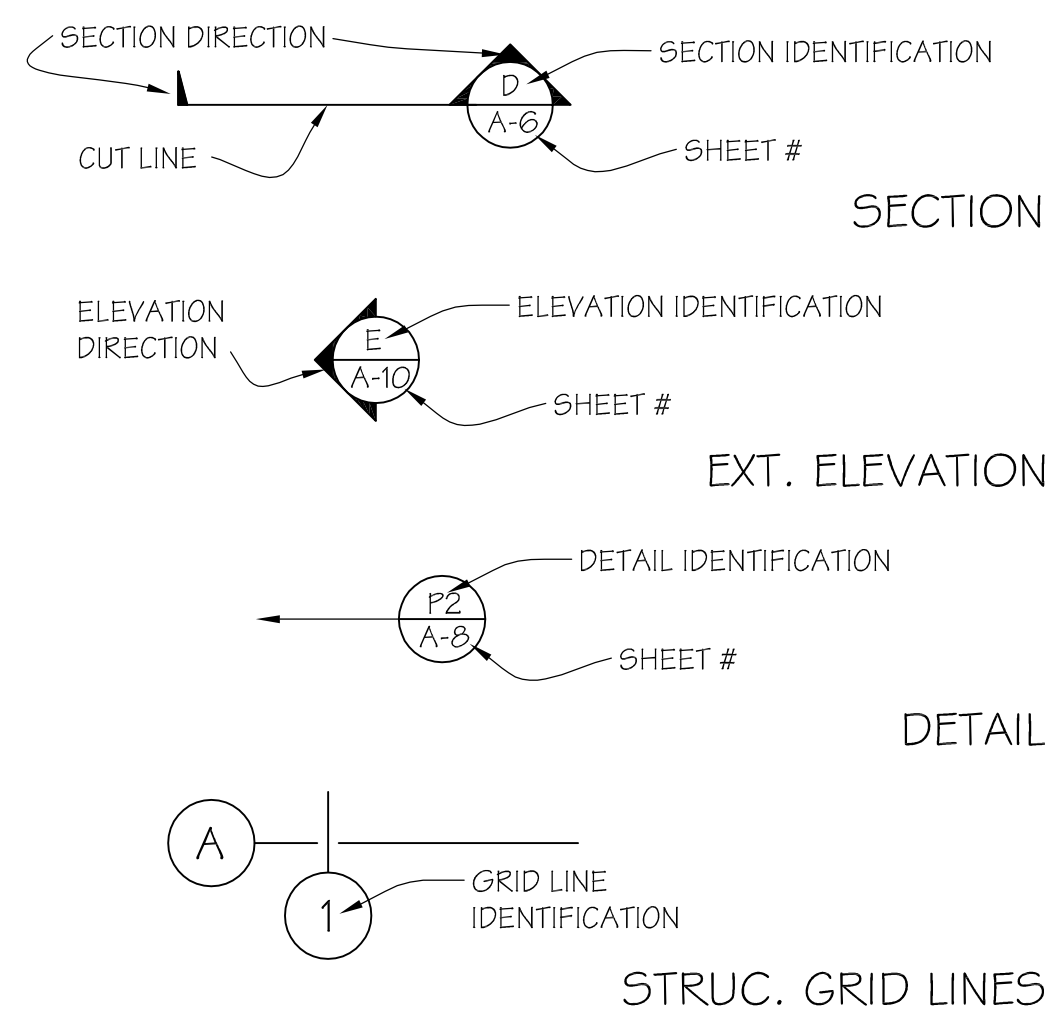
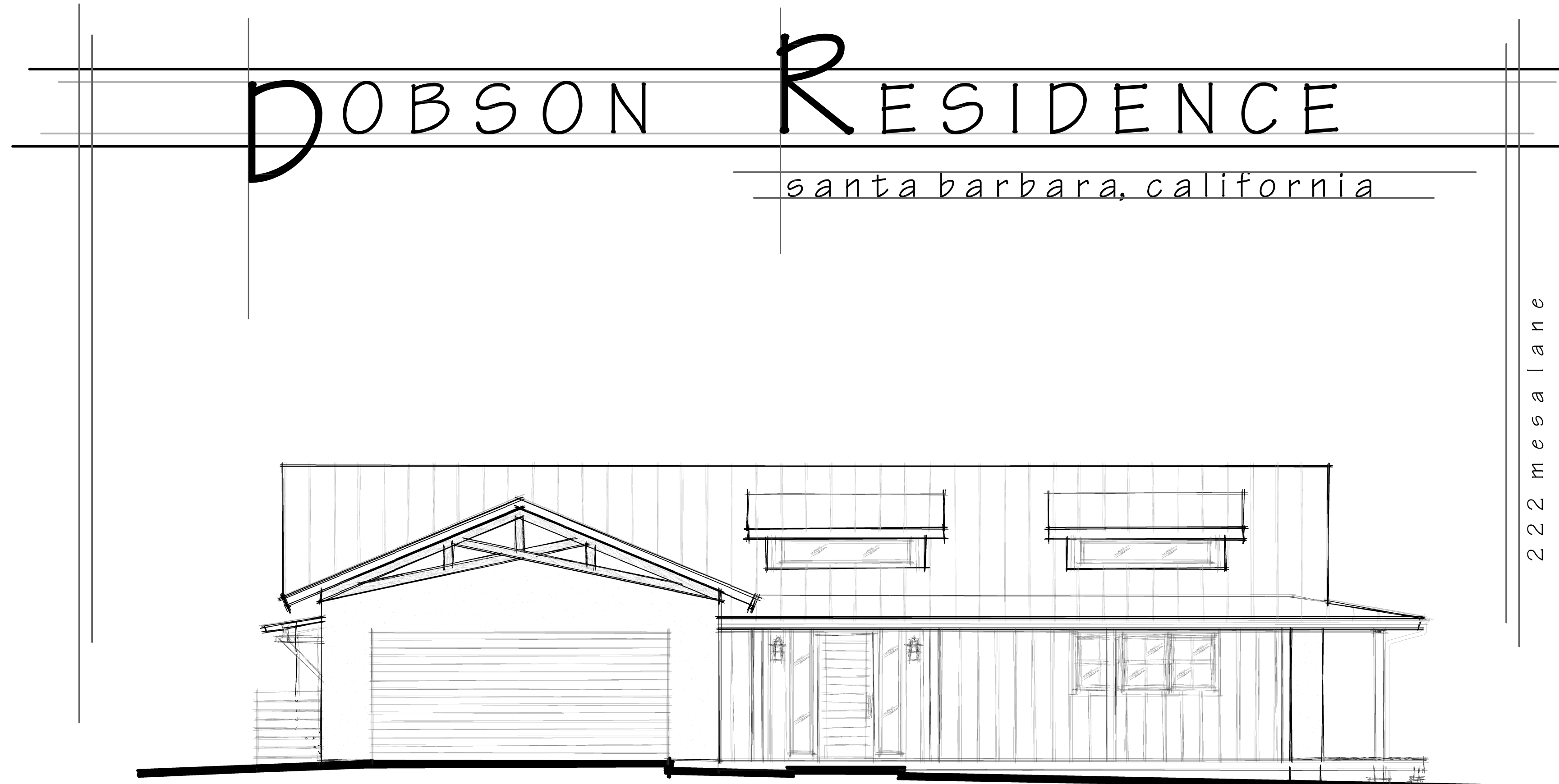


SYMBOLS



ABBREVIATION LEGEND

- # - AND
- @ - AT
- # - FOUND OR NUMBER
- (E) - EXISTING
- (N) - NEW
- A.B. - ANCHOR BOLT
- AFCI - ARC FAULT CIRCUIT INTERRUPTER
- AVG. - AVERAGE
- BDRM. - BEDROOM
- BLDG. - BUILDING
- BLK. - BLOCK
- BLKG. - BLOCKING
- BM. - BEAM
- BR. - BATHROOM
- CAB. - CABINET
- C.J. - CEILING JOIST
- CLG. - CEILING
- CLR. - CLEAR
- CONC. - CONCRETE
- CONT. - CONTINUOUS
- CNTR. - COUNTER
- CTR. - CENTER
- D. - DRYER
- DBL. - DOUBLE
- DEG. - DEGREE
- DET. - DETAIL
- D.F. - DOUGLAS FIR
- D.H. - DOUBLE HUNG
- DIA. - DIAMETER
- DIM. - DIMENSION
- D.W. - DISH WASHER
- DWG. - DRAWING
- E. - EAST
- EA. - EACH
- ELEV. - ELEVATION
- ELEC. - ELECTRICAL
- EQ. - EQUAL
- EXST. - EXISTING
- EXT. - EXTERIOR
- F.A.U. - FORCED AIR UNIT
- FDN. - FOUNDATION
- F.F. - FINISH FLOOR
- F.G. - FINISH GRADE
- F.J. - FLOOR JOIST
- FL. - FLOOR
- FLOUR. - FLOURESCENT
- FOHC - FREE OF HEART CENTER
- F.R. - FAMILY ROOM
- FRMG. - FRAMING
- FT. - FOOT OR FEET
- FTG. - FOOTING
- G.D. - GARBAGE DISPOSAL
- GFI - GROUND FAULT CIRCUIT INTERRUPTER
- GND. - GROUND
- GR. - GRADE
- GYP. - GYPSUM
- GLB. - GULL-LAM BEAM
- H.B. - HOSE BID
- HDR. - HEADER
- HGT. - HEIGHT
- HQR. - HORIZONTAL
- H.V. - FORCED AIR REGISTER
- HVAC - HEATING, VENTILATION AIR CONDITIONING
- H.W. - HOT WATER
- INSUL. - INSULATION
- INT. - INTERIOR
- JT. - JOINT
- KIT. - KITCHEN
- LAV. - LAVATORY
- LT. - LIGHT
- LVL. - LAMINATED VENEER LUMBER
- MAX. - MAXIMUM
- M.C. - MEDICINE CABINET
- MECH. - MECHANICAL
- MED. - MEDIUM
- MFR. - MANUFACTURER
- MIN. - MINIMUM
- MIR. - MIRROR
- MISC. - MISCELLANEOUS
- N. - NORTH
- N/A - NOT APPLICABLE
- N.I.C. - NOT IN CONTRACT
- NO. - NUMBER
- NOM. - NOMINAL
- N.T.S. - NOT TO SCALE
- O.C. - ON CENTER
- OPNG. - OPENING
- PLYWD. - PLYWOOD
- R.O. - ROUGH OPENING
- REF. - REFRIGERATOR
- REFL. - REPLACE
- REQ. - REQUIRED
- RM. - ROOM
- R.R. - ROOF RAFTER
- RWD. - REDWOOD
- S. - SOUTH
- S.C. - SOLID CORE
- SCHED. - SCHEDULE
- S.D. - SMOKE DETECTOR
- SECT. - SECTION
- SH. - SHELF
- S.H. - SINGLE HUNG
- SHWR. - SHOWER
- SIM. - SIMILAR
- SL. - SLIDING
- SPEC. - SPECIFICATION
- SQ. - SQUARE
- S.S. - SELECT STRUCTURAL
- STD. - STANDARD
- STRUC. - STRUCTURAL
- SWR. - SEWER
- T.C. - TRASH COMPACTOR
- TELE. - TELEPHONE
- TEMP. - TEMPERED
- THK. - THICK
- T.J.I. - TRUS-JOIST
- TRPL. - TRIPLE
- T.V. - TELEVISION
- TYP. - TYPICAL
- T4G - TONGUE AND GROOVE
- U.O.N. - UNLESS OTHERWISE NOTED
- VERT. - VERTICAL
- W. - WEST
- WF. - WITH
- W.C. - WATER CLOSET
- WD. - WOOD
- W.H. - WATER HEATER
- W.M. - WASHING MACHINE
- WO - WITHOUT
- W.P. - WATER PROOF
- WT. - WEIGHT



PROJECT INFORMATION

Residential Remodel for:
 Tyler & Brittany Dobson
 222 Mesa Lane,
 Santa Barbara, CA 93109
 805.895.7904

Assessor Parcel Number: 041-322-009

Existing Use: Single Family Residence
 Proposed Use: Single Family Residence
 Zoning: E-3 / SD-3 (SBMC Title 28)
 General Plan: Mesa : West Mesa
 Occupancy Group: R-3, U
 Construction Type: V-B
 Number of Stories: 2
 Proposed Maximum Height: 23'-6"
 Lot Size: 8008.5 Sq. Ft.
 Average Slope: 2%
 High Fire Area: No
 Flood Zone: FEMA Flood Zone X
 Existing Open Yard: 3,272 Sq. Ft.
 Required Open Yard: 1,250 Sq. Ft.
 Proposed Open Yard: 1,295 Sq. Ft.
 Proposed Addition: 1,811 Sq. Ft.
 Proposed Addition Impervious Surface: 1,256 Sq. Ft.
 Storm Water Management Program per SBMC 22.87: Tier 2 (Disconnected downspouts proposed)

PROPOSED SCOPE OF WORK:

Proposal to construct a 649 net sq.ft. addition to an existing 1 story single family residence, as well as a new 387 sq.ft. front porch, new 275 sq.ft. rear covered patio, new 439 sq.ft. attached garage, and a new 219 sq.ft. roof deck. To accommodate the new garage location, the proposal also includes the demolition of the existing driveway and curb cut and construction of a new driveway and curb cut. The proposal also includes an interior remodel and replacement of the existing fences. The proposed project received approval for an Interior Setback Modification by the Staff Hearing Officer on June 23, 2021.

APPROVED SCOPE OF WORK:

Proposal to construct a 544 net sq.ft. addition to an existing 1 story single family residence, as well as a new 390 sq.ft. front porch, new 275 sq.ft. rear covered patio, new 439 sq.ft. attached garage, and a new 244 sq.ft. roof deck. To accommodate the new garage location, the proposal also includes the demolition of the existing driveway and curb cut and construction of a new driveway and curb cut. The proposal also includes an interior remodel and replacement of the existing fences. Additionally, a second story 690 net sq.ft. accessory dwelling unit (ADU) is proposed over the proposed attached garage with a 120 sq.ft. front porch. The proposed project received approval for an Interior Setback Modification by the Staff Hearing Officer on June 23, 2021, and requests a Net Floor Area (Floor to Lot Area Ratio) Modification of the net floor area standards to allow 3,410 square feet on a 8,009 square foot lot and for a Front Setback Modification to allow one of the parking spaces for the primary residence to be uncovered and located in the driveway within the required 20-foot front setback.



TITLE SHEET
 PROJECT INFORMATION

Single Family Residential Addition
 for:
 Tyler & Brittany Dobson
 222 Mesa Lane,
 Santa Barbara, CA 93109

DATE	3/29/24
SCALE	N/A
DRAWN BY	M. HEFNER
CHECKED	
JOB #	

REVISIONS	BY	DATE

SHEET:

T1

F.A.R. Calculator

Instructions: Enter the information in the white boxes below. The spreadsheet will calculate the proposed FAR (floor area ratio), the 100% max FAR (per the Zoning Ordinance for "Required FAR"), and the 80% max FAR (per the Zoning Ordinance for "Required FAR"). Additionally it will determine whether a FAR Modification is required. "Guideline FAR" calculations are as outlined in the "Applicability" section of the Single Family Residence Design Guidelines, page 65-6.

ENTER Project Address:	222 Mesa Lane
Is there a basement or cellar existing or proposed?	No
ENTER Proposed TOTAL Net FAR Floor Area (in sq. ft.):	3,410
ENTER Zone ONLY from drop-down list:	E-3 or RS-7.5
ENTER Net Lot Area (in sq. ft.):	8,009
Is the height of existing or proposed buildings 17 feet or greater?	Yes
Are existing or proposed buildings two stories or greater?	Yes
The FAR Requirements are:	REQUIRED**
ENTER Average Slope of Lot:	2.00%
Does the height of existing or proposed buildings exceed 25 feet?	Yes
Is the site in the Hillside Design District?	No
Does the project include 500 or more cu. yds. of grading outside the main building footprint?	No
An FAR MOD is required per SBMC §28.15 or §30.20.030	

FLOOR AREA RATIO (FAR):	0.426
Lot Size Range:	4,000 - 9,999 sq.ft.
MAX FAR Calculation (in sq. ft.):	1,200 + (0.25 x lot size in sq.ft.)
100% MAX FAR:	0.400
100% MAX FAR (in sq. ft.):	3,202
85% of MAX FAR (in sq. ft.):	2,722
80% of MAX FAR (in sq. ft.):	2,562
The 3410 square foot proposed total is 107% of the MAX FAR.*	

* NOTE: Percentage total is rounded up.
 **NOTE: If your project is located on a site with multiple or overlay zones, please contact Planning Staff to confirm whether the FAR limitations are "Required" or "Guideline".

Acreage Conversion Calculator	
ENTER Acreage to Convert to square footage:	1.00
Net Lot Area (in sq. ft.):	43560

PLANNING COMMISSION APPROVED F.A.R.

F.A.R. Calculator

Instructions: Enter the information in the white boxes below. The spreadsheet will calculate the proposed FAR (floor area ratio), the 100% max FAR (per the Zoning Ordinance for "Required FAR"), and the 80% max FAR (per the Zoning Ordinance for "Required FAR"). Additionally it will determine whether a FAR Modification is required.

ENTER Project Address:	222 Mesa Lane
Is there a basement or cellar existing or proposed?	No
ENTER Proposed TOTAL Net FAR Floor Area (in sq. ft.):	2,825
ENTER Zone ONLY from drop-down list:	E-3
ENTER Net Lot Area (in sq. ft.):	8,009
Is the height of existing or proposed buildings 17 feet or greater?	No
Are existing or proposed buildings two stories or greater?	No
The FAR Requirements are:	GUIDELINE**
ENTER Average Slope of Lot:	2.00%
Does the height of existing or proposed buildings exceed 25 feet?	No
Is the site in the Hillside Design District?	No
Does the project include 500 or more cu. yds. of grading outside the main building footprint?	No
An FAR MOD is not required per SBMC §28.15	

FLOOR AREA RATIO (FAR):	0.353
Lot Size Range:	4,000 - 9,999 sq.ft.
MAX FAR Calculation (in sq. ft.):	1,200 + (0.25 x lot size in sq.ft.)
100% MAX FAR:	0.400
100% MAX FAR (in sq. ft.):	3,202
85% of MAX FAR (in sq. ft.):	2,722
80% of MAX FAR (in sq. ft.):	2,562
The 2825 square foot proposed total is 89% of the MAX FAR.*	

* NOTE: Percentage total is rounded up.
 **NOTE: If your project is located on a site with multiple or overlay zones, please contact Planning Staff to confirm whether the FAR limitations are "Required" or "Guideline".

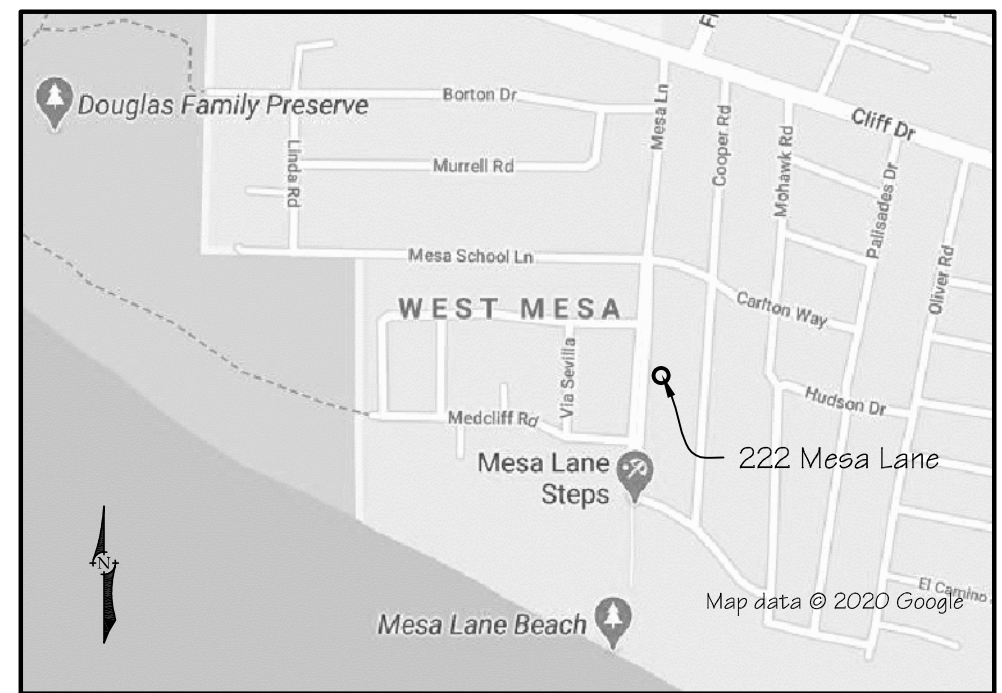
Acreage Conversion Calculator	
ENTER Acreage to Convert to square footage:	0.18
Net Lot Area (in sq. ft.):	8008.5

PROPOSED F.A.R.

GOVERNING CODES:

Title 24, California Code of Regulations (CCR) as adopted by City of Santa Barbara Ordinance No. 5780

- Part 1 - 2022 California Building Standards Administrative Code
- Part 2 - 2022 California Building Code
- Part 2.5 - 2022 California Residential Code
- Part 3 - 2022 California Electrical Code
- Part 4 - 2022 California Mechanical Code
- Part 5 - 2022 California Plumbing Code
- Part 6 - 2022 California Energy Code
- Part 8 - 2022 California Historical Building Code
- Part 9 - 2022 California Fire Code
- Part 10 - 2022 California Existing Building Code
- Part 11 - 2022 California Green Building Standards Code
- Part 12 - 2022 California Referenced Standards Code



VICINITY MAP

PLANNING COMMISSION APPROVED AREA CALCULATIONS

Existing Area

Existing Residence - Gross	1,502 SqFt
Existing Residence - Net	1,453 SqFt
Existing Detached Garage - Gross	324 SqFt
Existing Detached Garage - Net	303 SqFt
(Conversion to Accessory Structure)	

Proposed Area

Proposed Residence - Gross	
First Floor	2,134 SqFt
Second Floor (ADU)	740 SqFt
Total Gross Residential Area	2,874 SqFt

Proposed Residence - Net	
First Floor	1,997 SqFt
Second Floor (ADU)	690 SqFt
Total Net Residential Area	2,687 SqFt

Proposed Garage - Gross	439 SqFt
Proposed Garage - Net	420 SqFt

Proposed Accessory Structure - Gross	324 SqFt
Proposed Accessory Structure - Net	303 SqFt
(Conversion from Existing Garage)	

Net Total Proposed Area 3,410 SqFt

Proposed Exterior Area

Covered Front Porch	390 SqFt
Covered Rear Patio	275 SqFt
ADU Porch	120 SqFt
Roof Deck	224 SqFt

LOT COVERAGE

	Existing Sq.Ft.	Proposed Sq.Ft.
Building Footprints	1,826.0 (23.0%)	3,307.0 (41.0%)
Paving / Driveway	2,206.0 (27.5%)	1,775.0 (22.0%)
Landscaping	3,976.5 (49.5%)	2,926.5 (37.0%)

PARKING CALCULATIONS

Primary Residence (Existing):	1 Covered Space
Primary Residence (Required):	2 Covered Spaces
Primary Residence (Proposed):	1 Covered Space
	1 Uncovered Space in driveway (tandem configuration)
ADU (Existing):	NA
ADU (Required):	1 Covered Space
ADU (Proposed):	1 Covered Space

FLOOR TO LOT AREA RATIO (FAR)

Existing FAR Area	1,756 Sq.Ft.
Existing % of Maximum FAR (1,756 Sq.Ft./3,202 Sq.Ft.)	55%
Proposed FAR Area	3,410 Sq.Ft.
Proposed % of Maximum FAR (3,410 Sq.Ft./3,202 Sq.Ft.)	107%

FAR Area Calculation	
Proposed 1st Floor (Primary Residence)	1,997 Sq.Ft. (net)
Proposed 1st Floor (Garage)	420 Sq.Ft. (net)
Proposed 2nd Floor (ADU)	690 Sq.Ft. (net)
Proposed Accessory Structure	+ 303 Sq.Ft. (net)
	3,410 Sq.Ft.

STORM WATER MANAGEMENT PROGRAM CALCULATED AREAS

PRIVATE PARCEL PROPOSED NEW IMPERVIOUS AREA	
BUILDING AREA-	Residence Addition 1,202.0 Sq.Ft.
	Covered Porch 169.0 Sq.Ft.
HARDSCAPE AREA-	Driveway 429.0 Sq.Ft.
	Paving 408.0 Sq.Ft.
	TOTAL 2,208.0 Sq.Ft.

PRIVATE PARCEL PROPOSED REPLACED IMPERVIOUS AREA	
BUILDING AREA-	Covered Porch 221.0 Sq.Ft.
HARDSCAPE AREA-	Paving 938.0 Sq.Ft.
	TOTAL 1,159.0 Sq.Ft.

PRIVATE PARCEL PROPOSED REMOVED IMPERVIOUS AREA	
HARDSCAPE AREA-	Driveway 511.0 Sq.Ft.
	Paving 646.5 Sq.Ft.
	TOTAL 1,157.5 Sq.Ft.

PROW PROPOSED NEW IMPERVIOUS AREA	
HARDSCAPE AREA-	Driveway Apron 80.0 SqFt.

PROW PROPOSED REMOVED IMPERVIOUS AREA	
HARDSCAPE AREA-	Driveway Apron 80.0 SqFt.

TOTAL NEW OR REPLACED IMPERVIOUS AREA	
PRIVATE PARCEL NEW IMPERVIOUS AREA	2,208.0 Sq.Ft.
PRIVATE PARCEL REPLACED IMPERVIOUS AREA	1,159.0 Sq.Ft.
PROW NEW IMPERVIOUS AREA	80.0 Sq.Ft.
	TOTAL 3,447.0 Sq.Ft.

3,447.0 Sq.Ft. < 4,000.0 Sq.Ft. = Tier 2 SWMP Requirements

PROPOSED AREA CALCULATIONS

Existing Area

Existing Residence - Gross	1,502 SqFt
Existing Residence - Net	1,453 SqFt
Existing Detached Garage - Gross	324 SqFt
Existing Detached Garage - Net	303 SqFt
(Conversion to Accessory Structure)	

Proposed Area

Proposed Residence - Gross	2,172 SqFt
Proposed Residence - Net	2,102 SqFt

Proposed Garage - Gross	439 SqFt
Proposed Garage - Net	420 SqFt

Proposed Accessory Structure - Gross	324 SqFt
Proposed Accessory Structure - Net	303 SqFt
(Conversion from Existing Garage)	

Net Total Proposed Area 2,825 SqFt

Proposed Exterior Area

Covered Front Porch	397 SqFt
Covered Rear Patio	275 SqFt
Roof Deck	219 SqFt

LOT COVERAGE

	Existing Sq.Ft.	Proposed Sq.Ft.
Building Footprints	1,826.0 (23.0%)	2,935.0 (37.0%)
Paving / Driveway	2,206.0 (27.5%)	2,179.5 (27.0%)
Landscaping	3,976.5 (49.5%)	2,894.0 (36.0%)

PARKING CALCULATIONS

Primary Residence (Existing):	1 Covered Space
Primary Residence (Required):	2 Covered Spaces
Primary Residence (Proposed):	2 Covered Spaces

FLOOR TO LOT AREA RATIO (FAR)

Existing FAR Area	1,756 Sq.Ft.
Existing % of Maximum FAR (1,756 Sq.Ft./3,202 Sq.Ft.)	55%
Proposed FAR Area	2,825 Sq.Ft.
Proposed % of Maximum FAR (2,825 Sq.Ft./3,202 Sq.Ft.)	89%

FAR Area Calculation	
Proposed 1st Floor (Primary Residence)	2,102 Sq.Ft. (net)
Proposed 1st Floor (Garage)	420 Sq.Ft. (net)
Proposed Accessory Structure	+ 303 Sq.Ft. (net)
	2,825 Sq.Ft.

STORM WATER MANAGEMENT PROGRAM CALCULATED AREAS

PRIVATE PARCEL PROPOSED NEW IMPERVIOUS AREA	
BUILDING AREA-	Residence Addition 1,262.0 Sq.Ft.
	Covered Porch 168.0 Sq.Ft.
HARDSCAPE AREA-	Driveway 429.0 Sq.Ft.
	Paving 436.0 Sq.Ft.
	TOTAL 2,295.0 Sq.Ft.

PRIVATE PARCEL PROPOSED REPLACED IMPERVIOUS AREA	
BUILDING AREA-	Covered Porch 221.0 Sq.Ft.
HARDSCAPE AREA-	Paving 924.0 Sq.Ft.
	TOTAL 1,145.0 Sq.Ft.

PRIVATE PARCEL PROPOSED REMOVED IMPERVIOUS AREA	
HARDSCAPE AREA-	Driveway 511.0 Sq.Ft.
	Paving 646.5 Sq.Ft.
	TOTAL 1,157.5 Sq.Ft.

PROW PROPOSED NEW IMPERVIOUS AREA	
HARDSCAPE AREA-	Driveway Apron 80.0 SqFt.

PROW PROPOSED REMOVED IMPERVIOUS AREA	
HARDSCAPE AREA-	Driveway Apron 80.0 SqFt.

TOTAL NEW OR REPLACED IMPERVIOUS AREA	
PRIVATE PARCEL NEW IMPERVIOUS AREA	2,295.0 Sq.Ft.
PRIVATE PARCEL REPLACED IMPERVIOUS AREA	1,145.0 Sq.Ft.
PROW NEW IMPERVIOUS AREA	80.0 Sq.Ft.
	TOTAL 3,520.0 Sq.Ft.

3,520.0 Sq.Ft. < 4,000.0 Sq.Ft. = Tier 2 SWMP Requirements



City of Santa Barbara California

CITY OF SANTA BARBARA STAFF HEARING OFFICER

RESOLUTION NO. 031-21
222 MESA LANE
MODIFICATION
JUNE 30, 2021

222 MESA LANE, ZONE: E-3/S-D-3 (ONE-FAMILY RESIDENCE/COASTAL OVERLAY ZONE), LAND USE DESIGNATION: 5 DWELLING/ACRE, APN: 041-322-009, PLN: 2020-00612, APPLICANT/OWNER: MATT HEPNER/TYLER DOBSON

The 8,008.5 square-foot site is currently developed with single family residence and a detached garage. The proposed project involves construction of a 544 net square-foot addition to the existing residence, as well as a new 390 square-foot front porch, new 275 square-foot rear covered patio, new 439 square-foot attached garage, and new 224 square-foot roof deck. The existing garage is proposed to be converted to an accessory building. To accommodate the new garage location, the proposal also includes the demolition of the existing driveway and curb cut and construction of a new driveway and curb cut. The proposal also includes an interior remodel. Additionally, a second story accessory dwelling unit (ADU) with its own front porch is proposed and will be reviewed under a separate application.

The discretionary application under the jurisdiction of the Staff Hearing Officer required for this project is an Interior Setback Modification to allow for an existing garage to be converted to an accessory building (SBMC §28.15.060.B.5 and SBMC §28.92.110.B).

The Environmental Analyst has determined that the project is exempt from further environmental review pursuant to the California Environmental Quality Act Guidelines Sections 15301, 15303, and 15305.

WHEREAS, the Staff Hearing Officer has held the required public hearing on the above application, and the Applicant was present.

WHEREAS, no one appeared to speak thereto, and the following exhibits were presented for the record:

- Staff Report with Attachments, June 23, 2021.
- Site Plans

NOW, THEREFORE BE IT RESOLVED that the City Staff Hearing Officer approved the subject application, making the following findings and determinations:

- The Staff Hearing Officer finds that the Interior Setback Modification is consistent with the purpose and intent of the zoning ordinance, specifically the intent to allow nonconforming development to continue to exist, and that the modification is an appropriate improvement on the lot.
The existing garage, proposed to be a detached accessory building, would not be expanding or moving any closer to the interior property line, and no windows on the wall fronting the interior property line are proposed to limit noise and privacy impacts to the neighbor.
- No Tentative Subdivision Map, Conditional Use Permit, Development Plan, Site Plan, or any other application that requires Planning Commission approval is proposed in conjunction with the Front Yard Modification.
- The project is not anticipated to significantly affect persons or property owners other than those entitled to notice.

This motion was passed and adopted on the 30th day of June, 2021 by the Staff Hearing Officer of the City of Santa Barbara.

I hereby certify that this Resolution correctly reflects the action taken by the City of Santa Barbara Staff Hearing Officer at its meeting of the above date.

 _____ June 30, 2021
Kathleen Goo, Commission Secretary Date

PLEASE BE ADVISED:

- This action of the Staff Hearing Officer can be appealed to the Planning Commission within ten (10) days after the date the action was taken by the Staff Hearing Officer.
- If the scope of work exceeds the extent described in the Modification request or that which was represented to the Staff Hearing Officer at the public hearing, it may render the Staff Hearing Officer approval null and void.
- If you have any existing zoning violations on the property, other than those included in the conditions above, they must be corrected within thirty (30) days of this action.
- Subsequent to the outcome of any appeal action, your next administrative step should be to apply for **Single Family Design Board (SFDB)** approval and then a building permit.
- PLEASE NOTE: A copy of this resolution shall be reproduced on the first sheet of the drawings submitted with the application for a building permit.** The location, size and design of the construction proposed in the application for the building permit shall not deviate from the location, size and design of construction approved in this modification.
- NOTICE OF APPROVAL TIME LIMITS:** The Staff Hearing Officer's action approving the Performance Standard Permit or Modifications shall expire two (2) years from the date of the approval, per SBMC §28.87.360, unless:
 - A building permit for the construction authorized by the approval is issued within twenty four months of the approval. (An extension may be granted by the Staff Hearing Officer if the construction authorized by the permit is being diligently pursued to completion.) or;
 - The approved use has been discontinued, abandoned or unused for a period of six months following the earlier of:
 - an Issuance of a Certificate of Occupancy for the use, or;
 - one (1) year from granting the approval.



City of Santa Barbara California

CITY OF SANTA BARBARA PLANNING COMMISSION

RESOLUTION NO. 008-22

222 MESA LANE

FLOOR TO LOT AREA MODIFICATION AND FRONT SETBACK MODIFICATION
OCTOBER 6, 2022

Assessor's Parcel Number: 041-322-009
Zoning Designation: E-3/S-D-3 (One-Family Residence/Coastal Overlay)
Application Number: PLN2020-00612
Applicant / Owner: Matt Hepner / Tyler Dobson

The 8,009-square-foot site is currently developed with a single-unit residence and detached garage. The proposed project involves improvements and additions to the existing residence, comprised of a 544-square-foot first-floor addition, a 690-square-foot second-story Accessory Dwelling Unit (ADU), 275-square-foot covered patio, 390-square-foot porch, and 224-square-foot roof deck. The project includes a new 420-square-foot attached garage, and the existing 303-square-foot detached garage will be converted into an accessory building. To accommodate the new garage location, the project includes demolition of the existing driveway and curb cut and construction of a new driveway and curb cut. The proposed total of 3,410 square feet on an 8,009-square-foot lot is 107% of the maximum required floor-to-lot area ratio.

The discretionary applications required for this project are:

- A Net Floor Area (Floor to Lot Area Ratio) Modification of the net floor area standards to allow 3,410 square feet on an 8,009 square foot lot (SBMC §28.15.083.D and §28.92.110); and
- A Front Setback Modification to allow one of the parking spaces for the primary residence to be uncovered and located in the driveway within the required 20-foot front setback (SBMC §20.15.060.A and §28.92.110).

WHEREAS, the Planning Commission has held the required public hearing on the above application, and the Applicant was present.

WHEREAS, no one appeared to speak and the following exhibits were presented for the record:

- Staff Report with Attachments, September 29, 2022
- Project Plans
- Correspondence received:
 - Paulina Conn
 - Robert Chao

NOW, THEREFORE BE IT RESOLVED that the City Planning Commission:

- Approved the subject application, making the following findings and determinations:

A. NET FLOOR AREA (FLOOR TO LOT AREA RATIO) MODIFICATION

- Not less than five members of the Single-Family Design Board (SFDB) have voted in support of the modification following a concept review of the project;

On August 1, 2022, the SFDB voted 5/0/0 in support of the Floor to Lot Area Ratio (FAR) Modification.

- The subject lot has a physical condition (such as the location, surroundings, topography, or the size of the lot relative to other lots in the neighborhood) that does not generally exist on other lots in the neighborhood; and

The physical condition of the lot provides for a modest single-story residence with a narrow second-story to accommodate the proposed one-bedroom Accessory Dwelling Unit (ADU). The design generally complies with required setbacks and provides adequate open yard and parking required for the proposed use. There is an existing one-story structure at the rear of the lot that will be converted to accessory floor area. Although this structure could be demolished to avoid the FAR modification, it serves as storage that is not amply available within the residence, and as a divider between the adjacent neighbor. This structure previously received a setback modification to be converted from a garage to an accessory building and removal would not materially improve the project's impact on the neighborhood.

- The physical condition of the lot allows the project to be compatible with existing development within the neighborhood that complies with the net floor area standard.

The design of the project was found to be compatible with existing development within the neighborhood by the SFDB, specifically in size, bulk, and scale, and use of quality architectural materials. The primary residence remains relatively modest in size and provides three bedrooms, while the narrow upper-story addition provides adequate floor area to include an accessory dwelling unit.

B. FRONT SETBACK MODIFICATION

- The modification is consistent with the purpose and intent of the Ordinance, and is necessary to (i) secure an appropriate improvement on the lot, (ii) prevent unreasonable hardship, (iii) promote uniformity of improvement, or (iv) the modification is necessary to construct a housing development containing affordable dwelling units rented or owned and occupied in the manner provided for in the City's Affordable Housing Policies and Procedures as defined in subsection A of Section 28.43.020 of this code.

The modification is consistent with purpose and intent of the Zoning Ordinance and is necessary to secure an appropriate improvement on the lot. The parking space will maintain the required parking for the primary residence with the proposed tandem configuration, while accommodating an additional space within the garage for the ADU. The proposed location in the driveway will reduce unnecessary paving in the front setback and front yard, thereby allowing for additional outdoor space for the benefit of the property and visual relief within the neighborhood. Impacts to neighbors are not anticipated, given that parking generally does not contribute to additional noise or privacy concerns. The property is also located in a key public access area in the coastal zone, therefore the proposal is considered a benefit to the property and surrounding neighborhood.

This motion was passed and adopted on the 6th day of October, 2022 by the Planning Commission of the City of Santa Barbara, by the following vote:

AYES: 6 NOES: 0 ABSTAIN: 0 ABSENT: 1 (Baucke)

I hereby certify that this Resolution correctly reflects the action taken by the City of Santa Barbara Planning Commission at its meeting of the above date.

 _____ 10/20/2022
Gillian Fennessy, Commission Secretary Date

PLEASE BE ADVISED:

THIS ACTION OF THE PLANNING COMMISSION CAN BE APPEALED TO THE CITY COUNCIL WITHIN TEN (10) CALENDAR DAYS AFTER THE DATE THE ACTION WAS TAKEN BY THE PLANNING COMMISSION.



TITLE SHEET
 Area Calculations
 SHO Resolution 6/30/2021
 Planning Commission Resolution 10/6/2021

Single Family Residential Addition
 for:
Tyler & Brittany Dobson
 222 Mesa Lane,
 Santa Barbara, CA 93109

DATE	3/29/24
SCALE	N/A
DRAWN BY	M. HEFNER
CHECKED	
JOB #	

REVISIONS	BY	DATE

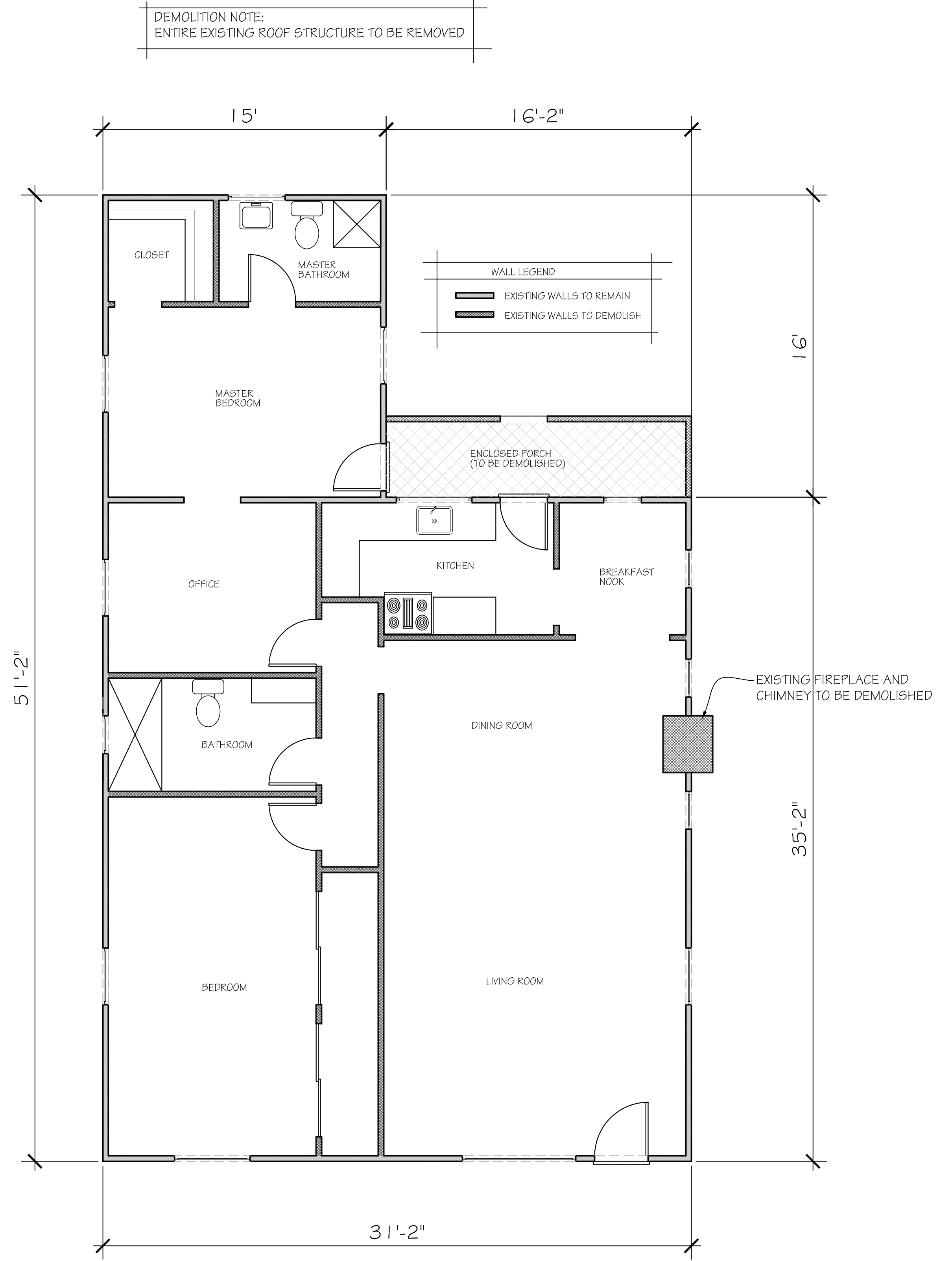
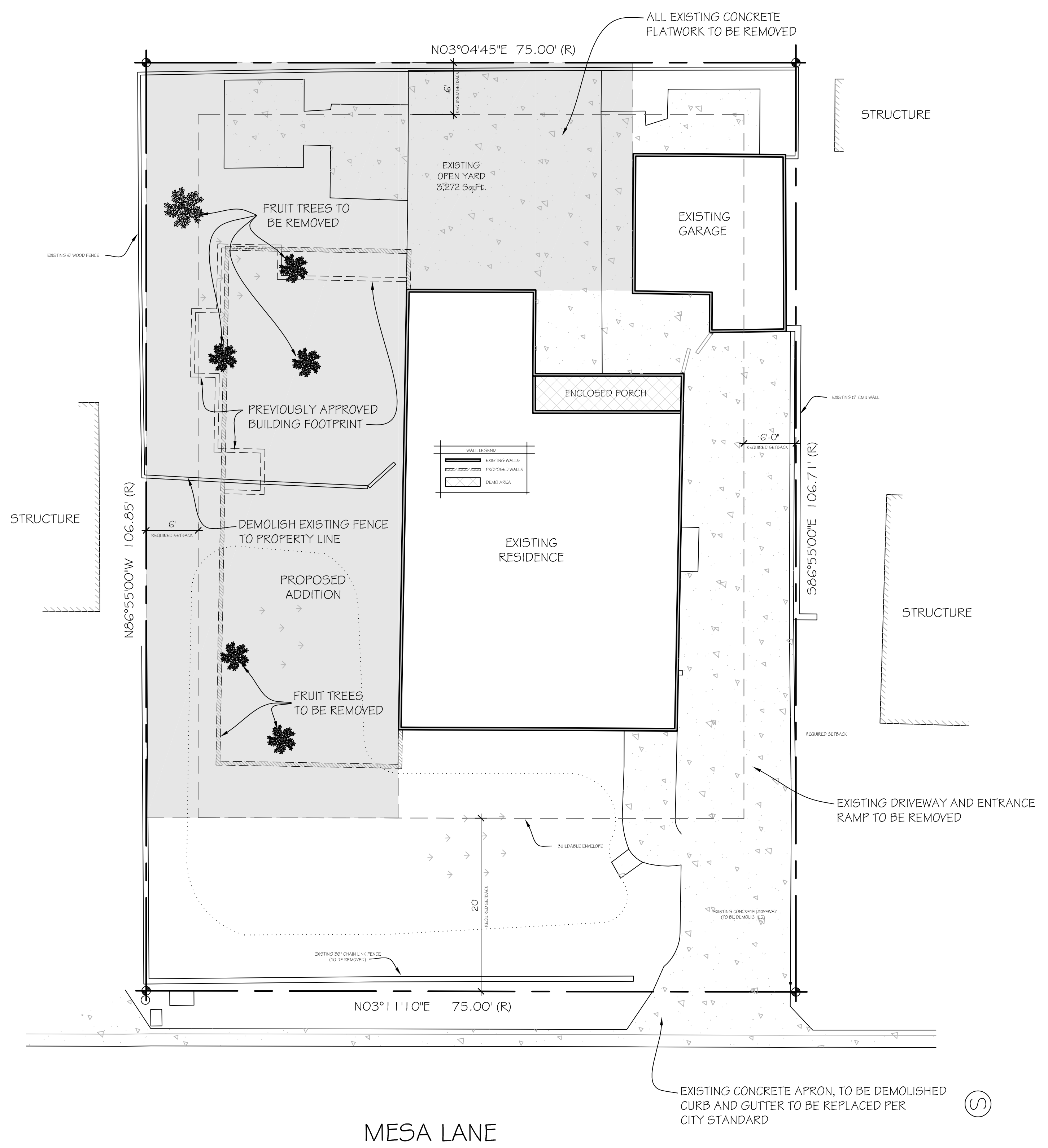
SHEET:
T2

Single Family Residential Addition
 for:
Tyler & Brittany Dobson
 222 Mesa Lane,
 Santa Barbara, CA 93109

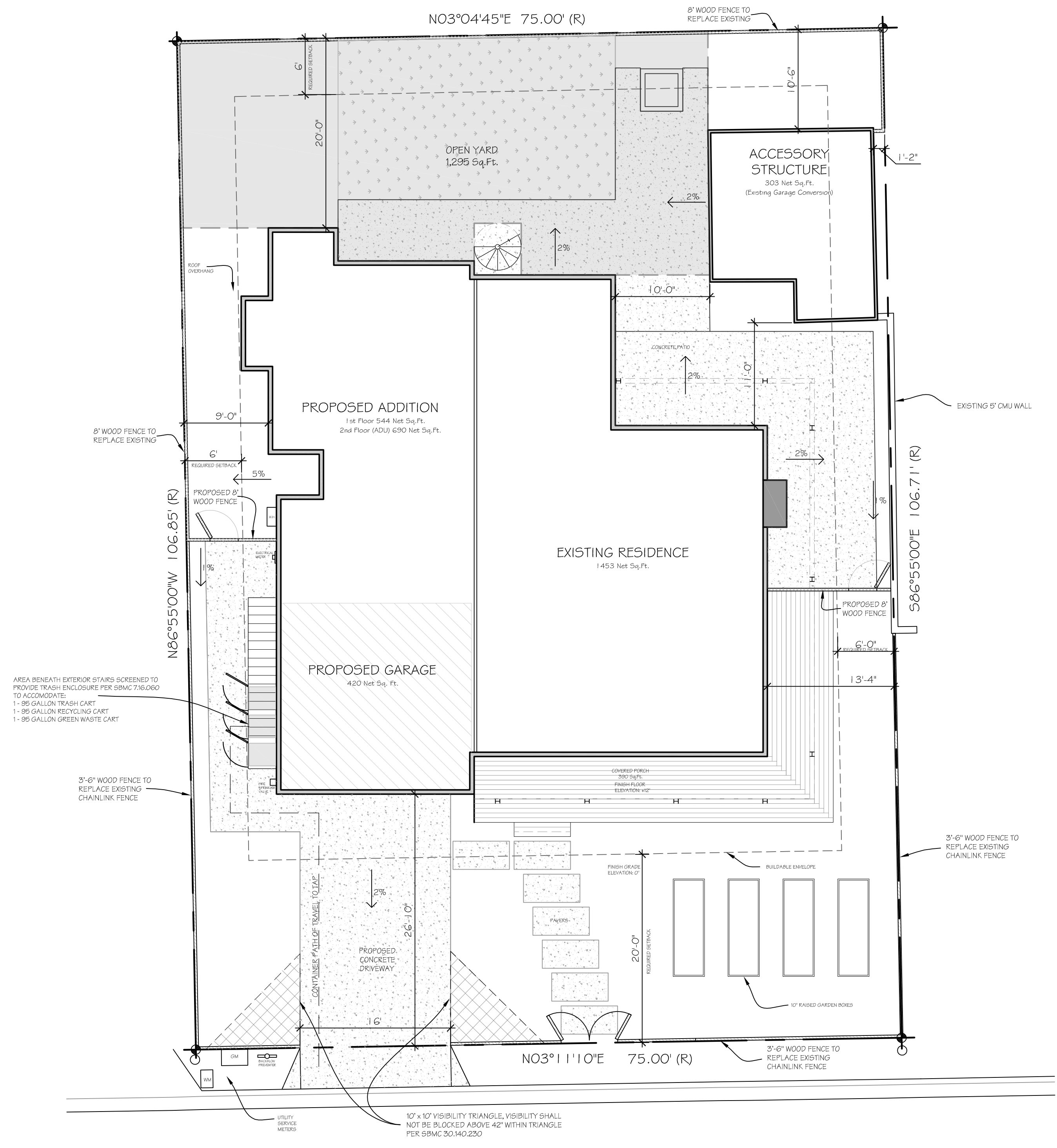
DATE	3/29/24
SCALE	VARIES
DRAWN BY	M. HEPNER
CHECKED	
JOB #	

REVISIONS	BY	DATE

SHEET:



GRADING/DRAINAGE NOTES:
 GROUND IMMEDIATELY ADJACENT TO THE NEW FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NOT LESS THAN 6" (6% SLOPE) IN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF BUILDING SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING. R401.3



MESA LANE

PROPOSED SITE / ROOF PLAN
 SCALE: 1/8" = 1'-0"

PROPOSED SITE / ROOF PLAN

PROPOSED SITE PLAN
PROPOSED ROOF PLAN

Single Family Residential Addition

for:
Tyler & Brittany Dobson
 222 Mesa Lane,
 Santa Barbara, CA 93109

DATE	5/03/22
SCALE	1/8" = 1'-0"
DRAWN BY	M. HEPNER
CHECKED	
JOB #	

REVISIONS	BY	DATE

SHEET:

A1.1

EROSION / SEDIMENT CONTROL NOTES:

STOCKPILE MANAGEMENT

- Protection of stockpiles is a year-round requirement.
- Locate stockpiles a minimum of 15 m (50 ft) away from concentrated flows of storm water, drainage courses, and inlets.
- Bagged materials should be placed on pallets and under cover.
- All stockpiles shall be covered, stabilized, or protected with a temporary linear sediment barrier prior to the onset of precipitation.
- Treated wood shall be covered with plastic or comparable material and shall be placed on pallets prior to the onset of precipitation.

WASTE MANAGEMENT

- Dumpsters of sufficient size and number shall be provided to contain the solid waste generated by the project and properly serviced.
- Littering on the project site shall be prohibited.
- To prevent clogging of the storm drainage system litter and debris removal from drainage grates, trash racks, and ditch lines shall be a priority.
- Trash receptacles shall be provided in the Contractor's yard, field trailer areas, and at locations where workers congregate for lunch and break periods.
- Full dumpsters shall be removed from the project site.
- Storm water run-off shall be prevented from contacting stored solid waste through the use of berms, dikes, or other temporary diversion structures or through the use of measures to elevate waste from site surfaces.
- Solid waste storage areas shall be located at least 15 m (50 ft) from drainage facilities and watercourses and shall not be located in areas prone to flooding or ponding.
- Segregate potentially hazardous waste from non-hazardous construction site waste.
- Keep the site clean of litter debris.
- Make sure that toxic liquid wastes (e.g., used oils, solvents, and paints) and chemicals (e.g., acids, pesticides, additives, curing compounds) are not disposed of in dumpsters designated for construction debris.

TREE PROTECTION - NO NATIVE OR PROTECTED TREES ON SITE

- Protect existing on site vegetation per property owners request.

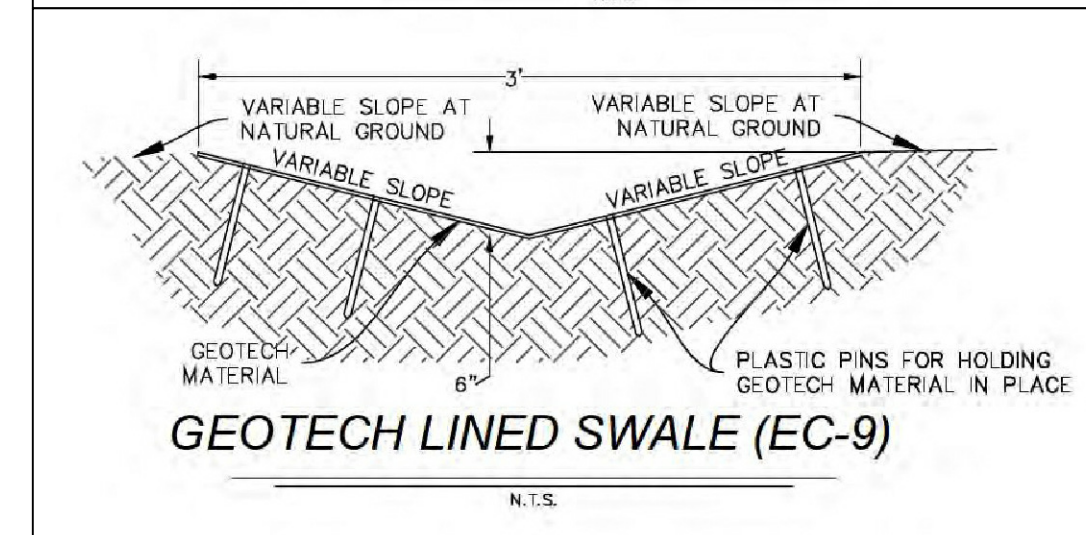
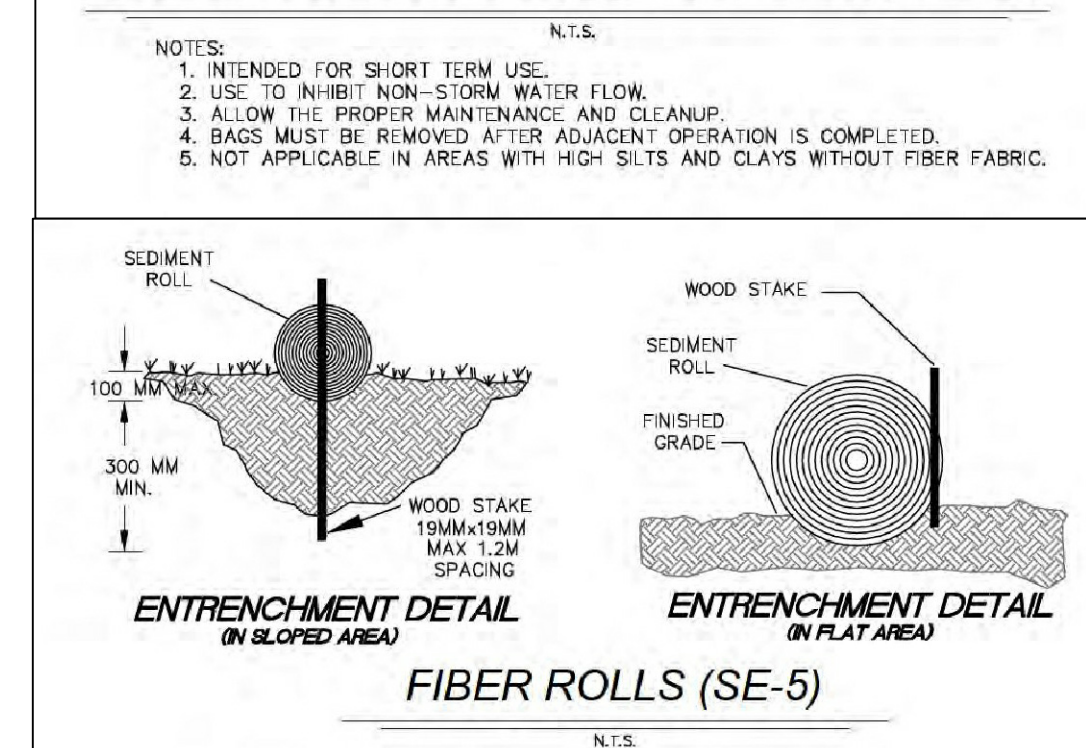
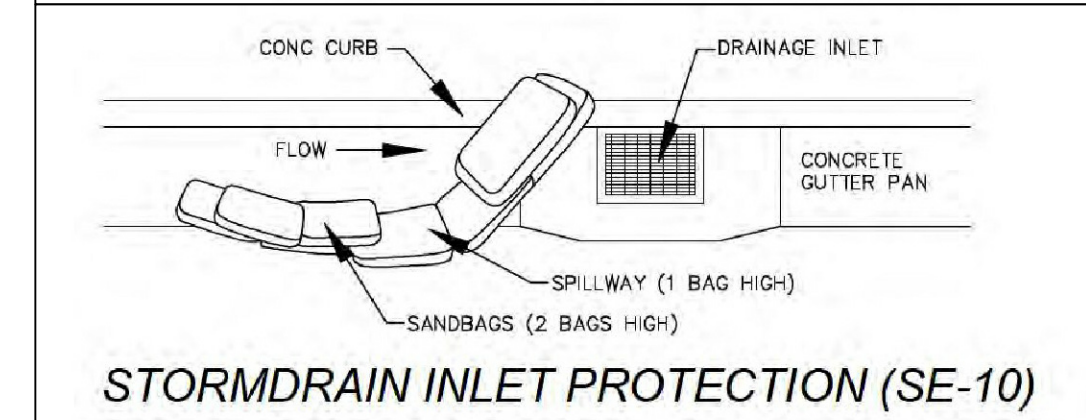
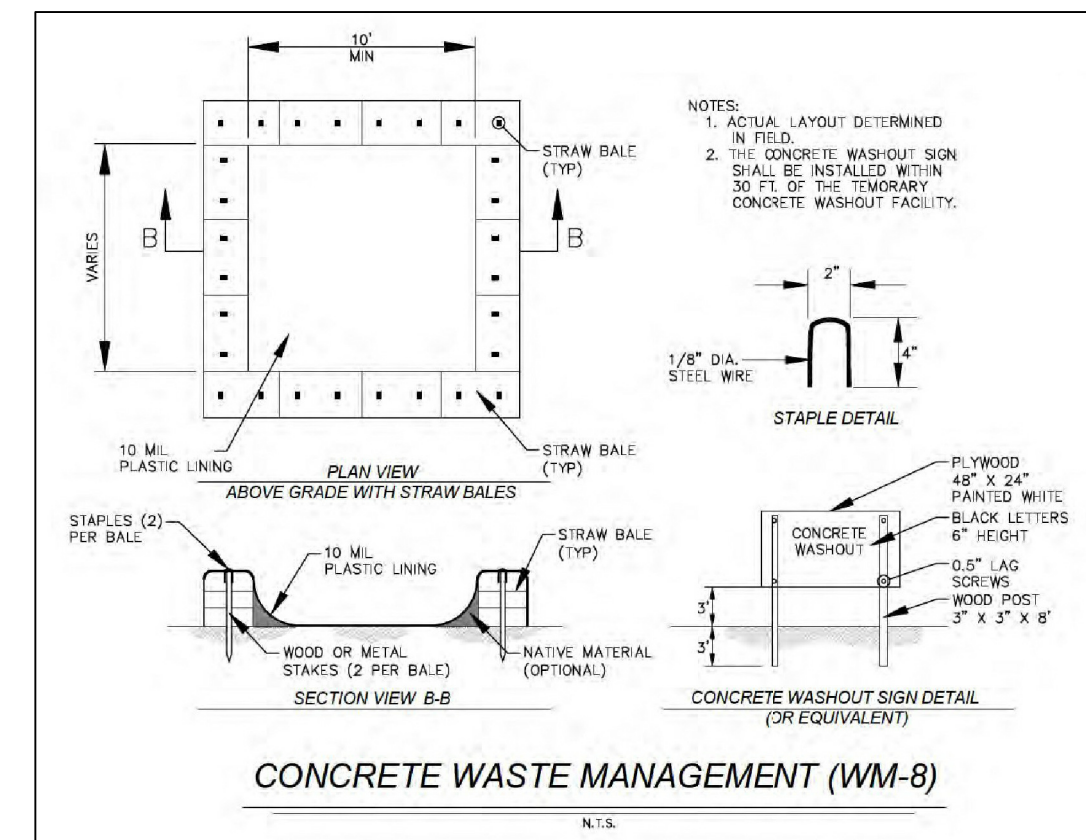
TRACKING CONTROL

- Construction entrance to be existing concrete driveway.
- Prevent vehicle and equipment tracking of sediment and other debris onto paved surfaces and prevent sediment from entering the storm drain system or watercourses.
- Clean and sweep roadway and gutter adjacent to driveway daily.

HAZARDOUS MATERIAL MANAGEMENT

- Wastes shall be stored in sealed containers constructed of a suitable material and shall be labeled as required by Title 22 CCR, Division 4.5 and 49 CFR Parts 172, 173, 175, and 176.
- All hazardous waste shall be stored, transported, and disposed as required in Title 22 CCR, Division 4.5 and 49 CFR 261-263.
- Paint brushes and equipment for water and oil based paints shall be cleaned within a contained area and shall not be allowed to contaminate site soils, watercourses or drainage systems. Waste paints, thinners, solvents, residues, and sludges that cannot be recycled or reused shall be disposed of as hazardous waste. When thoroughly dry, latex paint and paint cans, used brushes, rags, absorbent materials, and drop cloths shall be disposed of as solid waste.
- Ensure that adequate hazardous waste storage volume is available.
- Ensure that hazardous waste collection containers are conveniently located.
- Designate hazardous waste storage areas on site away from storm drains or watercourses and away from moving vehicles and equipment to prevent accidental spills.
- Minimize production or generation of hazardous materials and hazardous waste on the job site.
- Use containment berms in fueling and maintenance areas and where the potential for spills is high.
- Segregate potentially hazardous waste from non-hazardous construction site debris.
- Keep liquid or semi-liquid hazardous waste in appropriate containers (closed drums or similar) and under cover.
- Clearly label all hazardous waste containers with the waste being stored and the date of accumulation.
- Place hazardous waste containers in secondary containment.
- Do not allow potentially hazardous waste materials to accumulate on the ground.
- Do not mix wastes.

EROSION / SEDIMENT CONTROL BMPs:



BURIAL DEPTHS FOR RESIDENTIAL YARD PIPING
Including Gas - Electrical - Water - Sewer

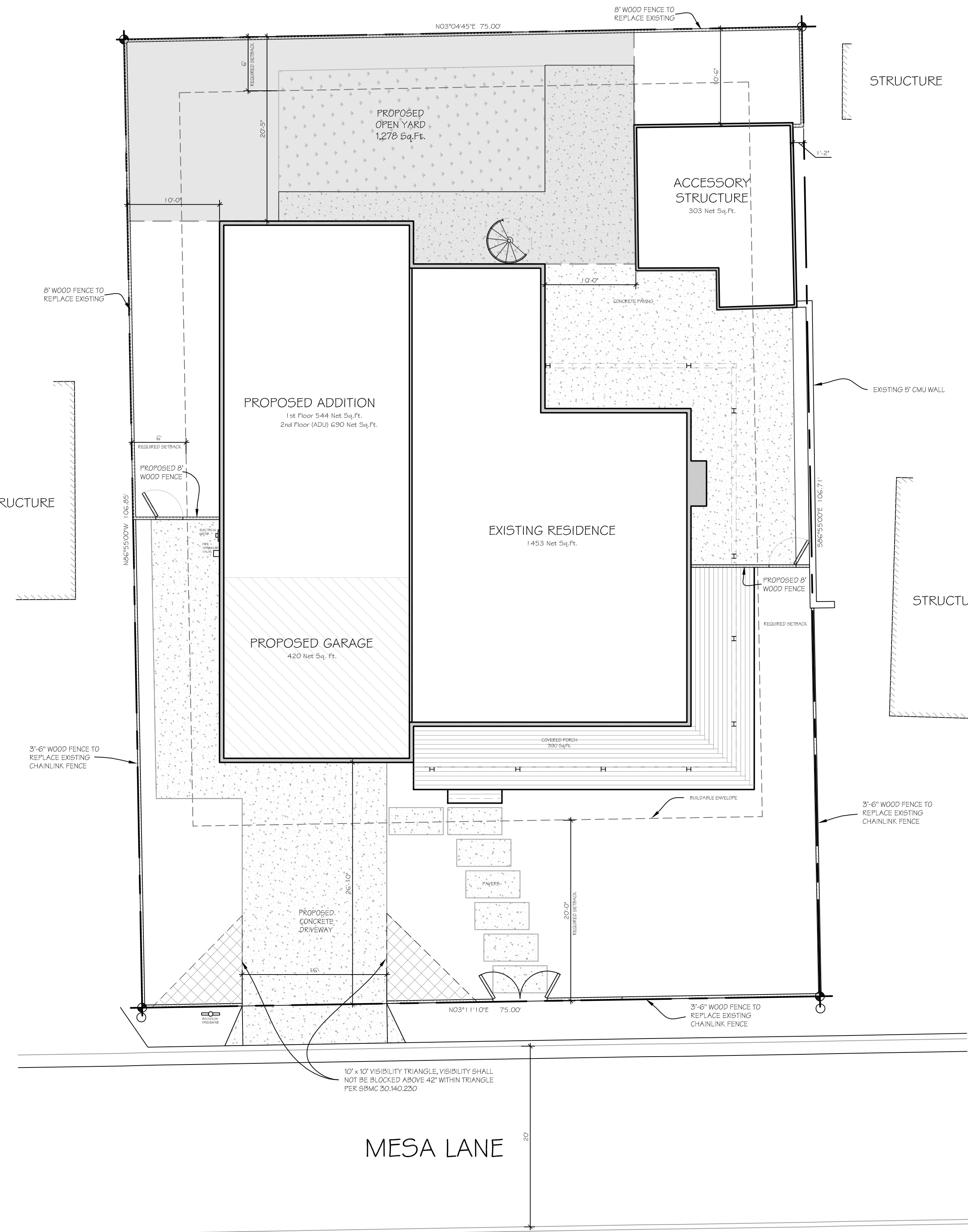
These depths apply outside of buildings within private property subject to the following provisions:
 1. Limited to Residential Branch Circuits Rated 120 Volts or Less with GFCI Protection and Maximum Overcurrent Protection of 20 Amperes
 2. Not applicable to Public Utility piping (piping BEFORE your meter)
 3. Pipes may be laid in the same trench without separation except as shown between sewer and water lines.

	ELECTRICAL	GAS	SEWER	WATER
GRADE	METAL (UNCOATED)		METAL	METAL (ABOVE GROUND)
6"	RIGID METAL CONDUIT			
12"	METAL (COATED)	NON-METALLIC (APPROVED FOR USE ABOVE GROUND)		NON-METALLIC
18"	RIGID NON-METALLIC CONDUIT	NON-METALLIC		
24"	DIRECT BURIAL		NON-METALLIC (NOT APPROVED FOR USE ABOVE GROUND)	

REDUCTION OF 6" IS ALLOWED WHEN A MINIMUM OF 2" OF CONCRETE COVER IS PLACED ABOVE RIGID NON-METALLIC CONDUIT AND FREEZE BURIAL CABLE. NO REDUCTION IS ALLOWED FOR RIGID METAL CONDUIT.

RESIDENTIAL BRANCH CIRCUITS RATED 120 VOLTS 20 AMP OR LESS WHEN GFCI PROTECTED MAY BE REDUCED TO 12" USING ANY WIRING METHOD.

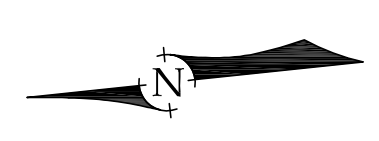
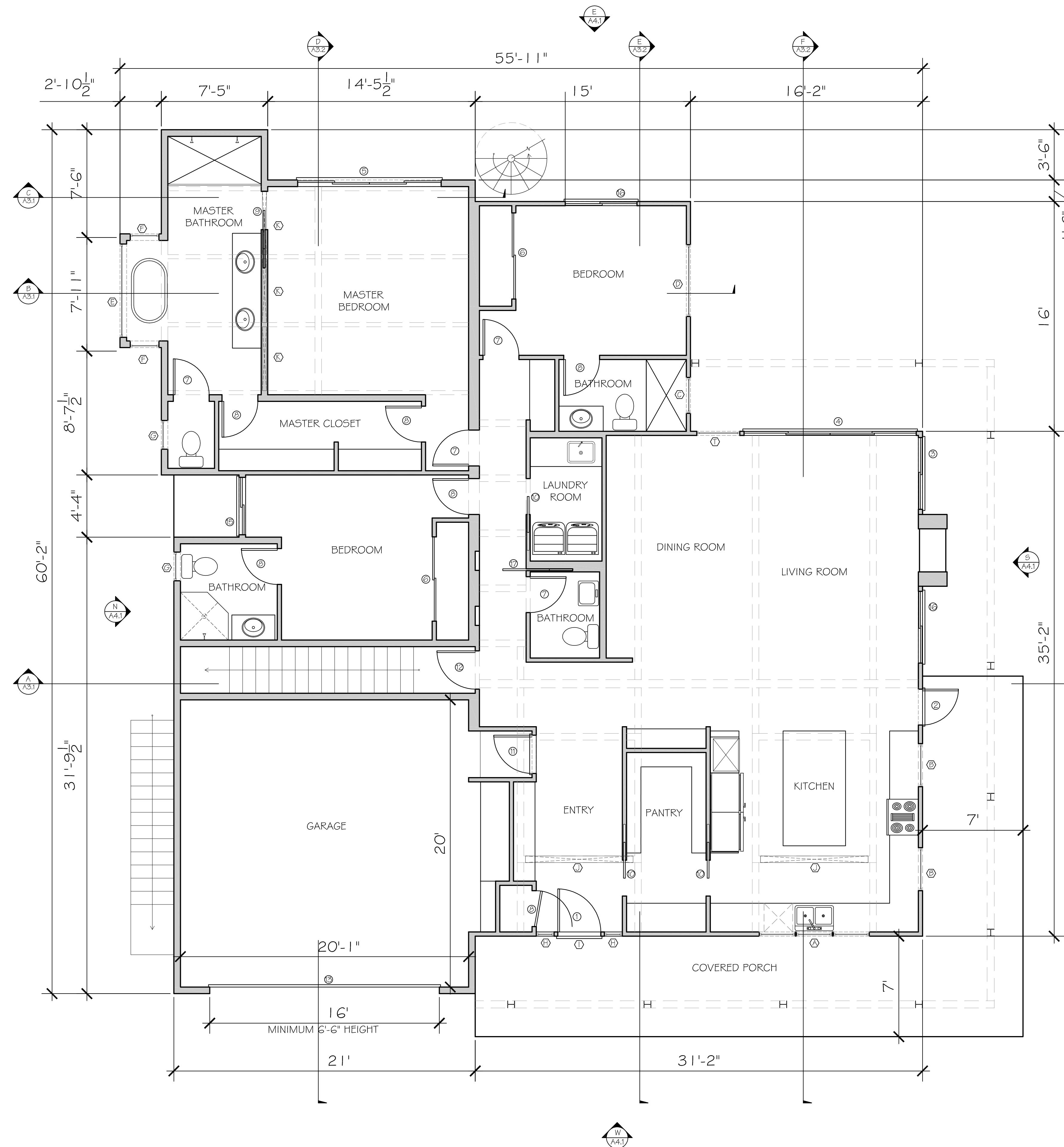
BASED ON THE 2022 CALIFORNIA ELECTRICAL AND PLUMBING CODES.



NOTE: CONTRACTOR IS RESPONSIBLE FOR KEEPING PUBLIC RIGHT OF WAY EXISTING CONDITIONS. ANY DAMAGE TO PUBLIC RIGHT OF WAY WILL BE REPAIRED TO CURRENT CITY STANDARDS AT THE EXPENSE OF CONTRACTOR. AN ENCROACHMENT PERMIT WILL BE REQUIRED PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

DATE	3/29/24
SCALE	1/8" = 1'-0"
DRAWN BY	M. HEPNER
CHECKED	
JOB #	

REVISIONS	BY	DATE



PROPOSED 1st FLOOR PLAN

SCALE: 1/4" = 1'-0"

1ST FLOOR PLAN

1st FLOOR PLAN

Single Family Residential Addition

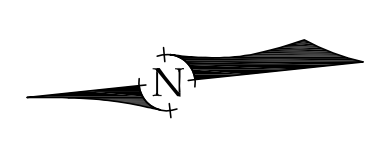
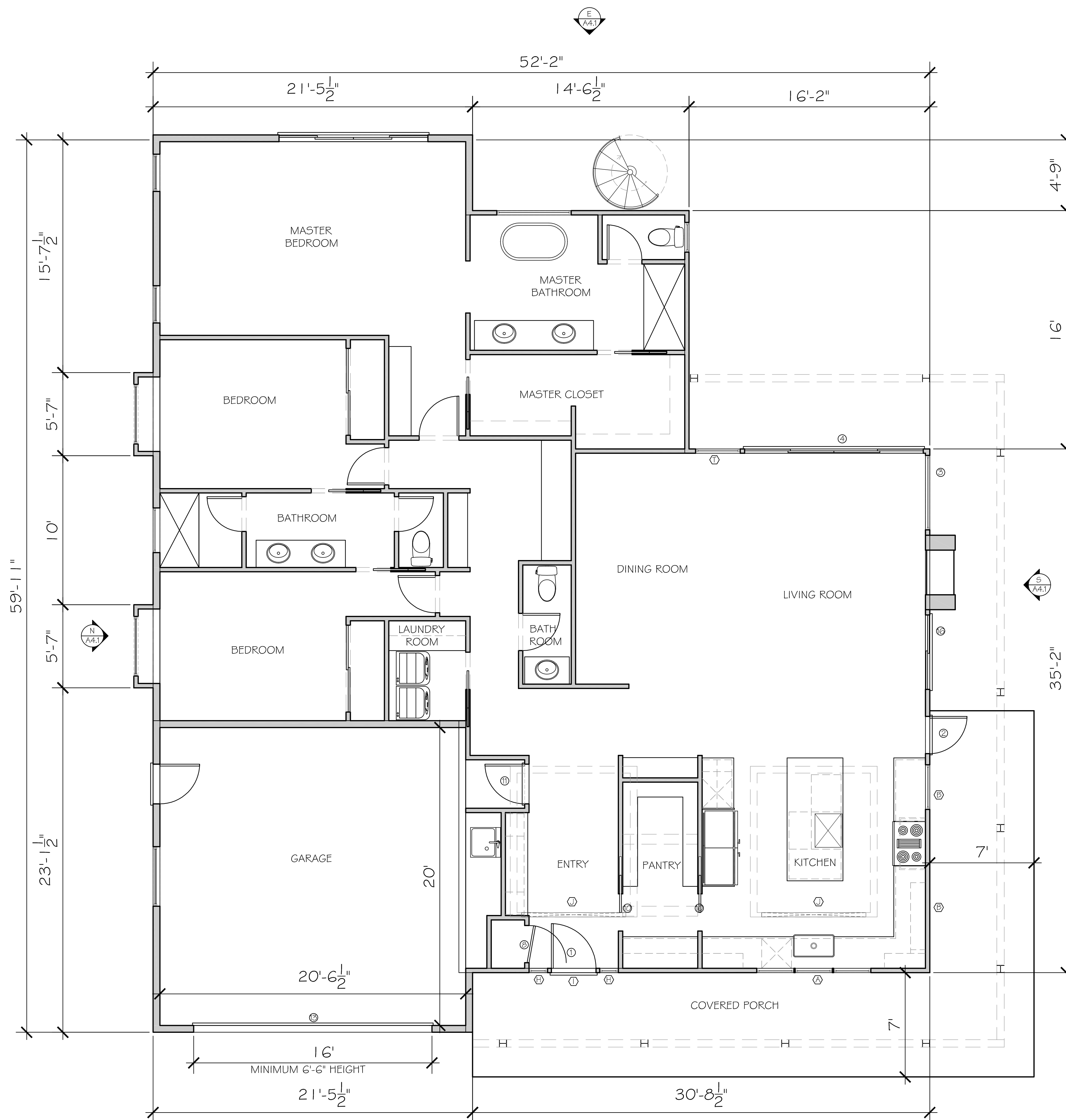
for:
Tyler & Brittany Dobson
 222 Mesa Lane,
 Santa Barbara, CA 93109

DATE	1/7/22
SCALE	1/4" = 1'-0"
DRAWN BY	M. HEPNER
CHECKED	
JOB #	

REVISIONS	BY	DATE

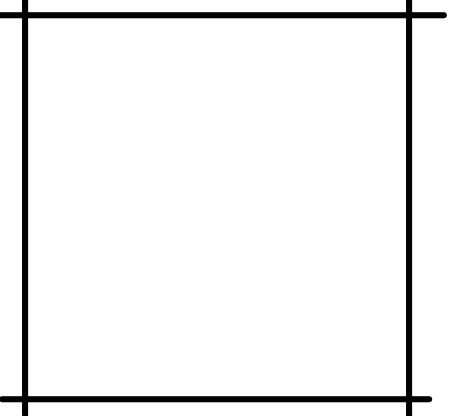
SHEET:

A2.1



PROPOSED REVISED FLOOR PLAN

SCALE: 1/4" = 1'-0"

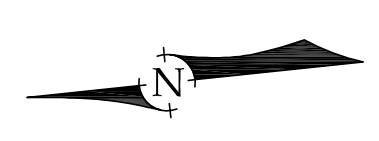
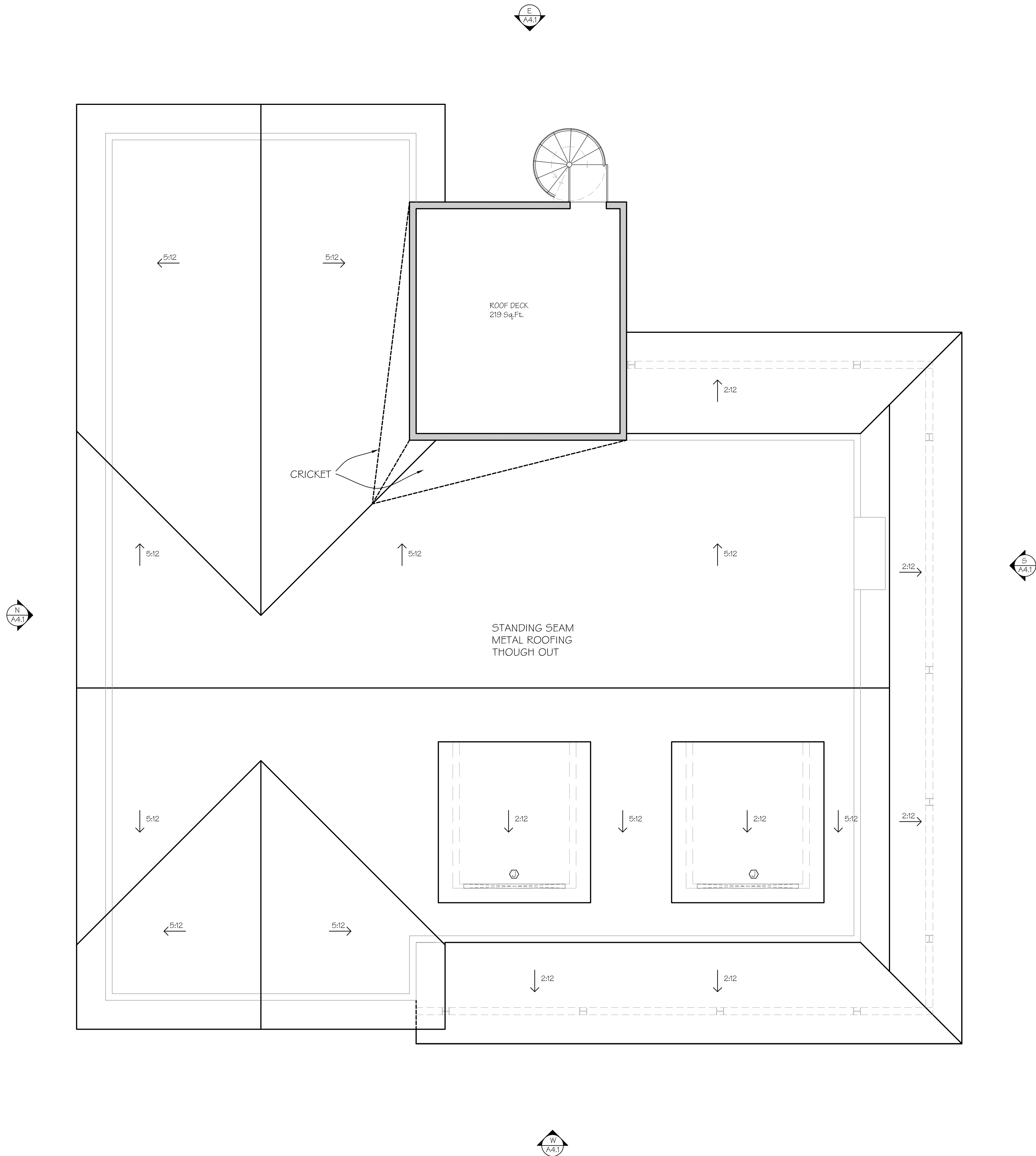


Single Family Residential Addition
 for:
Tyler & Brittany Dobson
 222 Mesa Lane,
 Santa Barbara, CA 93109

DATE	3/29/24
SCALE	1/4" = 1'-0"
DRAWN BY	M. HEPNER
CHECKED	
JOB #	

REVISIONS	BY	DATE

SHEET:
A2.1
 REVISED



PROPOSED REVISED ROOF PLAN
SCALE: 1/4" = 1'-0"

Single Family Residential Addition
 for:
Tyler & Brittany Dobson
 222 Mesa Lane,
 Santa Barbara, CA 93109

DATE	3/29/24
SCALE	1/4" = 1'-0"
DRAWN BY	M. HEPNER
CHECKED	
JOB #	

REVISIONS	BY	DATE

SHEET:

EXTERIOR ELEVATIONS

PROPOSED ELEVATIONS

Single Family Residential Addition

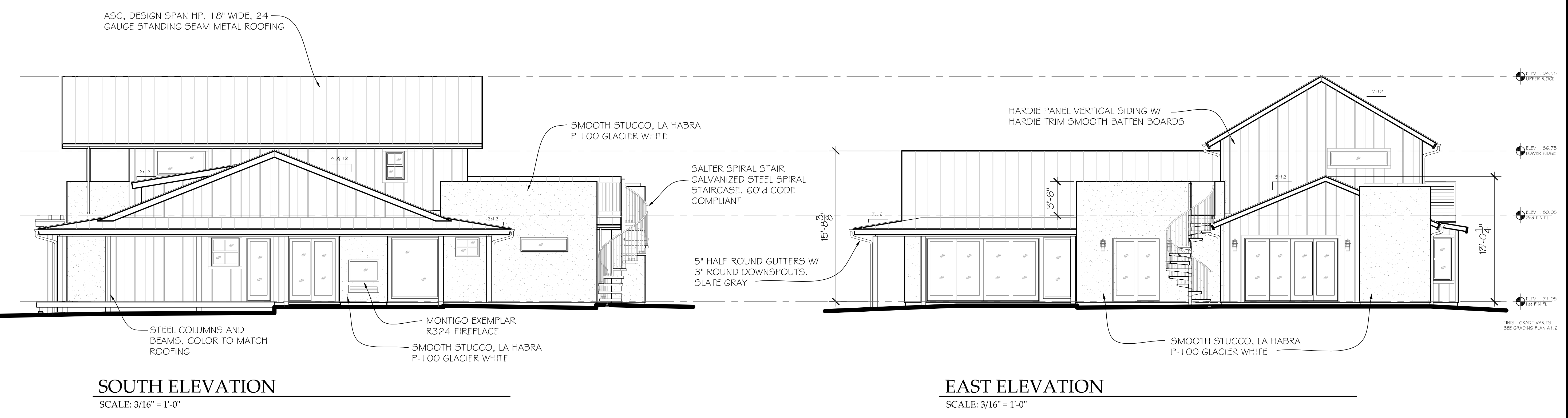
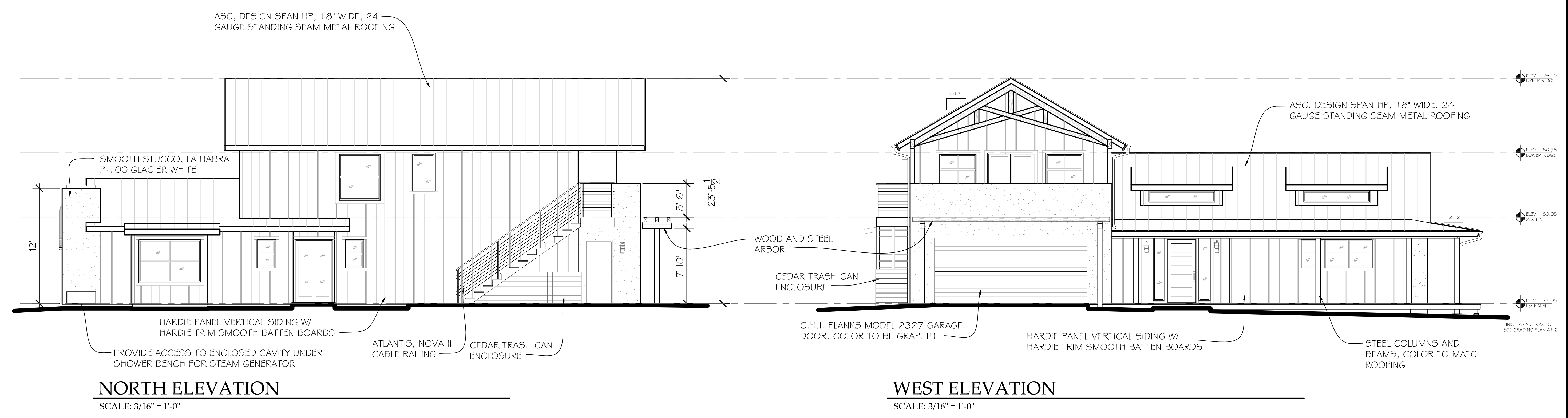
for:
Tyler & Brittany Dobson
 222 Mesa Lane,
 Santa Barbara, CA 93109

DATE	4/27/23
SCALE	1/4" = 1'-0"
DRAWN BY	M. HEPNER
CHECKED	
JOB #	

REVISIONS	BY	DATE

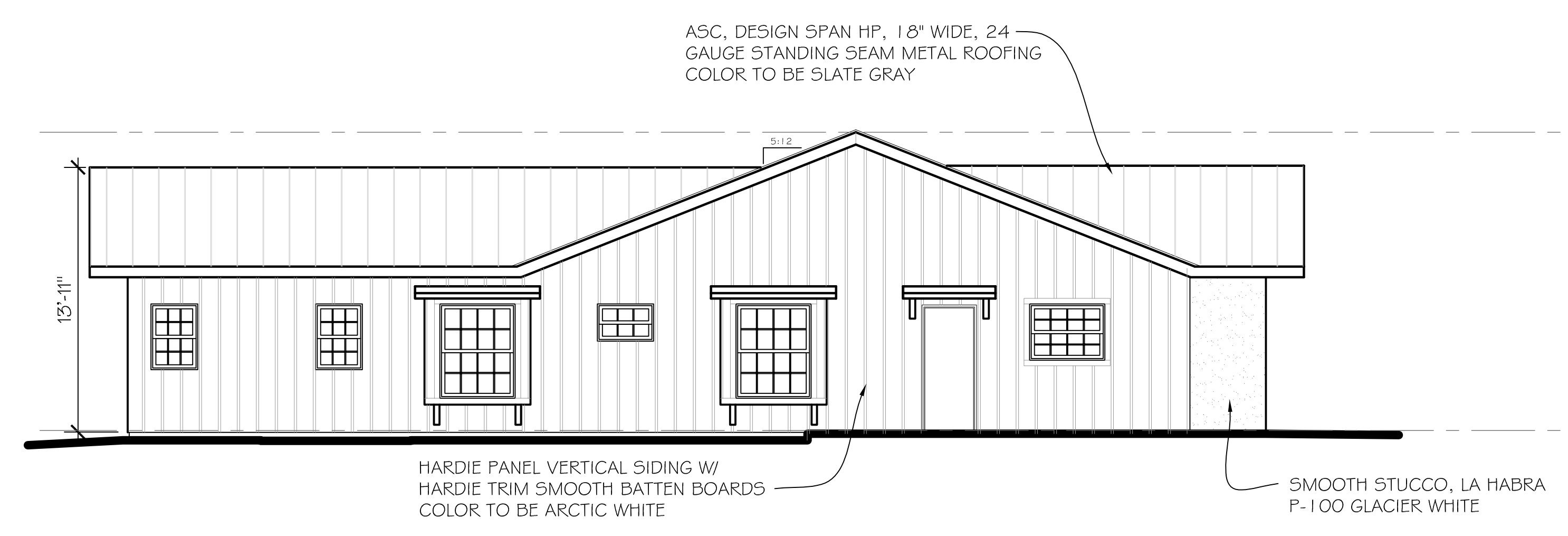
SHEET:

A4.1



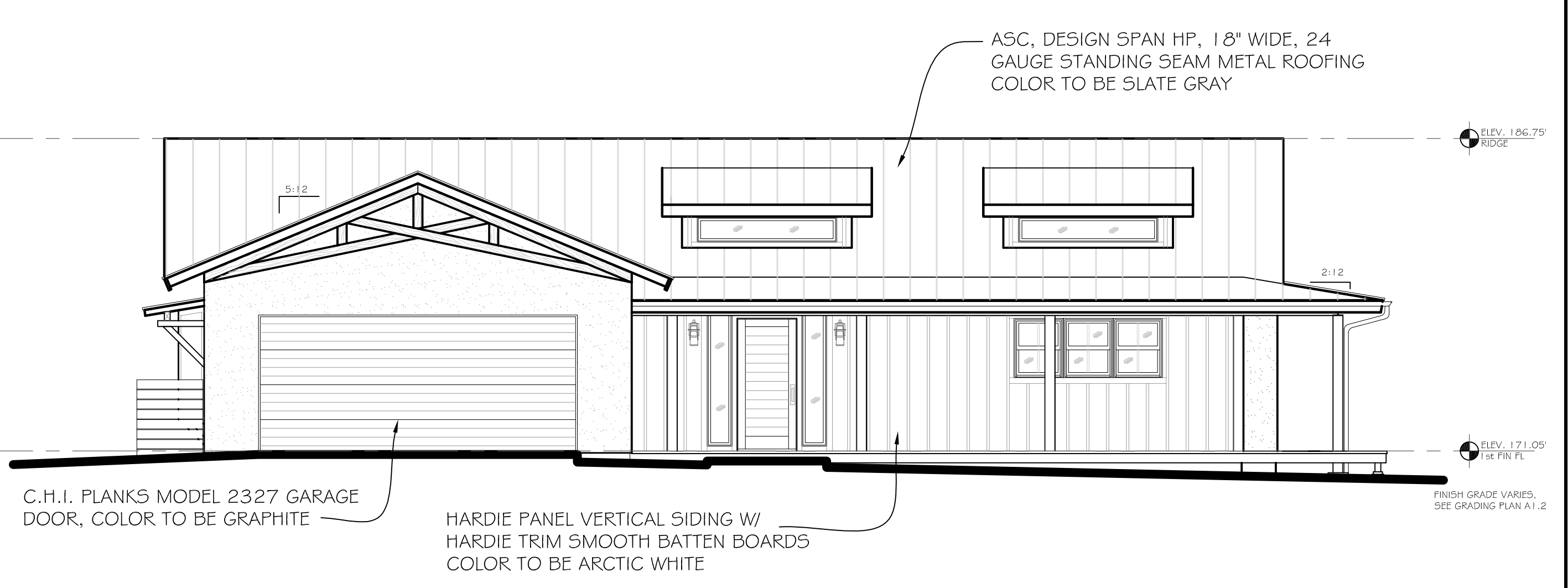
EXTERIOR ELEVATIONS

PROPOSED ELEVATIONS



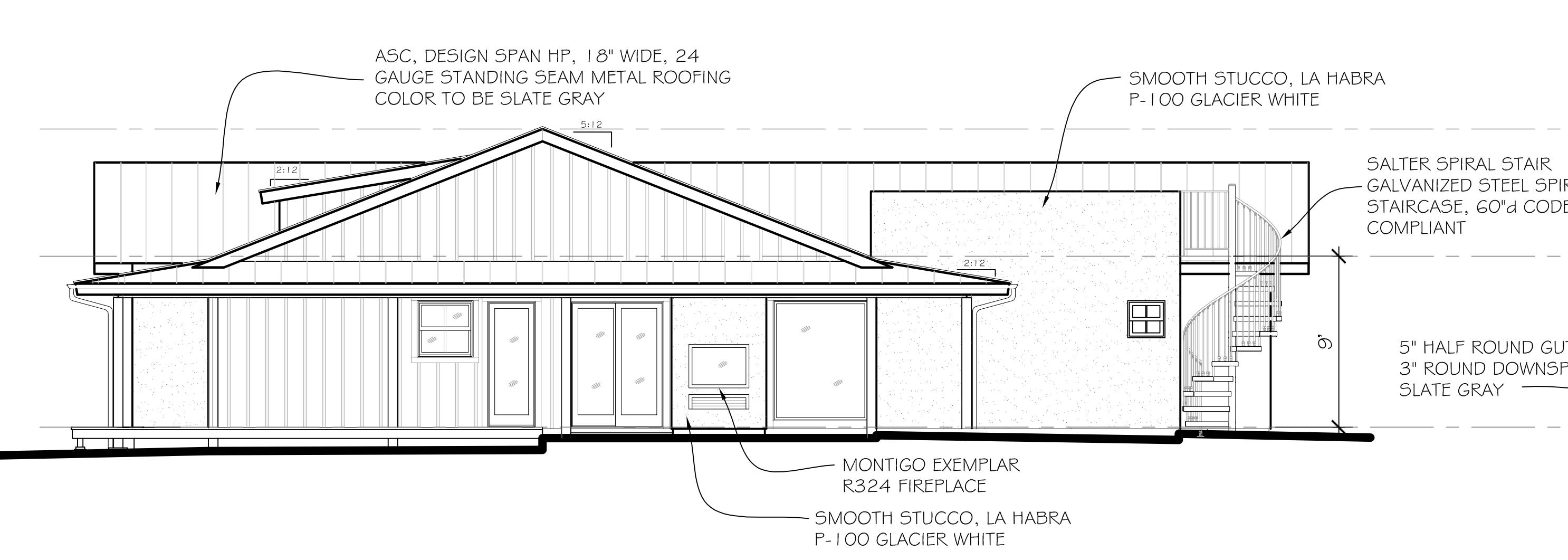
NORTH ELEVATION

SCALE: 3/16" = 1'-0"



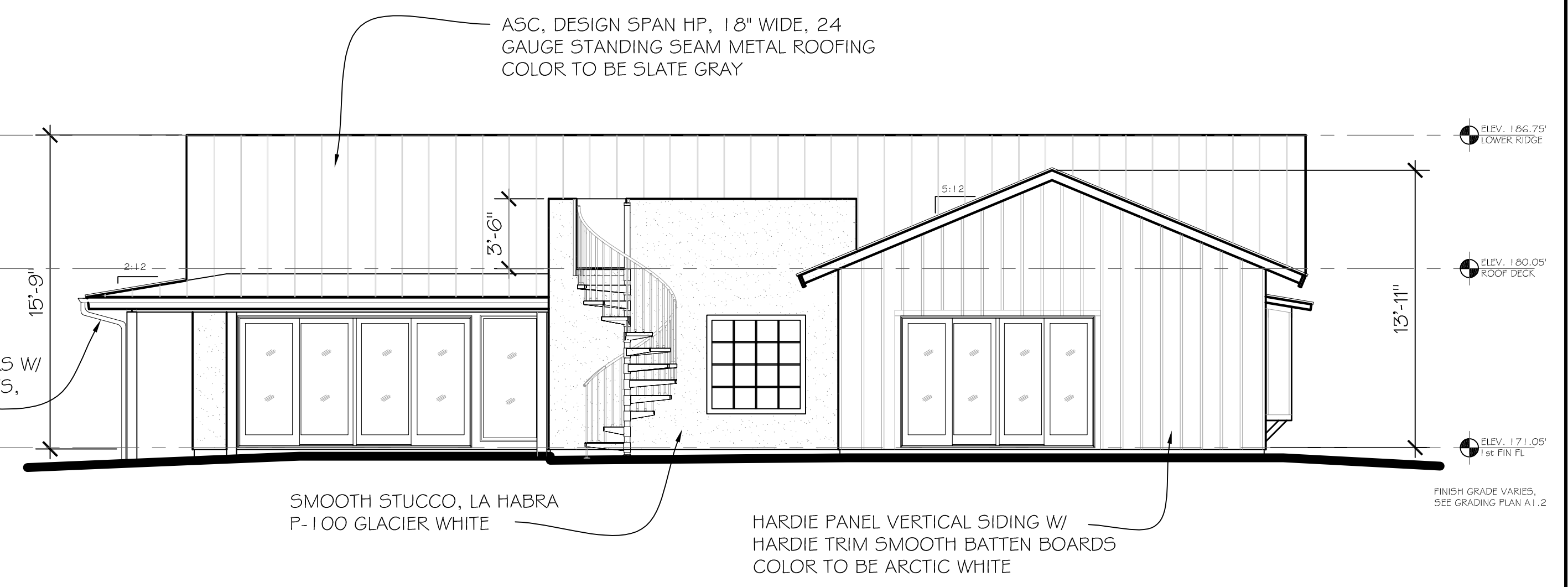
WEST ELEVATION

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION

SCALE: 3/16" = 1'-0"

Single Family Residential Addition

for:
Tyler & Brittany Dobson
 222 Mesa Lane,
 Santa Barbara, CA 93109

DATE	3/29/24
SCALE	N/A
DRAWN BY	M. HEPNER
CHECKED	
JOB #	

REVISIONS	BY	DATE

SHEET:

A4.1
 REVISED



FINAL APPROVAL CHECKLIST

SUPPLEMENTAL APPLICATION



GENERAL INFORMATION

WHAT IS FINAL APPROVAL?

Final approval is the last level of design review before applying for a Building Permit (BLD) application. Final approval generally occurs at a separate hearing, after project design approval, and includes a complete set of working drawings with all details, color samples, door hardware, and exterior lighting fixtures for review. Applicants may also request project design approval and final approval on the same hearing date, if sufficient details are provided.

HOW DOES THE PROCESS WORK?

Once a project receives project design approval, it shall constitute the substantive design approval of the project. If substantial changes to the plans are proposed after project design approval, a new project design approval will be required. Design review comments on final approval should only address whether the design substantially conforms to the project design approval, and comments on details and landscaping.

WHEN IS A COMPLETED CHECKLIST REQUIRED?

A completed **Final Approval Submittal Checklist** is required when you submit for final approval. To resubmit an application, upload documents, like plans and letters, into the record in the City's Accela Citizen Access Portal (ACA) system, along with the [Resubmittal Form](#). All forms must be completed, signed, and submitted as a PDF attachment to your electronic submittal.



FINAL APPROVAL CHECKLIST

Provide required details and sheet references with your submittal for final approval. Fill in the blank or indicate N/A if “not applicable”. Final approval does not permit the omission of any required information.

PROJECT ADDRESS: 222 Mesa Lane PLN RECORD ID: PLN2020-00612

ALL BUILDING ELEVATIONS		Sheet #			Sheet #
<input checked="" type="checkbox"/>	Exterior Details	<u>A4.1,A5</u>	<input checked="" type="checkbox"/>	Paint or Stain Color (trim, etc.)	<u>A4.1</u>
<input checked="" type="checkbox"/>	Exterior Finishes	<u>A4.1,A5</u>	<input checked="" type="checkbox"/>	Materials (roofing, plaster, etc.)	<u>A4.1</u>
<input checked="" type="checkbox"/>	Parapet Heights	<u>A5.2</u>	<input checked="" type="checkbox"/>	Exterior Lighting (incl. cut sheets)	<u>A4.1</u>
<input checked="" type="checkbox"/>	Roof/Attic/Understory Vents	<u>A2.3</u>	<input checked="" type="checkbox"/>	Specification Sheets, as applicable	<u>A5</u>

CONSTRUCTION DETAILS		Sheet #			Sheet #
<input checked="" type="checkbox"/>	Retaining Wall	<u>N/A</u>	<input checked="" type="checkbox"/>	Ironwork	<u>N/A</u>
<input checked="" type="checkbox"/>	Window/Door detail	<u>A5.1</u>	<input checked="" type="checkbox"/>	Stairs	<u>A5.2</u>
<input checked="" type="checkbox"/>	Roof Details (eaves)	<u>A5.1</u>	<input checked="" type="checkbox"/>	Handrails	<u>N/A</u>
<input checked="" type="checkbox"/>	Decks	<u>A5.1</u>	<input checked="" type="checkbox"/>	Skylights	<u>N/A</u>
<input checked="" type="checkbox"/>	Fences/Arbors/Trellis	<u>A5.2</u>	<input checked="" type="checkbox"/>	Awnings	<u>A5.1</u>
<input checked="" type="checkbox"/>	Trash/Recycling Enclosures	<u>A5.2</u>	<input checked="" type="checkbox"/>	Gutters and Down Spouts	<u>A5.1</u>

ELECTRICAL/MECHANICAL/PLUMBING EQUIPMENT				Sheet #
<input checked="" type="checkbox"/>	Transformer Vault			<u>N/A</u>
<input checked="" type="checkbox"/>	Utility Service Meter			<u>A1.1</u>
<input checked="" type="checkbox"/>	Screening Elements			<u>N/A</u>
<input checked="" type="checkbox"/>	Generators/Electrical/Mechanical/HVAC (including cut sheets & dBA at property lines)			<u>N/A</u>
<input checked="" type="checkbox"/>	Fire Valves (Verify Fire Sprinkler Ordinance per SBMC §8.04 requirements)			<u>A1.1</u>
<input checked="" type="checkbox"/>	Cross Connection Control Devices (backflow device)			<u>A1.1</u>

CONSULTANT/ENGINEER SHEETS		Sheet #			Sheet #
<input checked="" type="checkbox"/>	Electrical	<u>E1</u>	<input checked="" type="checkbox"/>	Structural	<u>S1-S4</u>
<input checked="" type="checkbox"/>	Mechanical	<u>MP1</u>	<input checked="" type="checkbox"/>	Plumbing	<u>MP1</u>

ROOFTOP ARCHITECTURAL DETAILS

Sheet #

<input checked="" type="checkbox"/>	HVAC Equipment (exhaust fans, condensing units, air conditioning units, etc.)	N/A
<input checked="" type="checkbox"/>	Dimensions of equipment and screening	N/A
<input checked="" type="checkbox"/>	Mission tile roofing installation specifications	N/A
<input checked="" type="checkbox"/>	Specification Sheets, if applicable	N/A
<input checked="" type="checkbox"/>	Parapet Height	A5.2
<input checked="" type="checkbox"/>	Screens	N/A
<input checked="" type="checkbox"/>	Chimney Caps	A5.3
<input checked="" type="checkbox"/>	Flashing	A5.2
<input checked="" type="checkbox"/>	Gutters/ Scuppers	A5.1
<input checked="" type="checkbox"/>	Solar panel location or potential future solar panel installation (if applicable)	A2.3
<input checked="" type="checkbox"/>	High fire roof coverings, valleys, gutters	N/A

COLOR AND MATERIAL BOARDS

Sheet #

<input checked="" type="checkbox"/>	Paint and Stain Color Names and Numbers	A5.3
<input checked="" type="checkbox"/>	Material Type, Brand and Inventory Number	A5.3

LANDSCAPE PLAN

Sheet #

Sheet #

<input checked="" type="checkbox"/>	Irrigation Plan	L2	<input checked="" type="checkbox"/>	High Fire/Defensible Space	N/A
<input checked="" type="checkbox"/>	Plant Species/Number/Sizes	L1	<input checked="" type="checkbox"/>	Water Conservation Standards	T1
<input checked="" type="checkbox"/>	Planters, Pots, Furniture	N/A	<input checked="" type="checkbox"/>	Site Walls (materials and color)	N/A
<input checked="" type="checkbox"/>	Paving Materials	L1	<input checked="" type="checkbox"/>	Backflow Device	N/A
<input checked="" type="checkbox"/>	Erosion Control Measures	N/A	<input checked="" type="checkbox"/>	Rooftop Garden/Landscaped Roof	N/A

Storm Water Management Program (SWMP)

Sheet #

<input checked="" type="checkbox"/>	Location of filtration devices	N/A
<input checked="" type="checkbox"/>	Cross-section details	N/A
<input checked="" type="checkbox"/>	Drainage flow from all impervious areas	A1.1
<input checked="" type="checkbox"/>	Amounts of new, replaced, or removed impervious areas	T2
<input checked="" type="checkbox"/>	Hydrology/Storm Water Report	N/A