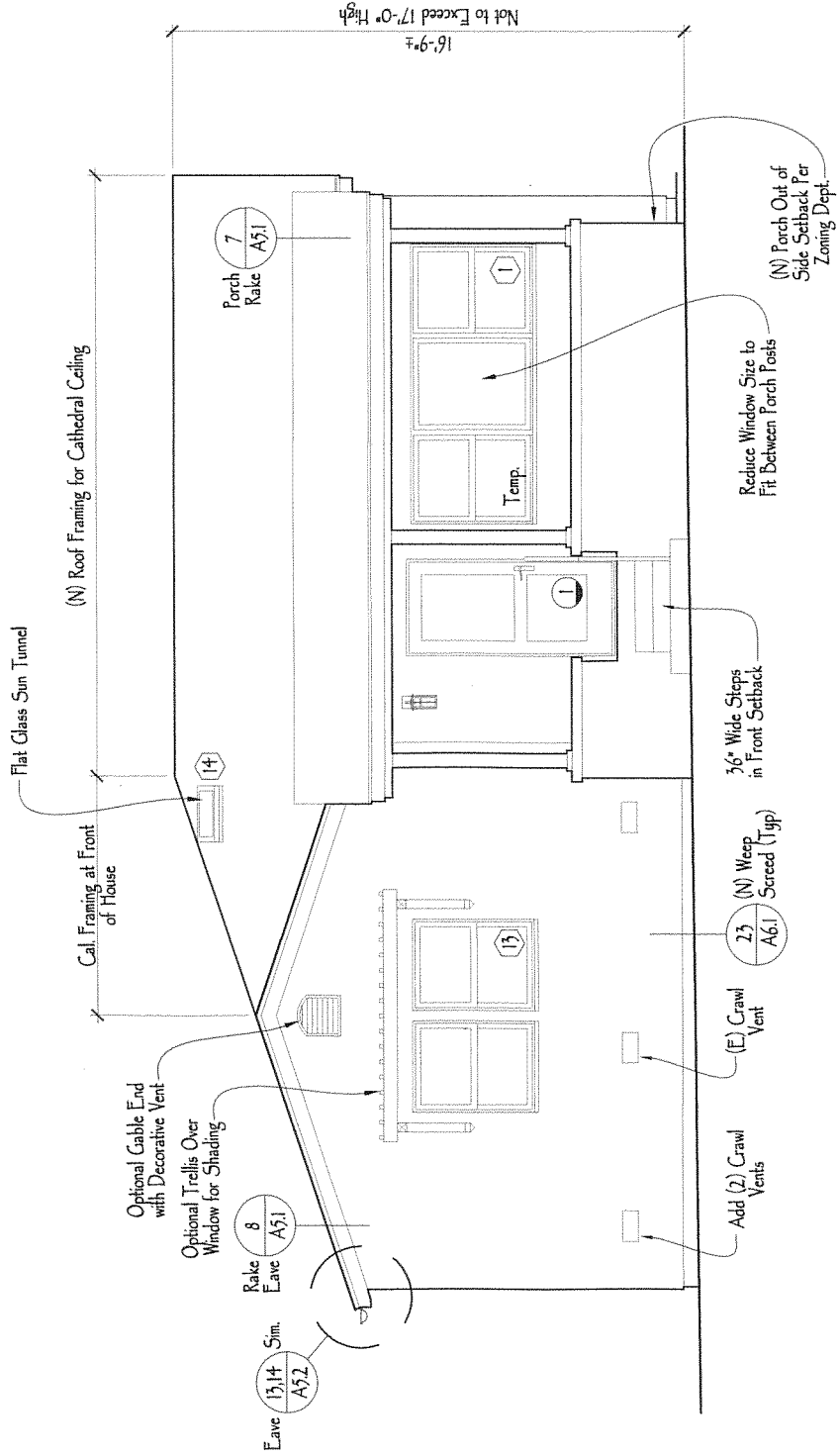
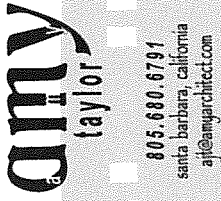


Section A-A
 Scale: 1/2" = 1'-0"

Fineberg Remodel
 2948 Ventura Drive
 Santa Barbara
 16 Jan 14

Exhibit B

South Elevation without Front Yard Modification Request
 Submitted for Plan Check BDL2013-02676



South Elevation

Scale: 1/4" = 1'-0"

Fineberg Remodel
 2948 Ventura Drive
 Santa Barbara
 16 Jan 14

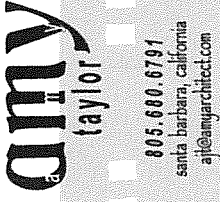
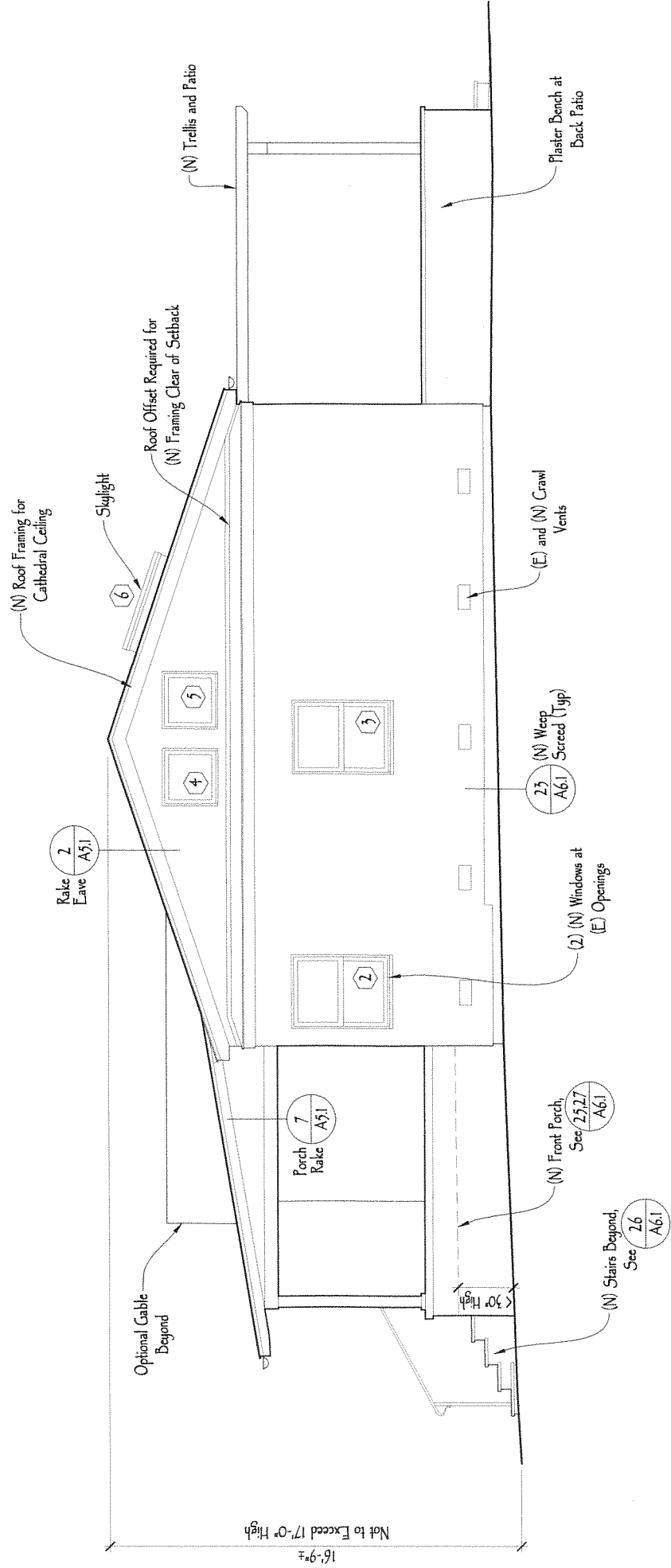


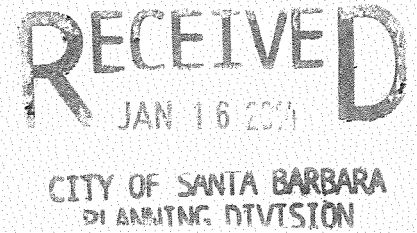
Exhibit C

East Elevation without Interior Setback Modification Request
 Submitted for Plan Check BDL2013-02676



East Elevation

Scale: 1/8" = 1'-0"



January 16, 2014

Staff Hearing Officer
City of Santa Barbara
PO Box 1990
Santa Barbara, CA 93102-1990

Re: Modification Request for 2948 Ventura Drive,
APN 053-291-041; Land Use Zone E-3

Dear Staff Hearing Officer:

Thank you for considering our request for modifications at the above referenced parcel.

Existing Property and Proposed Project

Currently, two structures exist on the property: a modest, single-story house (992 sf net) and a detached, two-car garage (398 sf net) with laundry equipment (16 sf net). The existing house encroaches in an interior yard setback, originally constructed approximately 5'-0" from the east side property line. A proposed interior remodel of the house, without scope requiring a modification, was submitted under building permit BLD2013-02676.

The proposed project is to construct a minor addition (35 sf net) at the front of the living room, to remodel the house with a new roof over the east side of the house for a cathedral ceiling at the living areas, and to construct a new front porch and a new back patio with trellis.

Modification Being Requested

The first modification being requested is to allow a minor addition to encroach one foot into the required six-foot interior yard setback and to allow alterations of an existing wall and roof that encroach one foot into the required six-foot interior yard setback (SBMC §28.15.060). The encroachment will allow the living room to be a simple volume, in both plan and section, eliminating jogs in walls or roof. Two new high windows are proposed in the raised volume, above two relocated window openings in the existing east wall. The proposed addition and remodel will add brightness and spaciousness to the very modest home, accommodating the owners' lifestyle, without intensification on the parcel.

EXHIBIT B

The second modification being requested is to allow new sixty-inch wide stairs at a front porch to encroach in the front yard setback. Although SBMC §28.87.062.B.3 allows the proposed stairs to be thirty-six inches wide and a maximum of thirty-six inches horizontally into the front setback, we believe wider steps will provide a more gracious entry to the remodeled home, similar to existing front stairs at an adjacent house at 2952 Ventura Drive.

Benefit

Granting the interior setback modification request will allow the property owners to improve their residence, while maintaining a modest home, without the need for a second-story addition. The modification will simplify structural design of the proposed new roof and will eliminate an awkward exterior transition that is shown in the original submittal drawings for BDL2013-02676 (see attached Exhibits A, B and C). The minor addition at the front of the house, aligned with the existing east wall, will eliminate an interior corner within the living room and simplify structural framing.

Granting the front setback modification request will enhance the appearance of the property from the street and will be in keeping with other existing, nearby properties. Wider steps will be an integral part of a new front garden, with room for a potted plant or other landscape object to be placed on a stair edge.

Conclusion

The requested modifications are relatively minor. Other areas of construction, at the front porch and the back patio, will meet current setback requirements. Changes to openings at the front and back walls of house will be moved out of the east setback. Based on the project goal of maintaining a modest scale for the property, we ask that you approve these modification requests, which will not adversely affect the character of the neighborhood. Rather, the proposal will absolutely enhance the area.

Please let me know if you have any questions or comments about the information provided. We look forward to a positive outcome of our request for modifications for the proposed project.

Sincerely,



Amy Taylor