

CHAPALA MARKET

605 MILPAS STREET

SANTA BARBARA, CA

STOREFRONT ALTERATIONS AND ACCESSIBILITY UPGRADES

GENERAL REQUIREMENTS

- ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL WORKMANLIKE MANNER BY A LICENSED CONTRACTOR AND SHALL COMPLY WITH THE FOLLOWING:
- THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS.
 - THIS PROJECT SHALL COMPLY WITH:
 - 2016 CALIFORNIA BUILDING CODE (TITLE 24)
 - 2016 CMC
 - 2016 CPC
 - 2016 CEC
 - CALIFORNIA EFFICIENCY STANDARDS
 - CALIFORNIA GREEN BUILDING STANDARDS 2016 (CAL GREEN)
 - CITY OF SANTA BARBARA MUNICIPAL CODE TITLE 30
 - CITY OF SANTA BARBARA AMENDMENTS #5780
 - ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND PROTECTIVE COVENANTS GOVERNING THE SITE OF WORK.
 - STANDARD SPECIFICATIONS OF ASTM.
 - IN CASE OF CONFLICTS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
 - "OR EQUAL", THE CONTRACTOR SHALL SUBMIT FOR THE DESIGNER'S AND BUILDER'S APPROVAL ALL MATERIALS OR EQUIPMENT WHICH IS CONSIDERED "OR EQUAL" TO THAT SPECIFIED.

NOTE: BUILDING IS LISTED AS A STRUCTURE OF MERIT PER SANTA BARBARA MUNICIPAL CODE CHAPTER 22.22

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS. NOTED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. EACH CONTRACTOR AND SUBCONTRACTOR SHALL REPORT TO DESIGNER AND PROJECT SUPERINTENDENT ALL CONDITIONS WHICH PREVENT THE PROPER EXECUTION OF THEIR WORK. CLIENT'S ARCHITECT AND PROJECT SUPERINTENDENT TO BE NOTIFIED IMMEDIATELY BY CONTRACTOR AND SUB-CONTRACTOR SHOULD ANY DISCREPANCY, ERROR, OMISSION, ADDITION, OR OTHER QUESTION ARISE PERTAINING TO THE WORKING DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.

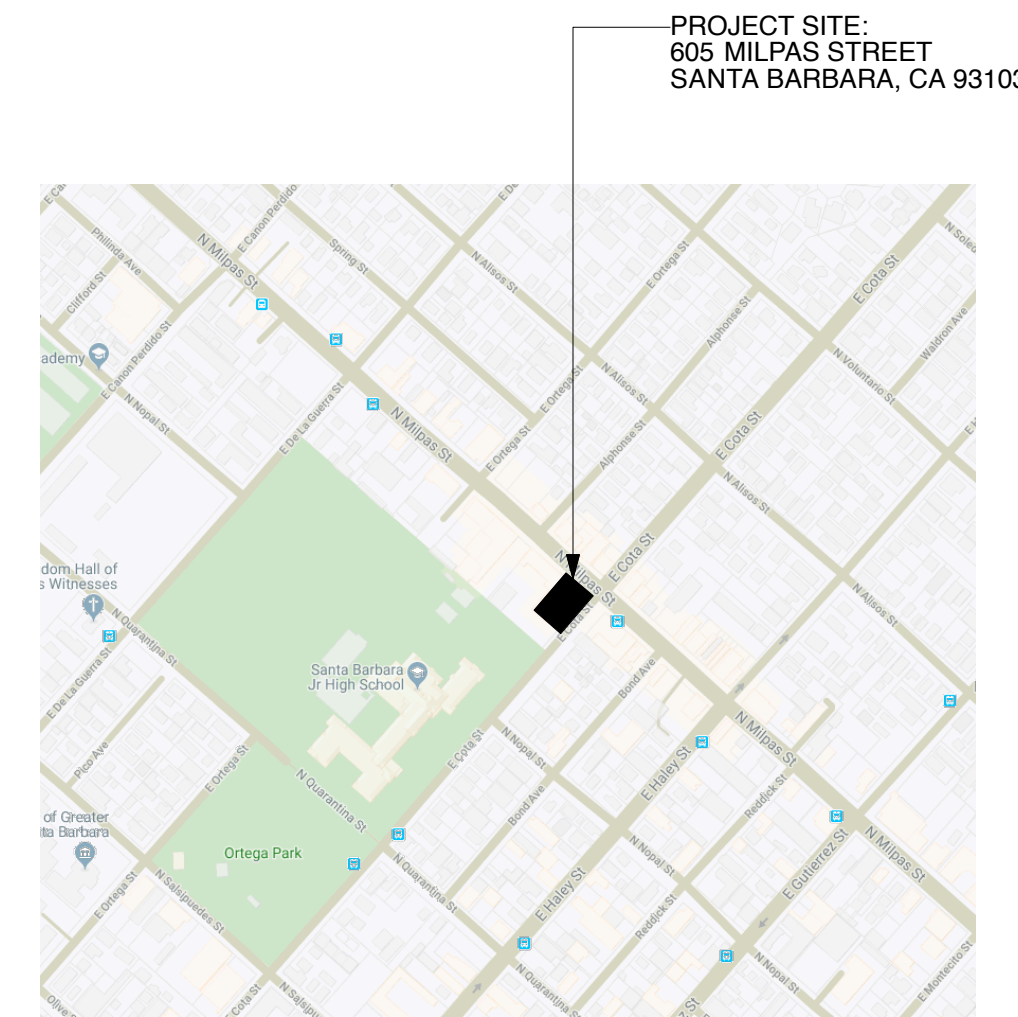
SUB-CONTRACTOR SHALL INSURE THAT ALL WORK IS DONE IN A PROFESSIONAL WORKMANLIKE MANNER BY SKILLED MECHANICS AND SHALL REPLACE ANY MATERIALS OR ITEMS DAMAGED BY SUB-CONTRACTOR PERFORMANCE. SUB-CONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHER'S WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK. ALL SUB-CONTRACTOR WORKMANSHIP WILL BE OF QUALITY TO PASS INSPECTIONS BY LOCAL AUTHORITIES, LENDING INSTITUTIONS, ARCHITECT OR BUILDER. ANY ONE OR ALL OF THE ABOVE MENTIONED INSPECTORS MAY INSPECT WORKMANSHIP AT ANY TIME. AND ANY CORRECTIONS NEEDED TO ENHANCE THE QUALITY OF BUILDING WILL BE DONE IMMEDIATELY. THE CONTRACTOR SHALL, AT ALL TIMES, PROVIDE PROTECTION AGAINST WEATHER, RAIN, WIND, STORMS, FROST, HEAT OR BREAKAGE SO AS TO MAINTAIN ALL WORK, MATERIALS, APPARATUS, AND FIXTURES FREE FROM INJURY OR DAMAGE.

THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ALL ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY HIS EMPLOYEES, AND AT THE COMPLETION OF THE WORK SHALL REMOVE ALL RUBBISH, DEBRIS, EQUIPMENT AND SURPLUS MATERIALS BELONGING TO HIM FROM IN AND ABOUT THE BUILDING AND LEAVE WORK SITE "BROOM CLEAN". AT THE END OF THE DAY'S WORK, ALL WORK LIKELY TO BE DAMAGED SHALL BE COVERED. ANY WORK DAMAGED DUE TO FAILURE OF PROTECTION AS DEFINED ABOVE SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE. EACH SUB-CONTRACTOR, UNLESS SPECIFICALLY EXEMPTED BY THE TERMS OF HIS SUB-CONTRACT AGREEMENT, SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS NOT LEFT BY OTHER SUB-CONTRACTORS. BUILDER WILL DETERMINE HOW SOON AFTER SUB-CONTRACTOR COMPLETES EACH PHASE OF HIS WORK THAT TRASH AND DEBRIS WILL BE REMOVED FROM THE SITE.

WORKMANSHIP: COMPLIANCE WITH DRAWINGS AND/OR SPECIFICATIONS WITH REGARD TO MATERIALS AND METHODS OF ASSEMBLY WILL NOT, IN ITSELF, ASSURE ACCEPTANCE OF THE WORK. OF EQUAL IMPORTANCE IS GOOD WORKMANSHIP, THE LACK OF WHICH WILL BE SUFFICIENT CAUSE TO REFUSE ACCEPTANCE OF THE WORK.

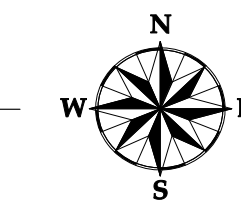
ABBREVIATIONS

& L	And	FDN.	Foundation	PL	Plate
CL	Center-line	FIN.	Finish	P.L.A.M.	Plastic/Laminated
(E)	Existing	FL.	Floor	PLAS.	Plaster
(N)	New	FLASH.	Flashing	PLYWD.	Plywood
#	Pound or Number	FLOUR.	Fluorescent	PR.	Pair
		F.O.C.	Face of Concrete	PRE-CAST.	Pre-cast
		F.O.F.	Face of Finish	P.T.	Pressure-treated
		F.O.M.	Face of Masonry	Q.T.	Quarry Tile
		F.O.S.	Face of Stud	R.	Riser
		F.S.	Full size	RAD.	Radius
		FT.	Foot or Feet	R.D.	Roof Drain
		FTG.	Footing	REF.	Reference
		FURRR.	Furring	REFR.	Refrigerator
A.B.	Anchor Bolt	FA.	Gauge	RGTR.	Register
ACOUS.	Acoustical	GALV.	Galvanized	REINF.	Reinforced
ADJ.	Adjustable	G.F.I.	Ground Fault Interrupter	REQ'D.	Required
AGGR.	Aggregate	GL.	Glass	RESL.	Resilient
ALUM.	Aluminum	G.L.B.	Glued Laminated Beam	RM.	Room
APPROX.	Approximate	GND.	Ground	R.O.	Rough Opening
ARCH.	Architectural	GR.	Grade	RWD.	Rain Water Leader
ASPH.	Asphalt	GYP.	Gypsum	R.W.L.	Rain Water Leader
BD.	Board	H.B.	Hose Bid	S.	South
BLDG.	Building	H.D.	Hold Down	SCHED.	Schedule
BLKG.	Blocking	HDR.	Header	SECT.	Section
BM.	Beam	HDWE.	Hardware	S.F.	Square Feet
B.O.	Bottom of	HORIZ.	Horizontal	SH	Shelf
CAB.	Cabinet	HR.	Hour	S & P	Shelf and Pole
C.B.	Catch Basin	HR.	Hour	SHWR.	Shower
CEM.	Cement	HRT.	Hour	SHT.	Sheet
CER.	Ceramic	I.D.	Inside Diameter	SHR.	Shim
C.I.	Cast Iron	INSUL.	Insulation	STD.	Standard
C.J.	Control Joint	INT.	Interior	STL.	Steel
C.L.	Ceiling	INT.	Interior	STR.	Storage
CALKG.	Calking	KIT.	Kitchen	STRUC.	Structural
CLR.	Clear	LAM.	Laminate	SUSP.	Suspended
C.O.	Cleanout	LAV.	Lavatory	SW.	Shedwall
COL.	Column	LIN.	Linen	SYM.	Symmetrical
CONC.	Concrete	LIN.	Linen	TRD.	Tread
CONN.	Connection	LT.	Light	T.B.	Towel Bar
CONTR.	Contractor	L.V.L.	Laminated Veneer	T.C.	Top of Curb
CONT.	Continuous	MAX.	Maximum	TEL.	Telephone
CORR.	Corrugated	M.B.	Machine Bolt	T & G	Tounge and Groove
C.M.U.	Concrete Masonry Unit	M.C.	Medicine Cabinet	T.O.	Top of
CTS.	Countersunk	MECH.	Mechanical	T.P.	Top of Pavement
CTR.	Center	MFR.	Manufacturer	T.P.D.	Toilet Paper
		MISC.	Miscellaneous	T.V.	Television
		M.O.	Masonry Opening	T.S.	Tube Steel
		N.I.C.	Not in Contract	TYP.	Typical
		NO./#	Number	UNF.	Unfinished
		NO.M.	Nominal	URC	Uniform Building Code
		N.T.S.	Not to Scale	UNF.	Unfinished
		O.A.	Overall	U.N.O.	Unless Noted Otherwise
		O.C.	On Center	VERT.	Vertical
		O.D.	Outside Diameter	W.	West
		OFF.	Office	W/	With
		OPNG.	Opening	W.C.	Water Closet
		OPP.	Opposite	WO.	Wood
				W/O.	Without
				W.P.	Waterproof
				W.R.	Water Resistant
				WSCT.	Wainscot
				WT.	Weight



VICINITY MAP

NOT TO SCALE



PROJECT STATISTICS

PROPERTY OWNER:	MILPAS PROPERTIES, LLC PO BOX 1117 SUMMERLAND, CA 93067
TENANT:	CHAPALA MARKET 605 MILPAS STREET SANTA BARBARA, CA 93103
A.P.N.:	031-181-011
GENERAL PLAN:	EASTSIDE: MILPAS
LAND USE ZONE:	C-G
CONSTRUCTION TYPE:	V-B
OCCUPANCY TYPE:	COMMERCIAL 'B'
HIGH FIRE ZONE:	NO
FLOOD ZONE:	YES
SLOPE:	± 1%

SCOPE OF WORK

- ACCESSIBILITY UPGRADES AND EXTERIOR ALTERATIONS TO EXISTING COMMERCIAL BUILDING
- (N) STOREFRONT WINDOWS TO REPLACE (E) DAMAGED WINDOWS
 - RE-INTRODUCE A PORTION OF THE ORIGINAL PLASTER DETAILING AT FRONT FACADE ABOVE STOREFRONT
 - ADDITIONAL SCOPE OF WORK REQUIRED BY PLANNING AND BUILDING DEPARTMENTS AS A PART OF THIS PROJECT
 - ADA UPGRADES
 - RE-SURFACE PORTION OF (E) PARKING LOT PER PLANS
 - SIGNAGE AND STRIPING AT (E) ADA SPACE PER PLANS
 - PUSH-BUTTON ACTUATOR AT ENTRANCE DOOR
 - (N) BICYCLE PARKING AS REQUIRED
 - AS-BUILT ALTERATIONS TO PREVIOUSLY APPROVED PARKING LAYOUT
 - REQUEST FOR ALTERNATIVE LANDSCAPE DESIGN WAIVER FOR AS-BUILT PARKING LOT CONFIGURATION PER SBMC 30.175.080.E
 - REQUEST FOR SCREENING WAIVER TO ALLOW PARTIAL SCREENING OF WASTE AND RECYCLING RECEPTACLES PER SBMC 30.140.240.A.2
 - REQUEST FOR ALTERATIONS TO BIKE PARKING REQUIREMENTS PER SBMC 30.175.070.C
- NOTE:** ANY PROPOSED SIGNS SHALL BE UNDER A SEPARATE PERMIT

SHEET INDEX

- T 1.0 TITLE SHEET / GENERAL NOTES / PROJECT STATISTICS / SITE PLAN
- A 1.0 FLOOR PLAN / ELEVATIONS / DETAIL

2 SHEETS TOTAL

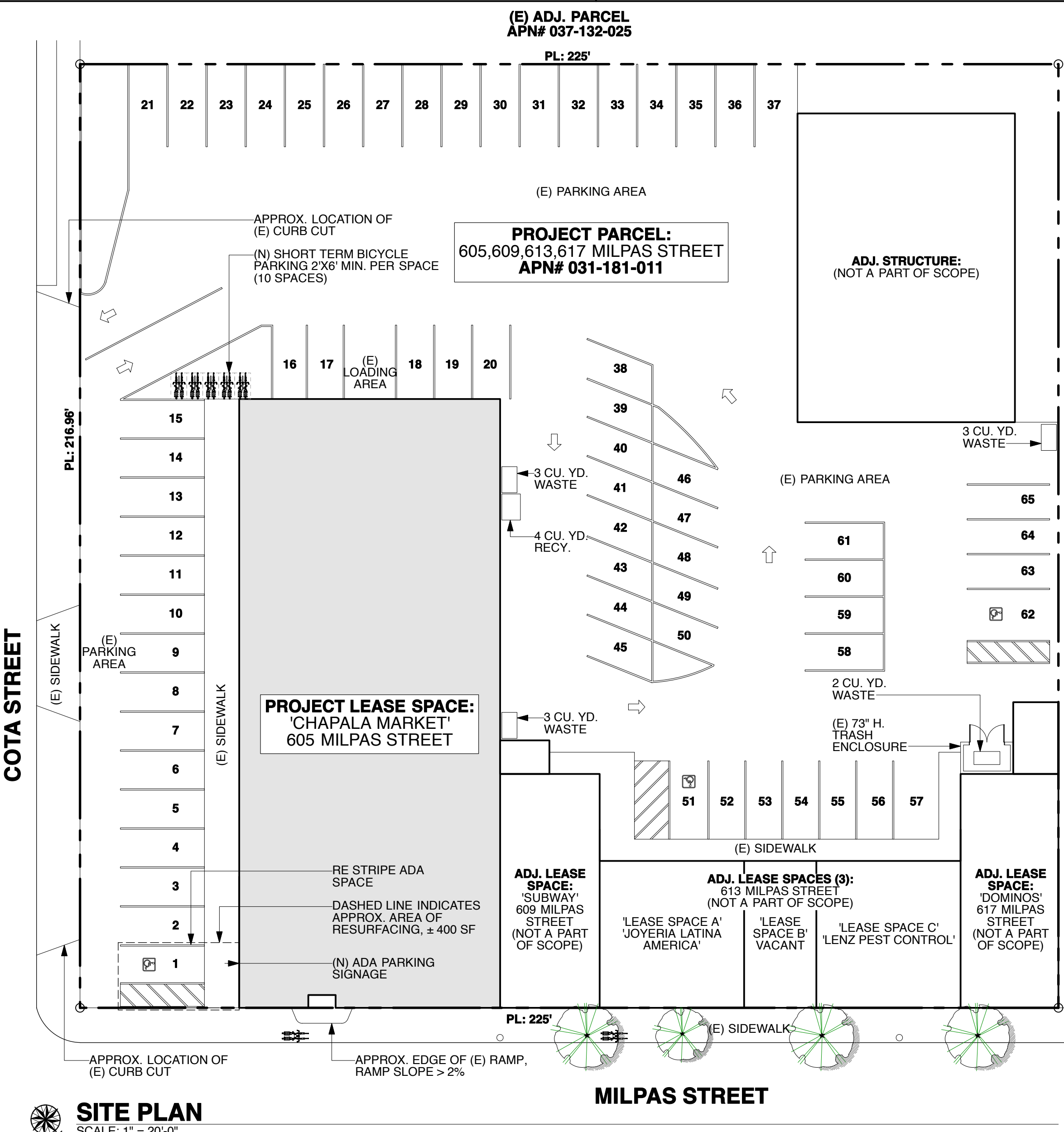
SQUARE FOOTAGE BREAKDOWN:

EXISTING/PROPOSED BUILDING SF (NO CHANGES):	NET AREA	GROSS AREA
605 MILPAS COMMERCIAL LEASE SPACE (CHAPALA MARKET):	± 8,135 SF	± 8,400 SF
609 MILPAS COMMERCIAL LEASE SPACE (NOT A PART OF SCOPE):	± 1,195 SF	± 1,320 SF
613 MILPAS COMMERCIAL LEASE SPACE 'A' (NOT A PART OF SCOPE):	± 990 SF	± 1,120 SF
613 MILPAS COMMERCIAL LEASE SPACE 'B' (NOT A PART OF SCOPE):	± 495 SF	± 560 SF
613 MILPAS COMMERCIAL LEASE SPACE 'C' (NOT A PART OF SCOPE):	± 990 SF	± 1,120 SF
617 MILPAS COMMERCIAL LEASE SPACE (NOT A PART OF SCOPE):	± 1,247 SF	± 1,381 SF
ADJACENT STRUCTURE (NOT A PART OF SCOPE):	± 3,399 SF	± 3,558 SF
TOTAL EXISTING SQUARE FOOTAGE:	± 16,451 SF	± 17,459 SF
AREA OF ALTERATION:	NET AREA	GROSS AREA
AREA OF ALTERATIONS:		± 441 SF
IMPERVIOUS SURFACES/SWMP:		± 400 SF
REPLACED IMPERVIOUS SURFACE:		± 400 SF

SWMP TIER 2: PER APPENDIX J OF THE STORM WATER BMP GUIDANCE MANUAL FOR PROJECTS WITH SITE WORK/IMPERVIOUS SURFACE REPLACEMENT <500 SF TREAT AS TIER 2.

PARKING ANALYSIS:

- PREVIOUSLY PERMITTED PARKING:**
73 SPACES
- PROPOSED PARKING:**
REDUCTION OF PARKING TO 65 SPACES, INCLUDING (3) ADA SPACES WITH LOADING ZONES
- REQUIRED PARKING FOR PROPOSED USE:**
TOTAL NET FLOOR AREA: 16,451 SF @ 1/250 = 65.80
- PARKING REQUIREMENT: 65 SPACES**
- EXISTING BICYCLE PARKING:**
0 SPACES
- PROPOSED BICYCLE PARKING:**
10 SHORT TERM SPACES*
- NOTE:** REQUEST FOR WAIVER TO ALTER BICYCLE PARKING REQUIREMENT TO PROVIDE SHORT TERM SPACES ONLY
- REQUIRED BICYCLE PARKING FOR PROPOSED USE:**
TOTAL NET FLOOR AREA: 16,451 SF @ 1/1750 = 9.40
- PARKING REQUIREMENT: 9 SPACES (2.25 LONG TERM/6.75 SHORT TERM)**



SITE PLAN

SCALE: 1" = 20'-0"

BEST MANAGEMENT PRACTICES



- Best Management Practices for Construction Activities:**
- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheet flow, swales, area drains, natural drainage courses or wind.
 - Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
 - Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills may not be washed into the drainage system.
 - Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions must be made to retain concrete wastes on site until they can be disposed of as a solid waste.
 - Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
 - Sediments and other material may not be traced from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
 - Any slopes with disturbed soils or demanded of vegetation must be stabilized so as to inhibit erosion by wind and water.
 - Other:

AGENCY CONTACT

CITY OF SANTA BARBARA:	COMMUNITY DEVELOPMENT 630 GARDEN STREET SANTA BARBARA, CA 93101 BUILDING DEPT. 564-5485 PLANNING DEPT. 564-5470
ELECTRICAL AGENCY:	SOUTHERN CALIFORNIA EDISON 333 LOVE PLACE SANTA BARBARA, CA 93117 (805) 683-9252
GAS AGENCY:	SOUTHERN CALIFORNIA GAS P.O. BOX 6469 SANTA BARBARA, CA 93160-6466 (805) 681-8060
SEWER AGENCY:	CITY OF SANTA BARBARA PUBLIC WORKS DEPT. 630 GARDEN STREET SANTA BARBARA, CA 93101 (805) 564-5377
WATER AGENCY:	CITY OF SANTA BARBARA PUBLIC WORKS DEPT. 630 GARDEN STREET SANTA BARBARA, CA 93101 (805) 564-5377

PROFESSIONALS

ARCHITECT: SHERRY & ASSOCIATES ARCHITECTS
508 ANACAPA STREET, SUITE B
SANTA BARBARA, CA 93101
PH: (805) 963-0986
FAX: (805) 963-0178

SOB ANACAPA STREET, SUITE B
 MAIL TO:
 P.O. BOX 23634
 SANTA BARBARA, CA 93121
 TEL: (805) 963-0986
 FAX: (805) 963-0178
 EMAIL: DAW@SHERRY.COM

STOREFRONT REMODEL AND ACCESSIBILITY UPGRADES

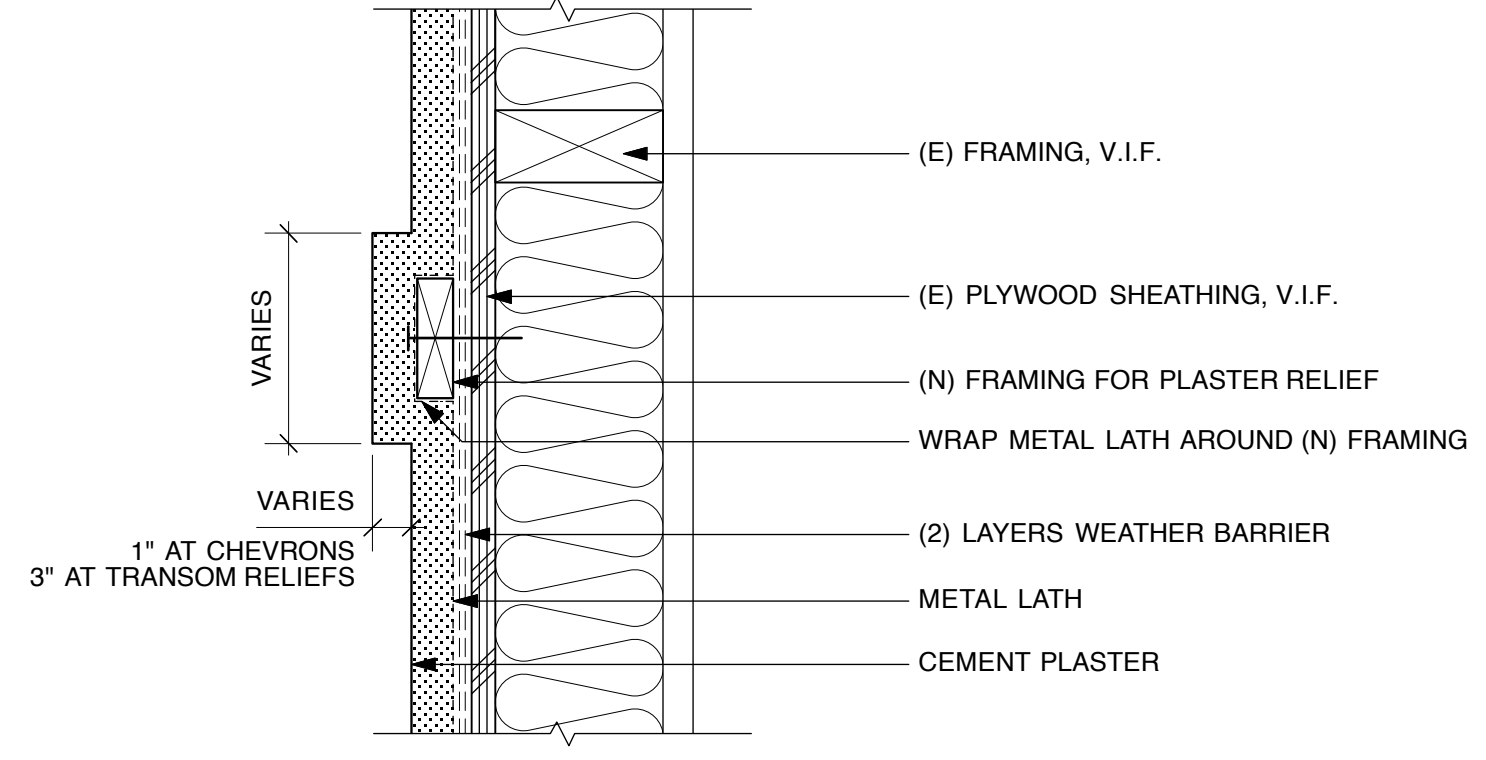
CHAPALA MARKET
605 MILPAS STREET
SANTA BARBARA, CA 93103

THESE DRAWINGS ARE THE PROPERTY OF DAWN SHERRY. ALL DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND ARE NOT TO BE REPRODUCED, CHANGED, COPIED IN ANY FORM OR ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DAWN SHERRY, ARCHITECT.

DATE	DESCRIPTION
09/24/19	HLC SUBMITTAL
11/14/19	HLC RE-SUBMITTAL
12/11/19	HLC RE-SUBMITTAL
12/19/19	HLC RE-SUBMITTAL

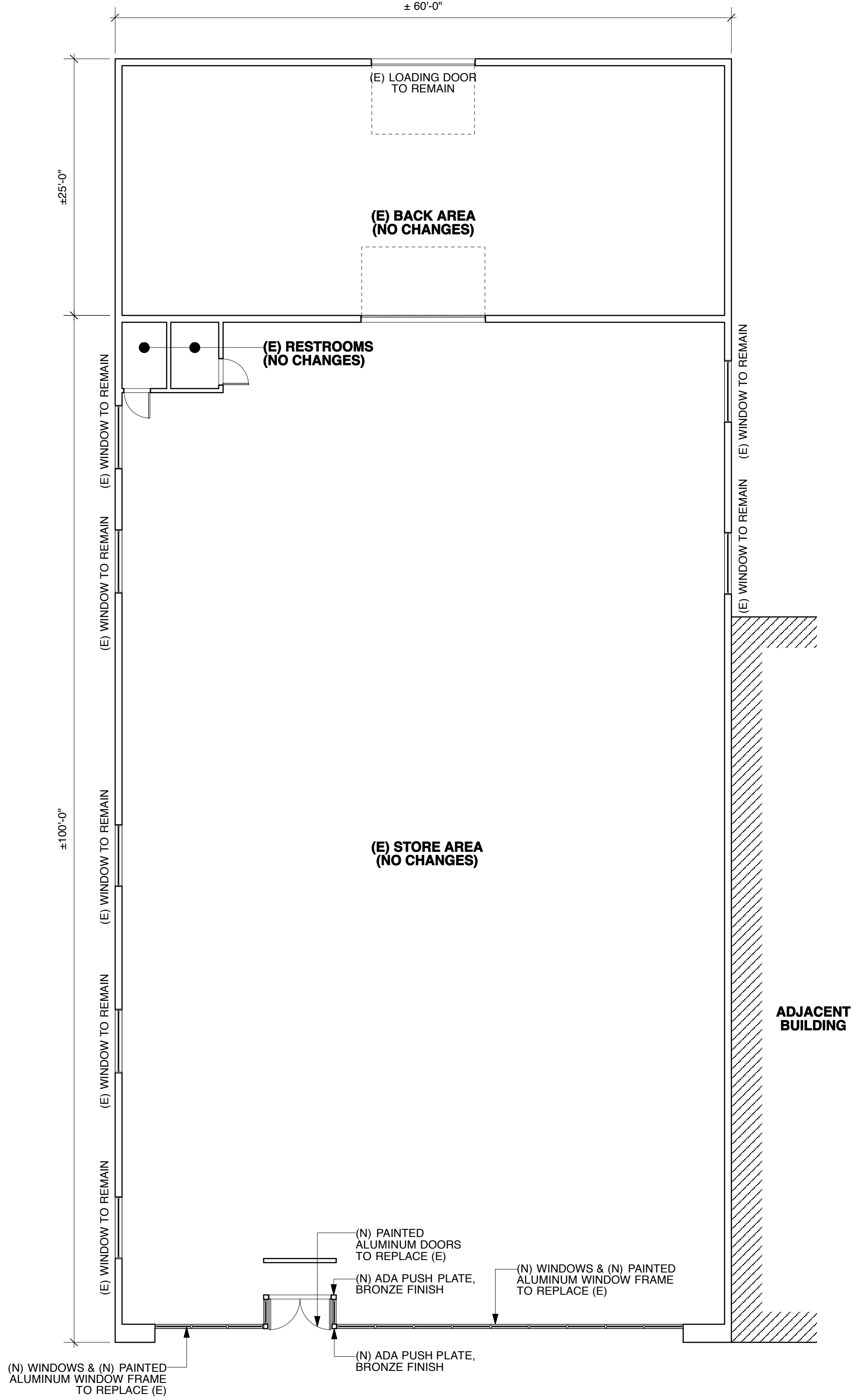
T 1.0

TITLE SHEET / SITE PLAN



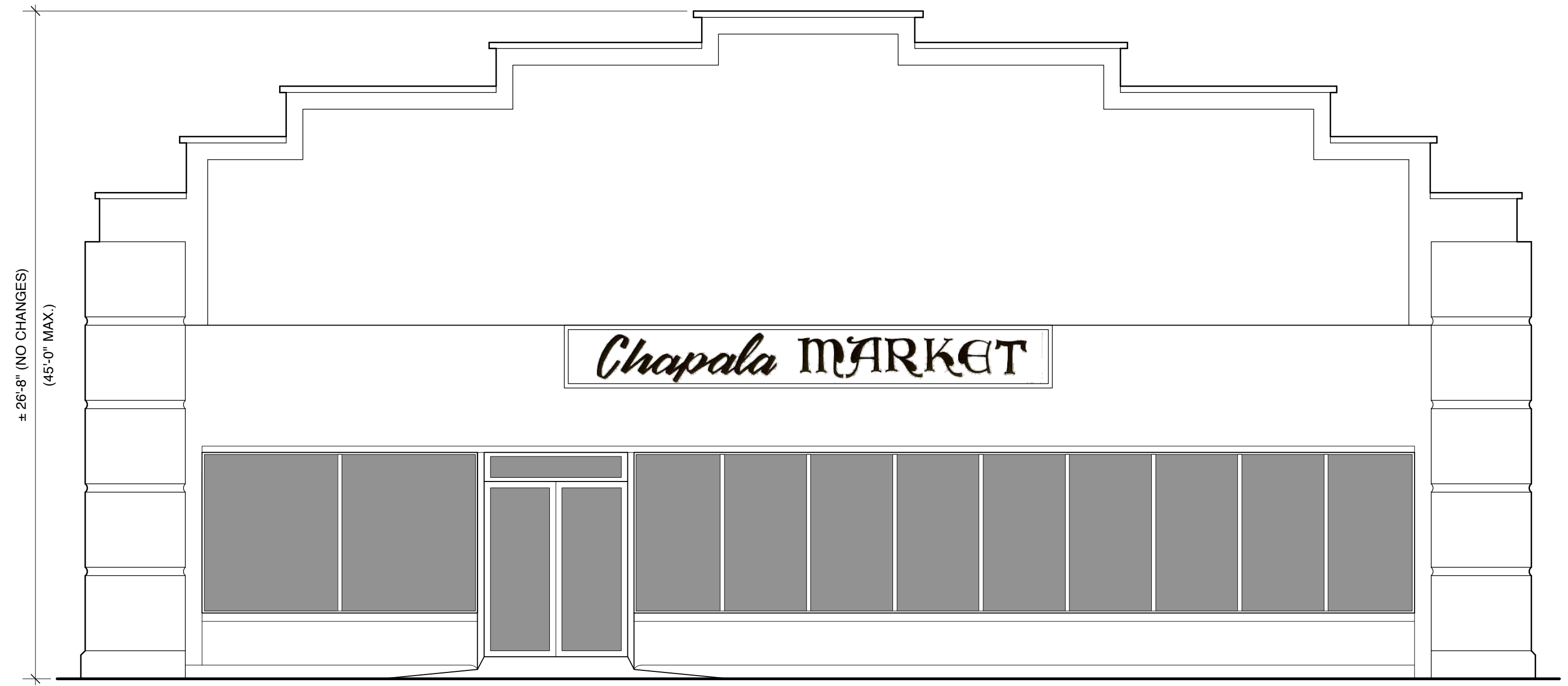
PLASTER DETAIL

SCALE: 3" = 1'-0"



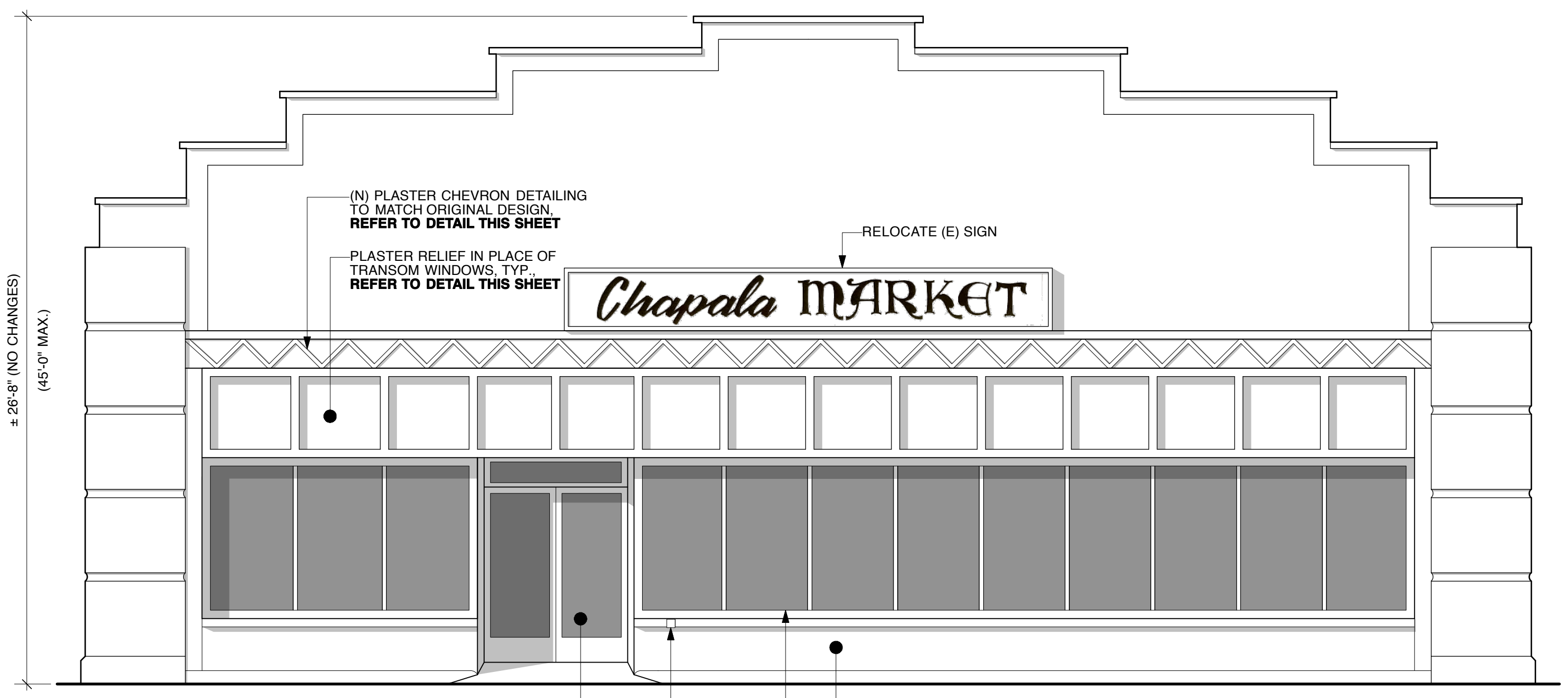
FLOOR PLAN - EXISTING & PROPOSED

SCALE: 1/8" = 1'-0"



NORTH ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"



NORTH ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

S H E R R Y & A S S O C I A T E S
 ARCHITECTS, INC.
 STOREFRONT REMODEL AND ACCESSIBILITY UPGRADES
CHAPALA MARKET
 605 MILPAS STREET
 SANTA BARBARA, CA 93103
 908 ANACAPA STREET, SUITE B
 SANTA BARBARA, CA 93101
 TEL: (805) 963-0998
 FAX: (805) 963-0178
 EMAIL: DAWN@DAWNSHERRY.COM
 THESE DRAWINGS ARE THE PROPERTY OF DAWN SHERRY. ALL DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND ARE NOT TO BE REPRODUCED, CHANGED, COPIED IN ANY FORM OR ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF DAWN SHERRY, ARCHITECT.

DATE	DESCRIPTION
09/24/19	HLC SUBMITTAL
11/14/19	HLC RE-SUBMITTAL
12/11/19	HLC RE-SUBMITTAL
12/19/19	HLC RE-SUBMITTAL

A 1.0

FLOOR PLAN / ELEVATIONS / DETAIL