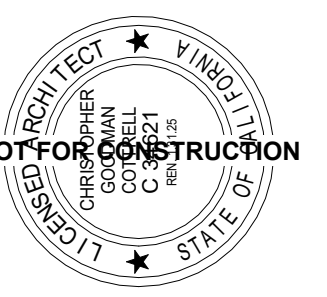


219 VISTA DEL MAR DRIVE



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**219 VISTA DEL MAR DR.
 (N) ADU & GARAGE ADDITION**
 TONY & KRISTA CHAVEZ
 SANTA BARBARA, CA 93109

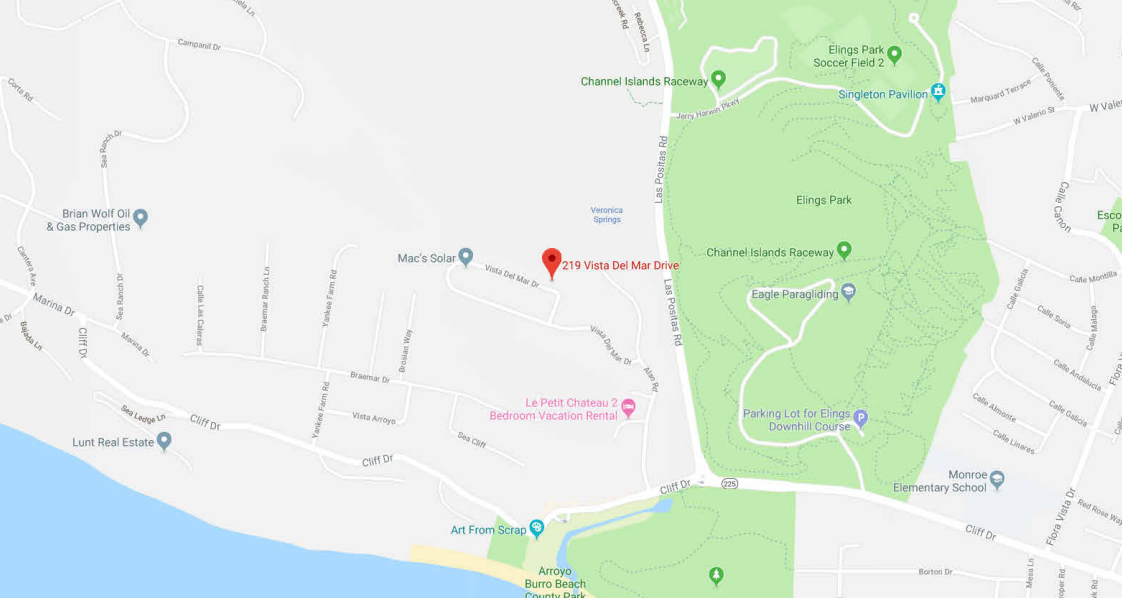
STREET VIEW



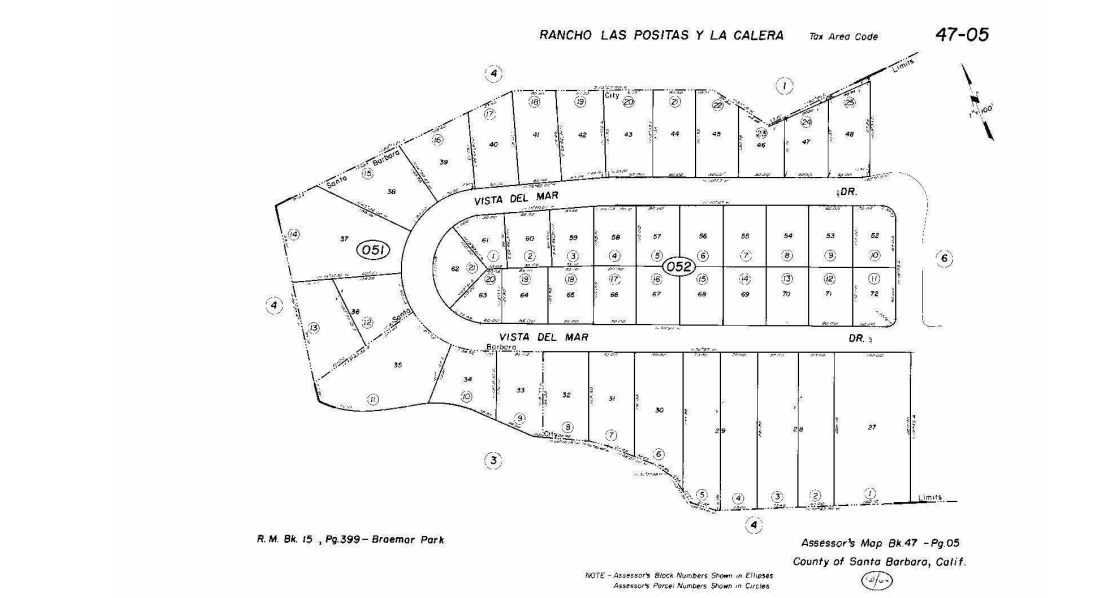
AERIAL VIEW



VICINITY MAP



PARCEL MAP



PROJECT INFORMATION

PROJECT ADDRESS: 219 VISTA DEL MAR
 SANTA BARBARA CA 93109
GOVERNING AGENCY: CITY OF SANTA BARBARA
 COMMUNITY DEVELOPMENT DEPARTMENT
 630 GARDEN ST. SANTA BARBARA, CA 93101
 (805) 564-5470

PROJECT DATA

APN: 047-051-025
ZONE: E-3 / SD-3, SBMC TITLE 28
EXISTING USE: SFR/GARAGE
PROPOSED USE: SFR/GARAGE/ADU
OCCUPANCY: R3/U
CONSTRUCTION TYPE: V-B
STORIES: (E) SINGLE - (P) TWO
SETBACKS:
 FRONT YARD: 20'-0" FROM R.O.W.
 SIDE YARD: 6'
 REAR YARD: 6'
FIRE HAZARD ZONE: HIGH
FIRE SPRINKLER: NOT REQUIRED
PARCEL SIZE: 0.32 ACRES/ 14,016.84 SF
AVERAGE LOT SLOPE: 17%

PROJECT AREAS:

	NET (SF)	GROSS (SF)
(E) BUILDING:		
RESIDENCE	1,717 SF	1,804 SF
GARAGE	362 SF	392 SF
DECK		373 SF

PROPOSED:

	RESIDENCE (NO CHANGE)	1,717 SF	1,804 SF
GARAGE	429 SF	461 SF	
DECK, RESIDENCE (NO CHANGE)		373 SF	
ADU	518 SF	518 SF	
ADU DECK	482 SF	86 SF	
ADU BALCONY		46 SF	

PARKING:
 EXISTING PARKING RESIDENCE: 2 COVERED/0 UNCOVERED
 PROPOSED PARKING RESIDENCE: 2 COVERED/0 UNCOVERED
 PROPOSED PARKING RESIDENCE: 2 COVERED/0 UNCOVERED

EXISTING PARKING ADU: N/A
REQUIRED PARKING ADU: 0 COVERED/0 UNCOVERED
PROPOSED PARKING ADU: 0 COVERED/0 UNCOVERED
 *PURSUANT TO STATE GOV. CODE SEC. 65852.2, PARKING IS NOT REQUIRED FOR THE ADU BECAUSE ADU IS LOCATED WITHIN 1/2 MILE OF PUBLIC TRANSIT

SCOPE OF WORK

- NEW 518 SF ADU W/ 86 SF ENTRY DECK AND 46 SF BALCONY
- 69 SF ADDITION TO GARAGE

PROJECT TEAM

OWNER: TONY & KRISTA CHAVEZ
 219 VISTA DEL MAR
 SANTA BARBARA, CA 93109
ARCHITECT: CHRIS COTTRELL, AIA
 DOVETAIL ARCHITECTS
 925B CALLE PUERTO VALLARTA
 SANTA BARBARA CA 93103
 805.729.5941
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T-24 ENERGY ANALYSIS: DAVID INGER
 INGER ASSOCIATES
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 (805) 969-1881 INGERASSOCIATES@COX.NET
SOILS ENGINEER: BRAD BUCHER
 GEOSOLUTIONS, INC.
 201 S. MILPAS, UNIT 103
 SANTA BARBARA, CA 93103
 (805) 966-2200

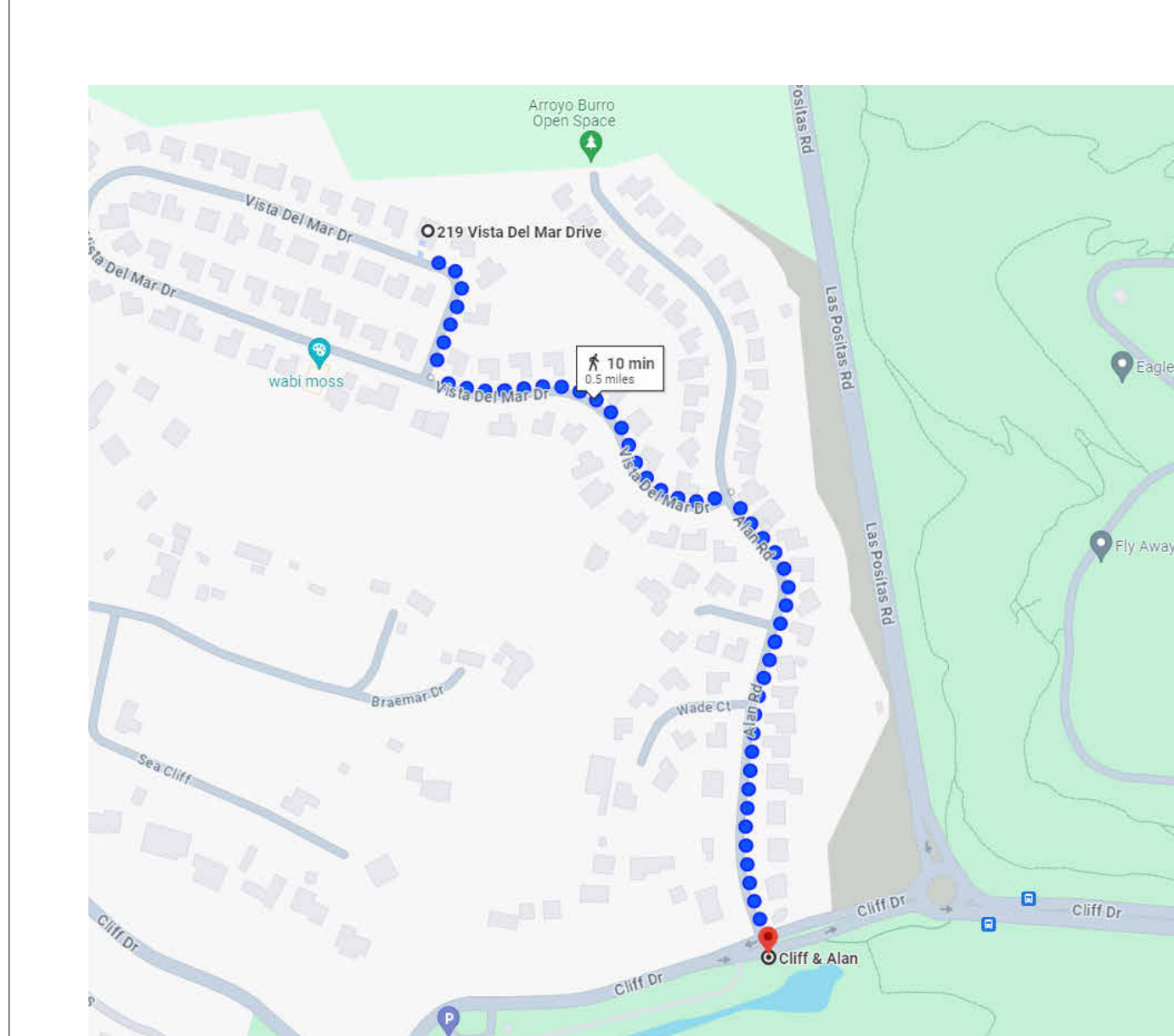
CODE COMPLIANCE

CALIFORNIA RESIDENTIAL CODE, 2022 EDITION
 CALIFORNIA ELECTRICAL CODE, 2022 EDITION
 CALIFORNIA PLUMBING CODE, 2022 EDITION
 CALIFORNIA MECHANICAL CODE, 2022 EDITION
 CALIFORNIA ENERGY CODE, 2022 EDITION
 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2022 EDITION
 ALL AMENDMENTS AS ADOPTED IN SANTA BARBARA CITY ORDINANCE 5919

SHEET INDEX

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A02	T-24 & SPECS
A03	SPECIFICATIONS
A04	CAL GREEN
A05	CAL GREEN
A06	SOILS REPORT
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ARCHITECTURAL	
A10	EXISTING FLOOR PLAN + PHOTOS
A11	FLOOR PLAN
A12	ROOF PLAN
A13	REFLECTED CEILING PLAN
A20	ELEVATIONS
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A30	SECTIONS & DETAILS
A40	DETAILS
STRUCTURAL	
S001	GENERAL NOTES
S002	TYPICAL DETAILS
S101	FOUNDATION PLAN
S102	ROOF FRAMING PLAN
S201	FOUNDATION DETAILS
S202	ROOF FRAMING DETAILS
TOTAL SHEETS: 22	

BUS STOP PROXIMITY MAP



F.A.R. CALCULATOR

ENTER Project Address:	219 Vista Del Mar
Is there a basement or cellar existing or proposed?	No
ENTER Proposed TOTAL Net FAR Floor Area (in sq. ft.):	2,628
ENTER Zone ONLY from drop-down list:	E-3 or RS-7.5
ENTER Net Lot Area (in sq. ft.):	1665
Is the height of existing or proposed buildings 17 feet or greater?	Yes
Are existing or proposed buildings two stories or greater?	Yes
The FAR Requirements are:	REQUIRED**
ENTER Average Slope of Lot:	17.00%
Does the height of existing or proposed buildings exceed 25 feet?	No
Is the site in the Hillside Design District?	Yes
Does the project include 500 or more cu. yds. of grading outside the main building footprint?	No
An FAR MOD is not required per SBMC §28.15 or §30.20.030	
FLOOR AREA RATIO (FAR):	0.188
Lot Size Range:	10,000 - 14,999 sq. ft.
MAX FAR Calculation (in sq. ft.):	2,500 + (0.125 x lot size in sq. ft.)
100% MAX FAR:	0.303
100% MAX FAR (in sq. ft.):	4,252
85% of MAX FAR (in sq. ft.):	3,614
80% of MAX FAR (in sq. ft.):	3,402
The 2628 square foot proposed total is 62% of the MAX FAR.*	

* NOTE: Percentage total is rounded up.
 **NOTE: If your project is located on a site with multiple or overlay zones, please contact Planning Staff to confirm whether the FAR limitations are "Required" or "Guideline".

PROJECT EVENTS

- THE FOLLOWING INSPECTIONS, SITE EVENTS, OR OBSERVATIONS ARE ADVISED, REQUIRED, OR REQUIRED BY ARCHITECT AS NOTED. THOSE INSPECTIONS REQUIRED BY ARCHITECT MAY BE WAIVED BY THE ARCHITECT AS CONDITIONS WARRANT.
 - PRE-CONSTRUCTION MEETING (ARCH., G.C., OWNER, SUBS) ADVISED
 - FOUNDATION REINFORCEMENT PLACEMENT (STRUCT. ENG.) ADVISED
 - ROUGH FRAMING (ARCH., STRUCT. ENG.) REQ. BY ARCH.
 - ELECTRICAL LIGHTING & OUTLET BOX PLACEMENT (ARCH., OWNER) REQ. BY ARCH.
 - 95% PROJECT COMPLETION (ARCH.) REQ. BY ARCH.
- ADVISE THE ARCHITECT AND/OR THE APPROPRIATE CONSULTING ENGINEER AT LEAST 24 HOURS PRIOR TO ANY REQUIRED SITE VISIT.
- THE APPROVED PLANS AND PERMITS MUST BE ON THE JOB SITE AND AVAILABLE TO THE ARCHITECT AND PROJECT CONSULTANTS.

HIGH FIRE DISTRICT

THIS PARCEL IS LOCATED WITHIN A DESIGNATED HIGH FIRE HAZARD DISTRICT. ALL ELEMENTS OF NEW AND RE-BUILT CONSTRUCTION MUST COMPLY WITH REQUIREMENTS SET FORTH IN R327 OF THE 2022 CRC AND SB ORDINANCE #5919.

PLUMBING FIXTURES

ALL NEW AND EXISTING PLUMBING FIXTURES SHALL MEET OR SHALL BE RETROFITTED TO MEET CURRENT CPC REQUIREMENTS:
 WATER CLOSETS - 1.28 GAL. PER FLUSH, MAX.
 LAVATORY FAUCETS - 1.2 GAL. PER MINUTE, MAX.
 SHOWERHEADS - 1.8 GAL. PER MINUTE, MAX.
 KITCHEN FAUCETS - 1.8 GAL. PER MINUTE, MAX.

BEST MANAGEMENT PRACTICES

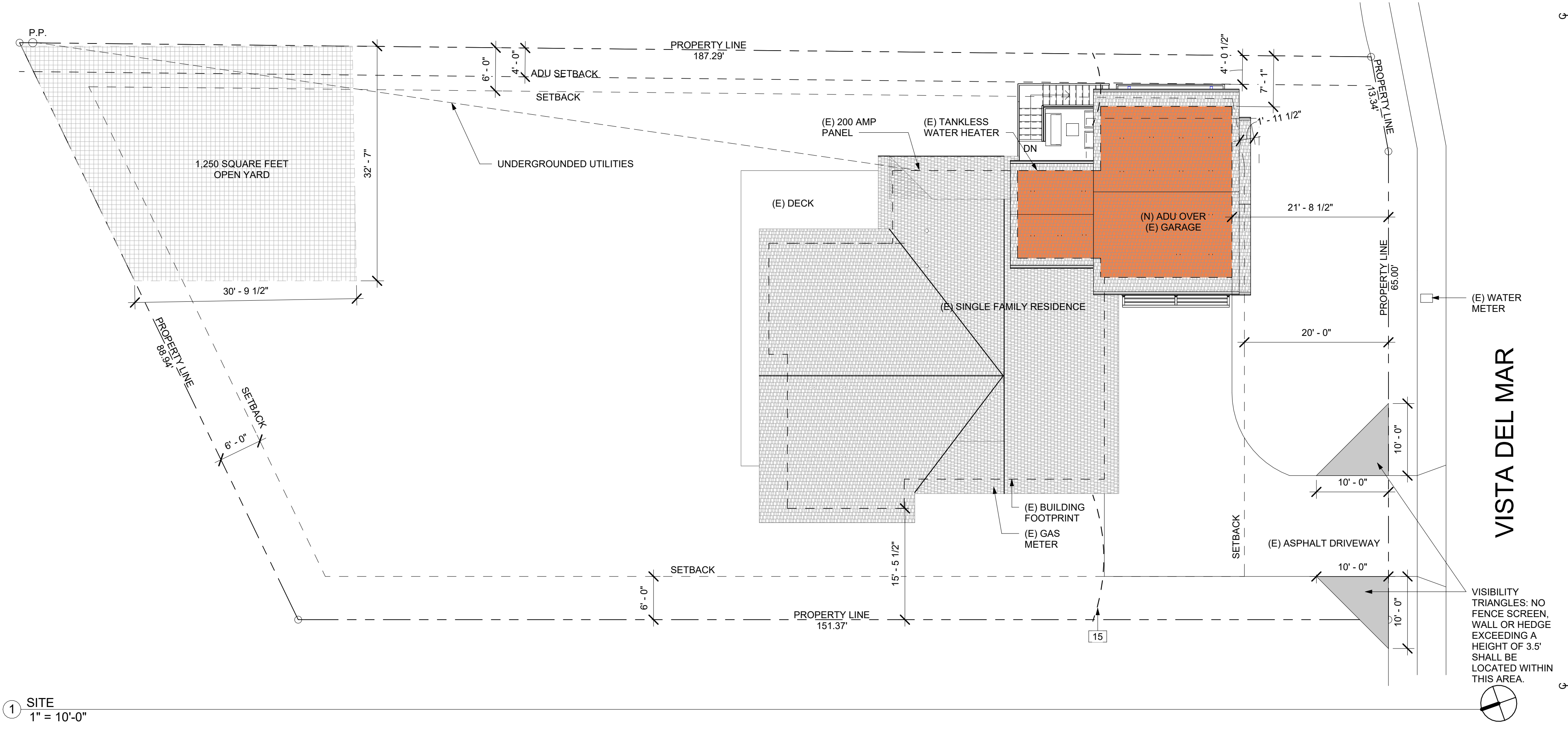
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL OR SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

STORM WATER MANAGEMENT

- THIS PROJECT REQUIRES TIER 1 COMPLIANCE. BMP: DIRECT DOWNSPOUTS TO LANDSCAPING.

SITE PLAN NOTES

- NO CHANGE PROPOSED TO EXISTING SITE DRAINAGE.



1 SITE
 1" = 10'-0"

APN:	047-051-025
DATE:	SUBMITTAL:
2.12.24	SFDB

COVER SHEET

A00



VIEW OF GARAGE AND ENTRY FROM DRIVEWAY



VIEW OF HOUSE FROM VISTA DEL MAR



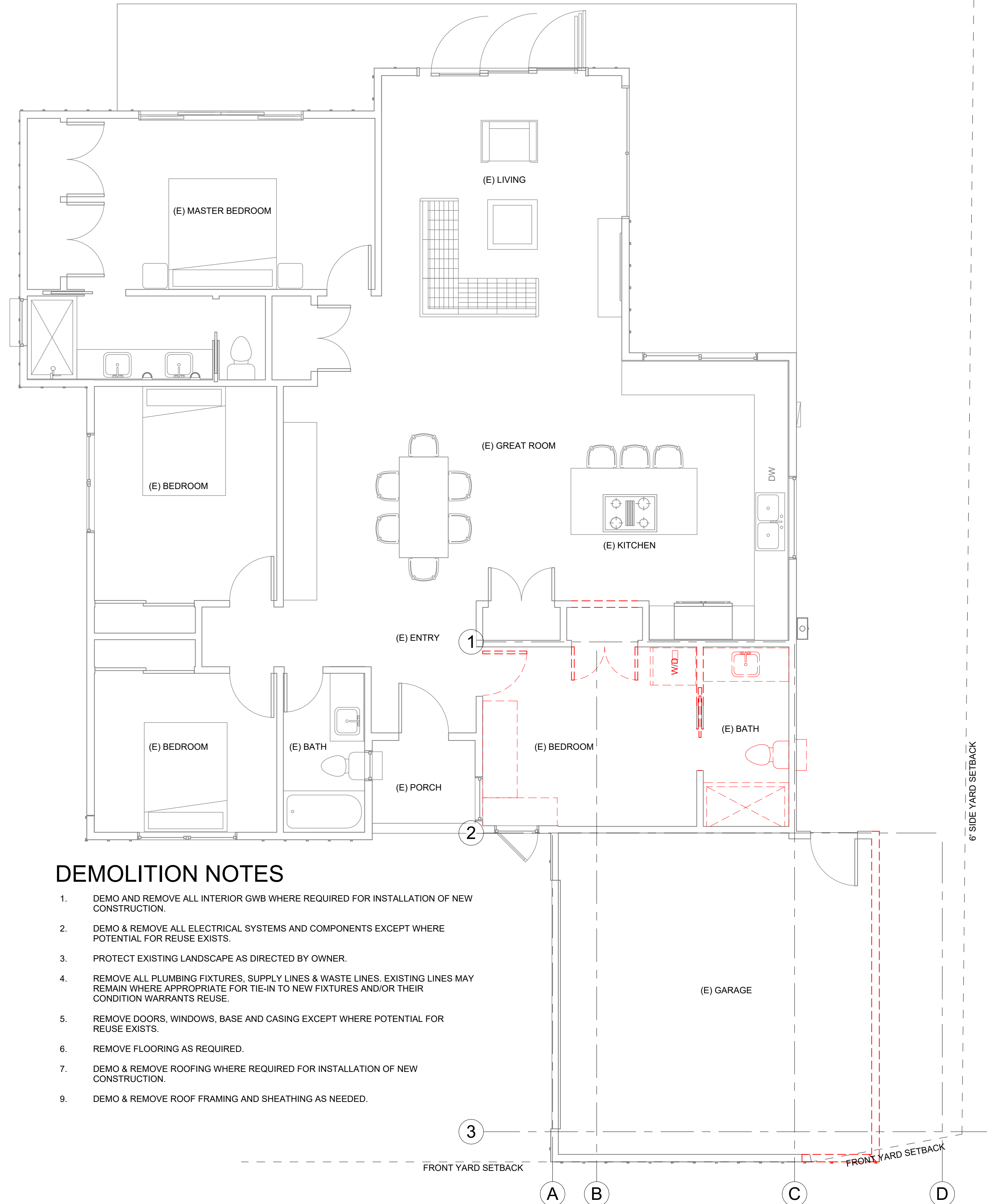
VIEW FROM DRIVEWAY TO WESTERN NEIGHBOR



VIEW OF HOUSE FROM REAR YARD



VIEW OF HOUSE FROM REAR YARD



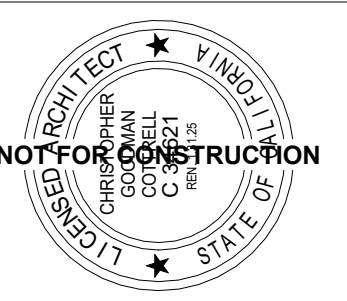
DEMOLITION NOTES

1. DEMO AND REMOVE ALL INTERIOR GWB WHERE REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION.
2. DEMO & REMOVE ALL ELECTRICAL SYSTEMS AND COMPONENTS EXCEPT WHERE POTENTIAL FOR REUSE EXISTS.
3. PROTECT EXISTING LANDSCAPE AS DIRECTED BY OWNER.
4. REMOVE ALL PLUMBING FIXTURES, SUPPLY LINES & WASTE LINES. EXISTING LINES MAY REMAIN WHERE APPROPRIATE FOR TIE-IN TO NEW FIXTURES AND/OR THEIR CONDITION WARRANTS REUSE.
5. REMOVE DOORS, WINDOWS, BASE AND CASING EXCEPT WHERE POTENTIAL FOR REUSE EXISTS.
6. REMOVE FLOORING AS REQUIRED.
7. DEMO & REMOVE ROOFING WHERE REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION.
9. DEMO & REMOVE ROOF FRAMING AND SHEATHING AS NEEDED.

① (E) FLOOR PLAN
1/4" = 1'-0"

WALL TYPES

1		2x4 STUCCO WALL
2		2x4 WALL DOUBLE STUCCO
3		2x6 STUCCO WALL
4		2x6 WALL DOUBLE STUCCO
5		2x4 GWB INTERIOR WALL
5A		2x4 GWB INTERIOR WALL 1-HR RATED
6		2x8 STUCCO WALL
7		2x8 WALL DOUBLE STUCCO
8		2x6 GWB INTERIOR WALL
8A		2x6 GWB INTERIOR WALL 1-HR RATED
		DEMO WALL
		EXISTING WALL



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 TONY & KRISTA CHAVEZ
 SANTA BARBARA, CA 93109

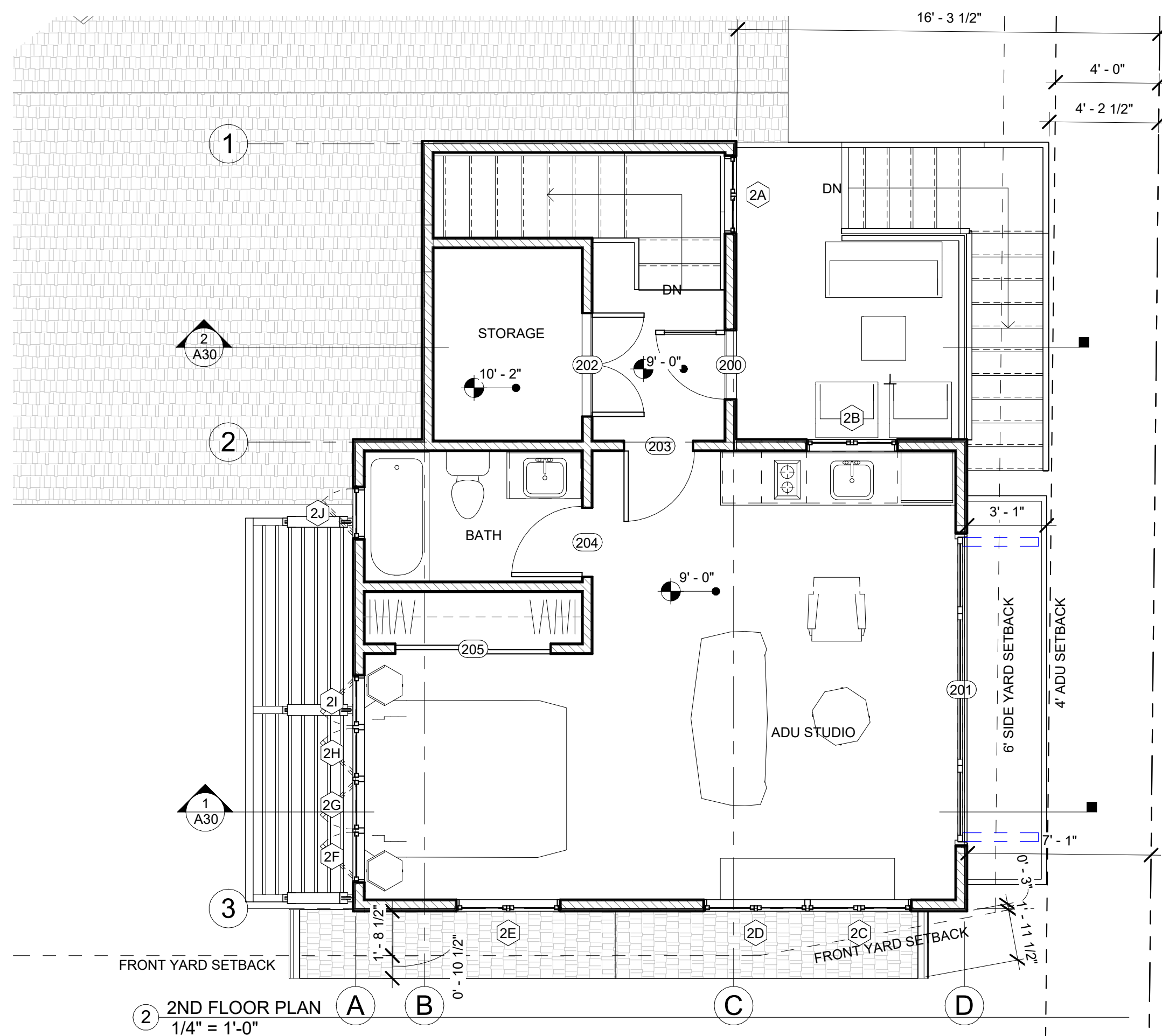
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EXISTING FLOOR PLAN + PHOTOS

A10

FLOOR PLAN NOTES

- DIMENSIONS ARE GIVEN TO GRIDLINES, FACE OF FRAMING, CENTERLINE OF OPENING, OR CENTER OF COLUMN.
- GRIDLINES AT PERIMETER OF BUILDING ARE AT FACE OF FRAMING.
- DIMENSIONS GIVEN TO EXISTING STRUCTURAL ELEMENTS ARE DERIVED FROM ORIGINAL CONSTRUCTION DRAWINGS, THE TOPOGRAPHIC SURVEY, AND FIELD MEASUREMENTS TO FINISH SURFACES. THESE DIMENSIONS MUST BE FIELD VERIFIED.
- FACTORY-BUILT FIREPLACES AND CHIMNEYS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE TERMS OF THEIR LISTINGS AND THE MANUFACTURER'S INSTRUCTIONS.
- HINGED SHOWER DOORS SHALL OPEN OUTWARD AND MAINTAIN A 22" OPENING FOR EGRESS. SHOWER AND/OR TUB ENCLOSURES SHALL BE TEMPERED GLAZING OR OTHER APPROVED SHATTER PROOF MATERIAL SPECIFICALLY FOR USE.
- PROVIDE MINIMUM 5/8" TYPE X GYPSUM BOARD ON THE GARAGE SIDE OF THE FLOOR/CEILING ASSEMBLY SUPPORTING HABITABLE ROOMS ABOVE THE GARAGE.
- GARAGE FLOOR TO BE SLOPED IN ORDER TO FACILITATE THE MOVEMENT OF LIQUID TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.
- SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE FLOOR.
- BATHROOM EXHAUST FANS.
 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF <50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL.
 - PROVIDE BATHROOM EXHAUST FANS.
- A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, OR A PLUMBING SUBCONTRACTOR OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED.
- PAD SUPPORTING COMPRESSOR/CONDENSER SHALL BE A MINIMUM OF 3" ABOVE GRADE.
- MEANS FOR INTERRUPTING THE ELECTRICAL SUPPLY TO THE AIR CONDITIONING EQUIPMENT AND TO ITS ASSOCIATED COOLING TOWER SHALL BE PROVIDED WITHIN SIGHT OF AND NOT OVER 50FT FROM THE AIR CONDITIONER AND COOLING TOWER.
- CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. MINIMUM 4" DIA. SMOOTH METAL DUCT. DRYER EXHAUST DUCT SHALL TERMINATE NO LESS THAN 3'-0" FROM OPENINGS INTO THE BUILDING.
- KITCHEN HOODS SHALL BE DIRECTLY EXHAUSTED TO OUTSIDE.
- WHOLE HOUSE EXHAUST FAN SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MINIMUM INSULATION VALUE OF R-4.2



DOOR SCHEDULE

NO.	WIDTH	HEIGHT	NOTES
101	5' - 0"	7' - 0"	
102	2' - 6"	6' - 8"	
103	4' - 0"	6' - 8"	
200	2' - 9"	7' - 0"	
201	12' - 0"	7' - 0"	08350
202	4' - 0"	6' - 0"	
203	2' - 8"	7' - 0"	
204	2' - 8"	6' - 8"	
205	6' - 0"	6' - 8"	

DOOR NOTES

- ALL DOOR GLAZING SHALL BE IMPACT RESISTANT.
- DOOR DIMENSIONS ARE NOTED BY DOOR SIZE.
- ALL EXTERIOR DOORS SHALL BE FULLY WEATHERSTRIPPED.
- ALL DOORS SHALL BE FULLY SEALED ON ALL FACES, INCLUDING TOP AND BOTTOM.
- BARN AND POCKET DOORS TO HAVE HEAVY DUTY HARDWARE.
- EXTERIOR DOORS SHALL BE OF APPROVED, NON-COMBUSTIBLE CONSTRUCTION, 20 MIN. RATED, OR 1-3/8" SOLID CORE RAILS/ STILES PER CRC 327.8
- ALL DOORS BETWEEN GARAGE AND DWELLING TO BE SELF-CLOSING AND SELF-LATCHING.

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	FUNCTION	U-FACTOR	SHGC	NOTES
2A	3' - 0"	4' - 0"				
2B	3' - 6"	3' - 0"				
2C	4' - 0"	4' - 0"				
2D	4' - 0"	4' - 0"				
2E	4' - 0"	4' - 0"				
2F	2' - 0"	2' - 0"				
2G	2' - 0"	2' - 0"				
2H	2' - 0"	2' - 0"				
2I	2' - 0"	2' - 0"				
2J	2' - 0"	2' - 0"				

WINDOW NOTES

- WINDOW GLAZING SHALL BE IMPACT RESISTANT WHEN:
 - WITHIN 18" OF THE FINISH FLOOR.
 - WITHIN 24" OF THE VERTICAL EDGE OF A DOOR IF WITHIN 60" OF A WALKING SURFACE.
 - IN A BATH, SHOWER, SPA, SAUNA OR SIMILAR ENCLOSURE WHEN LESS THAN 60" ABOVE A STANDING SURFACE IN THE ENCLOSURE.
- WINDOW DIMENSIONS ARE NOTED BY FRAME SIZE.
- PROVIDE EMERGENCY EXIT WINDOW FROM BASEMENT AND/OR SLEEPING ROOMS. THE MINIMUM NET CLEAR WINDOW OPENING HEIGHT SHALL BE A MAXIMUM OF 44" ABOVE THE FINISHED FLOOR. THE MINIMUM NET CLEAR OPENING SHALL BE 20" WIDE AND 24" HIGH, WITH THE OPENING AREA NOT LESS THAN 5.7 S.F.
- ALL WINDOWS ARE DOUBLE GLAZED.
- EXTERIOR GLAZED OPENINGS IN A STRUCTURE LOCATED WITHIN A HIGH FIRE HAZARD AREA SHALL HAVE A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A MINIMUM 20 MINUTE FIRE RESISTANCE RATING IN ACCORDANCE WITH 2016 CRC.
- ALL WINDOW SIZES LISTED ARE APPROXIMATE, VERIFY DIMENSIONS IN FIELD PRIOR TO ORDERING.
- GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWDDA 101/I.S.2 STRUCTURAL REQUIREMENT.

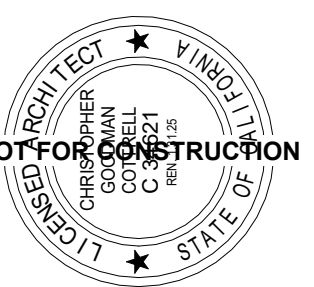
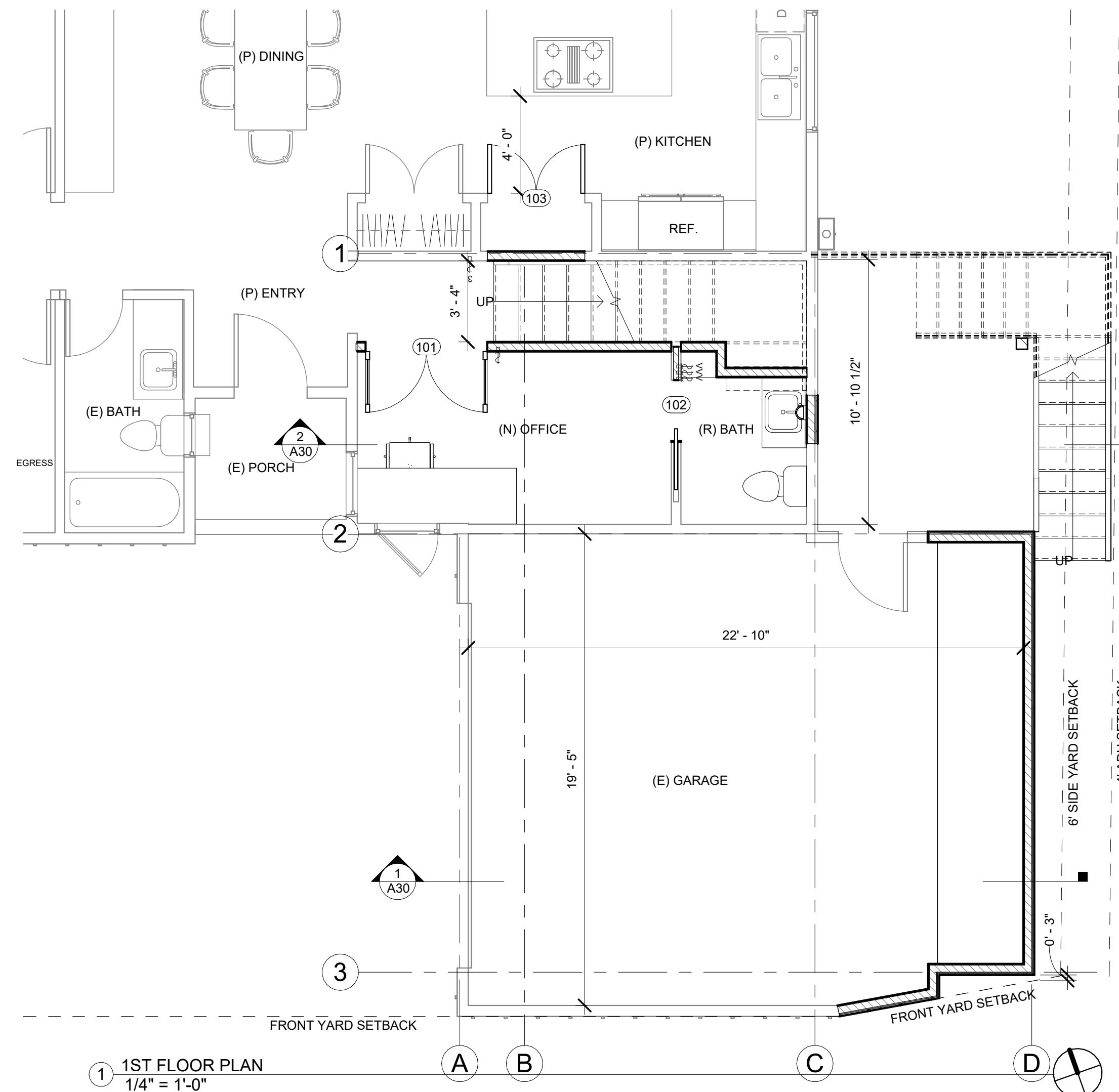
KEYNOTES

SYMBOLS

- 1 A101 SIM DETAIL REFERENCE
- 1 Ref ELEVATION REFERENCE
- 1 Ref REVISION TAG
- 1i DOOR TAG
- 1i WINDOW TAG
- 1 A101 BUILDING SECTION REFERENCE
- ELEV. DIFFERENCE
- SLOPE SLOPE INDICATION
- HOSE BIB
- FOUNDATION VENT
- GAS SHUT OFF

WALL TYPES

- 1 2x4 STUCCO WALL
- 2 2x4 WALL DOUBLE STUCCO
- 3 2x6 STUCCO WALL
- 4 2x6 WALL DOUBLE STUCCO
- 5 2x4 GWB INTERIOR WALL
- 5A 2x4 GWB INTERIOR WALL 1-HR RATED
- 6 2x8 STUCCO WALL
- 7 2x8 WALL DOUBLE STUCCO
- 8 2x6 GWB INTERIOR WALL
- 8A 2x6 GWB INTERIOR WALL 1-HR RATED
- DEMO WALL
- EXISTING WALL



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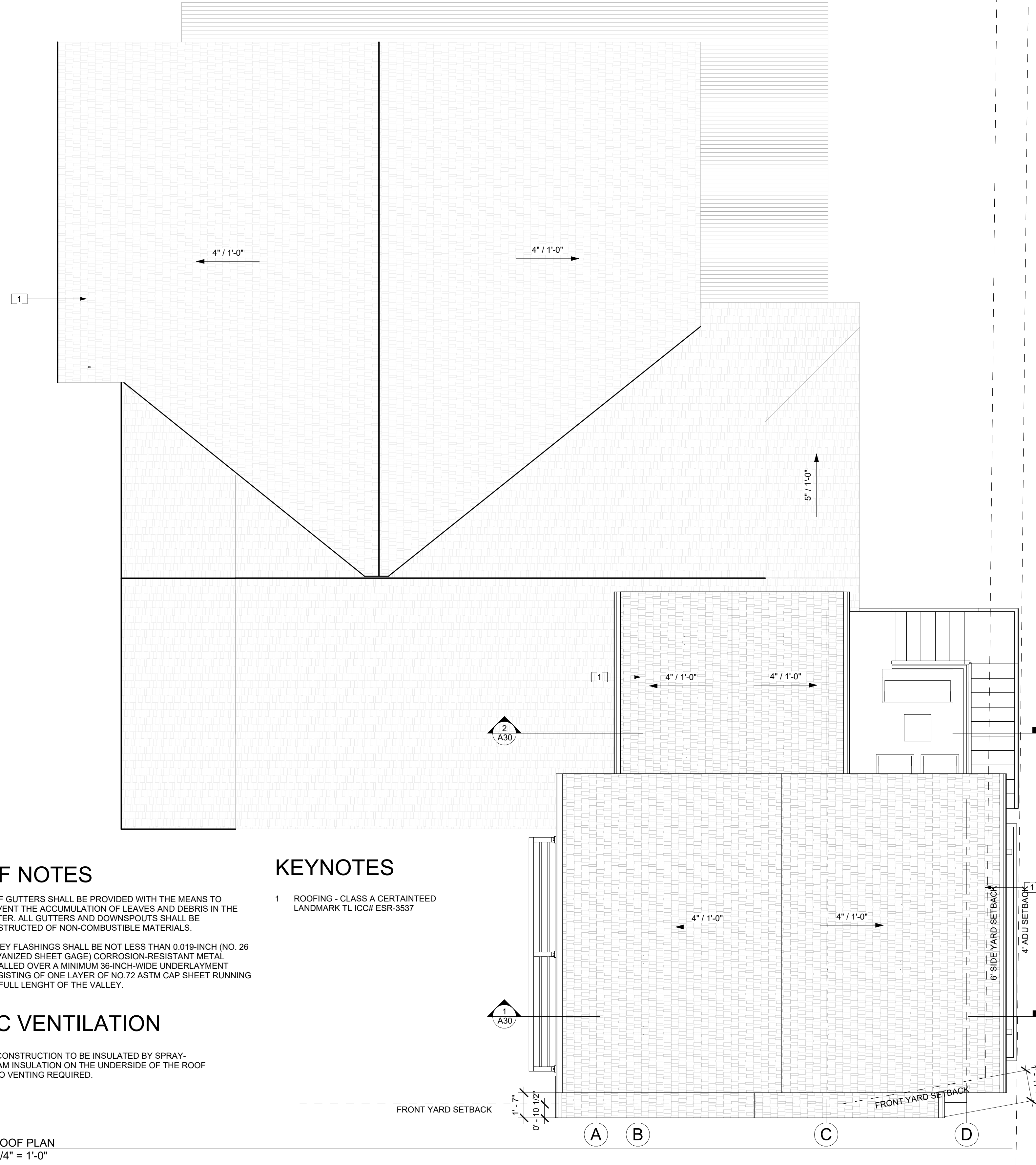
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SUBMITTAL: SFDB

FLOOR PLAN

A11

1908 CHAVEZ



ROOF NOTES

1. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.
2. VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO.72 ASTM CAP SHEET RUNNING THE FULL LENGHT OF THE VALLEY.

KEYNOTES

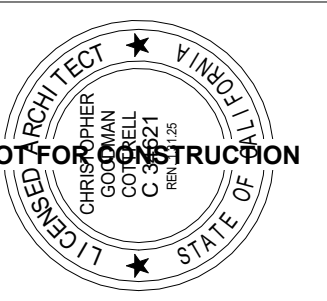
- 1 ROOFING - CLASS A CERTAINTEEED LANDMARK TL ICC# ESR-3537

ATTIC VENTILATION

NEW ROOF CONSTRUCTION TO BE INSULATED BY SPRAY-APPLIED FOAM INSULATION ON THE UNDERSIDE OF THE ROOF DECKING. NO VENTING REQUIRED.

1 ROOF PLAN
1/4" = 1'-0"

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ROOF PLAN

A12

ELECTRICAL PLAN NOTES

- ALL RECESSED LIGHT FIXTURES TO BE AIRTIGHT (AT), RATED FOR CONTACT WITH INSULATION (IC), & 1 HOUR FIRE RATED.
- ALL SWITCH TYPES TO BE AS SHOWN ON PLAN. STACK TYPE SWITCHES MAY BE USED WHERE AVAILABLE SPACE IS LIMITED. VERIFY STYLE AND COLOR WITH OWNER & ARCHITECT.
- VERIFY ALL FLOOR OUTLET LOCATIONS WITH THE OWNER & ARCHITECT BEFORE POURING CONC. SLABS.
- VERIFY ALL LIGHT FIXTURE, SWITCH AND OUTLET BOX LOCATIONS WITH THE OWNER & ARCHITECT BEFORE INSTALLING CONDUIT OR PULLING WIRE.
- PROVIDE 110V, INTERCONNECTED SIGNAL WIRE SMOKE DETECTORS WITH 10 YEAR BATTERY BACKUP IN ALL SLEEPING ROOMS AND SMOKE/CARBON MONOXIDE DETECTORS IN ADJOINING HALLS.
- SEE ELEVATION FOR UNSPECIFIED MOUNTING HEIGHTS, WHERE HORIZONTAL OUTLETS ARE SHOWN ABOVE COUNTERTOPS, MOUNT OUTLETS IN CENTER OF SPLASH.
- ALL BRANCH CIRCUITS SERVING OUTLETS IN DWELLING ROOMS NOT REQUIRED TO BE PROTECTED BY A GFCI DEVICE ARE TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER.
- EXTERIOR OUTLETS TO BE WATERPROOF.
- ALL EXTERIOR LIGHTING TO HAVE OBTURED OR TRANSLUCENT GLASS
- ALL OUTLETS TO BE TAMPER RESISTANT.
- ALL EXISTING SWITCHING AND LIGHTING TO REMAIN U.N.O
- ALL INSTALLED LIGHTING MUST BE HIGH EFFICACY PER TABLE 150.0-A, CEC
- LIGHTING IN BATHROOMS: ALL LIGHTING SHALL BE HIGH EFFICACY AND AT LEAST ONE FIXTURE IN EACH BATHROOM SHALL BE CONTROLLED BY A VACANCY SENSOR.
- LIGHTING IN GARAGES, LAUNDRY ROOMS, CLOSETS AND UTILITY ROOMS: ALL LIGHTING SHALL BE HIGH EFFICACY AND AT LEAST ONE LIGHT FIXTURE INSTALLED IN GARAGES, CLOSETS, LAUNDRY ROOMS, & UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR
- LIGHTING IN ROOMS OTHER THAN BATHROOMS, GARAGES, LAUNDRY ROOMS, & UTILITY ROOMS: PERMANENTLY INSTALLED LIGHTS IN ROOMS OTHER THAN RESTROOMS, GARAGES, LAUNDRY ROOMS, & UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES. CALIFORNIA ENERGY CODE 150(K) 7
- RECESSED LUMINAIRES IN INSULATED CEILINGS: LUMINAIRES RECESSED INTO INSULATED CEILINGS SHALL NOT CONTAIN SCREW BASE SOCKETS AND SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY U.L. OR OTHER TESTING LAB RECOGNIZED BY BUILDING OFFICIAL, AND SHALL BE CERTIFIED AIR TIGHT TO SHOW AIR LEAKAGE LESS THAN 2.0 CFM AT .011 PSI IN ACCORDANCE WITH ASTM E283, AND SEALED WITH A GASKET OR CAULK BETWEEN HOUSING AND CEILING. CALIFORNIA ENERGY CODE 150(K)
- SCREW BASED SOCKETS: LUMINAIRES WITH SCREW BASED SOCKETS SHALL MEET THE FOLLOWING REQUIREMENTS:
I. THE LUMINAIRE SHALL NOT BE A RECESSED DOWN-LIGHT IN A CEILING; AND
II. THE LUMINAIRE SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JA8, AND
III. THE INSTALLED LAMPS SHALL BE MARKED WITH "JAS-2016" OR "JAS-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.
- DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8.
- OUTDOOR LIGHTING: PERMANENTLY INSTALLED OUTDOOR LIGHTS ON BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY AND THEY SHALL BE CONTROLLED BY A MOTION SENSOR OR WITH INTEGRAL PHOTOCONTROL CERTIFIED TO COMPLY WITH THE 2016 CALIFORNIA ENERGY CODE. CALIFORNIA ENERGY CODE 150(K) 9 A.
- VENT FANS MUST BE SWITCHED SEPARATELY FROM LIGHTING. 2016 CALIFORNIA ENERGY CODE 150(K)2B
- BATHROOM VENT FAN TO PROVIDE A MINIMUM OF 50 CFM AND A MAXIMUM SONE OF 3, MUST BE CONTROLLED BY A HUMIDISTAT AND MUST VENT TO THE OUTSIDE.
- ALL LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE MARKED "SUITABLE FOR WET LOCATIONS" OR SUITABLE FOR DAMP LOCATIONS."
- A MINIMUM OF TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING ROOM, PANTRY, OR OTHER SIMILAR AREAS.
- AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
- ALL OUTLETS MUST HAVE ARC-FAULT CIRCUIT INTERRUPTER PROTECTION.
- GFCI PROTECTION SHALL BE PROVIDED FOR OUTLETS THAT SUPPLY DISHWASHERS.
- WHERE BRANCH-CIRCUIT WIRING IS MODIFIED, REPLACED OR EXTENDED IN AREAS SPECIFIED IN CEC 210.12(A), THE BRANCH CIRCUIT SHALL BE PROTECTED BY EITHER A LISTED COMBINATION-TYPE AFCI LOCATED AT THE ORIGIN OF THE BRANCH CIRCUIT OR A LISTED OUTLET BRANCH-CIRCUIT TYPE AFCI LOCATED AT THE FIRST RECEPTACLE OF THE EXISTING BRANCH CIRCUIT.
- PROVIDE UFER GROUND FOR NEW SERVICES.

LIGHT SCHEDULE

A	RECESSED 4" LED DOWN LIGHT
B	VANITY WALL LIGHT HIGH EFFICACY
C	EXTERIOR WALL LIGHT HIGH EFFICACY
D	HIGH EFFICACY CLOSET LIGHT

MECHANICAL NOTES

- CLOSETS WITH CLOTHES DRYERS SHALL HAVE AN OPENING OF NOT LESS THAN 100 SQUARE INCHES FOR MAKEUP AIR, IN THE DOOR OR BY OTHER APPROVED MEANS. 15. CLOSETS WITH CLOTHES DRYERS SHALL HAVE AN OPENING OF NOT LESS THAN 100 SQUARE INCHES FOR MAKEUP AIR, IN THE DOOR OR BY OTHER APPROVED MEANS.
- GAS LINES TO HOT WATER HEATERS AND FORCED AIR UNITS SHALL HAVE IN-LINE SEDIMENT TRAPS INSTALLED.
- FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
- UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 450 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT-IN).
- JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES OF EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTED BY AGENCY.

MECHANICAL EQUIPMENT

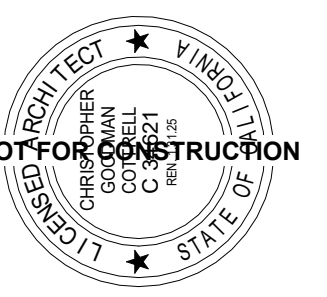
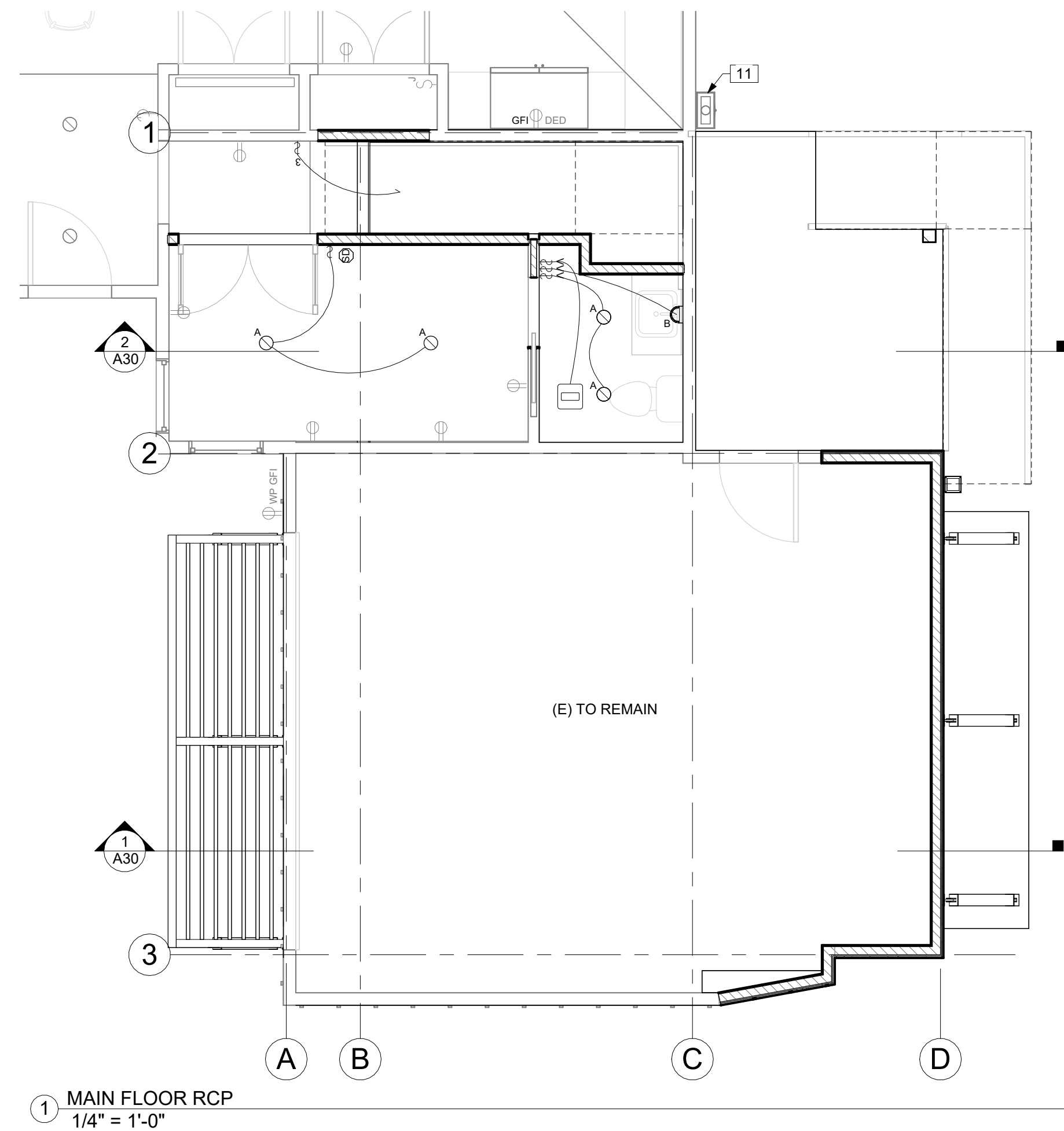
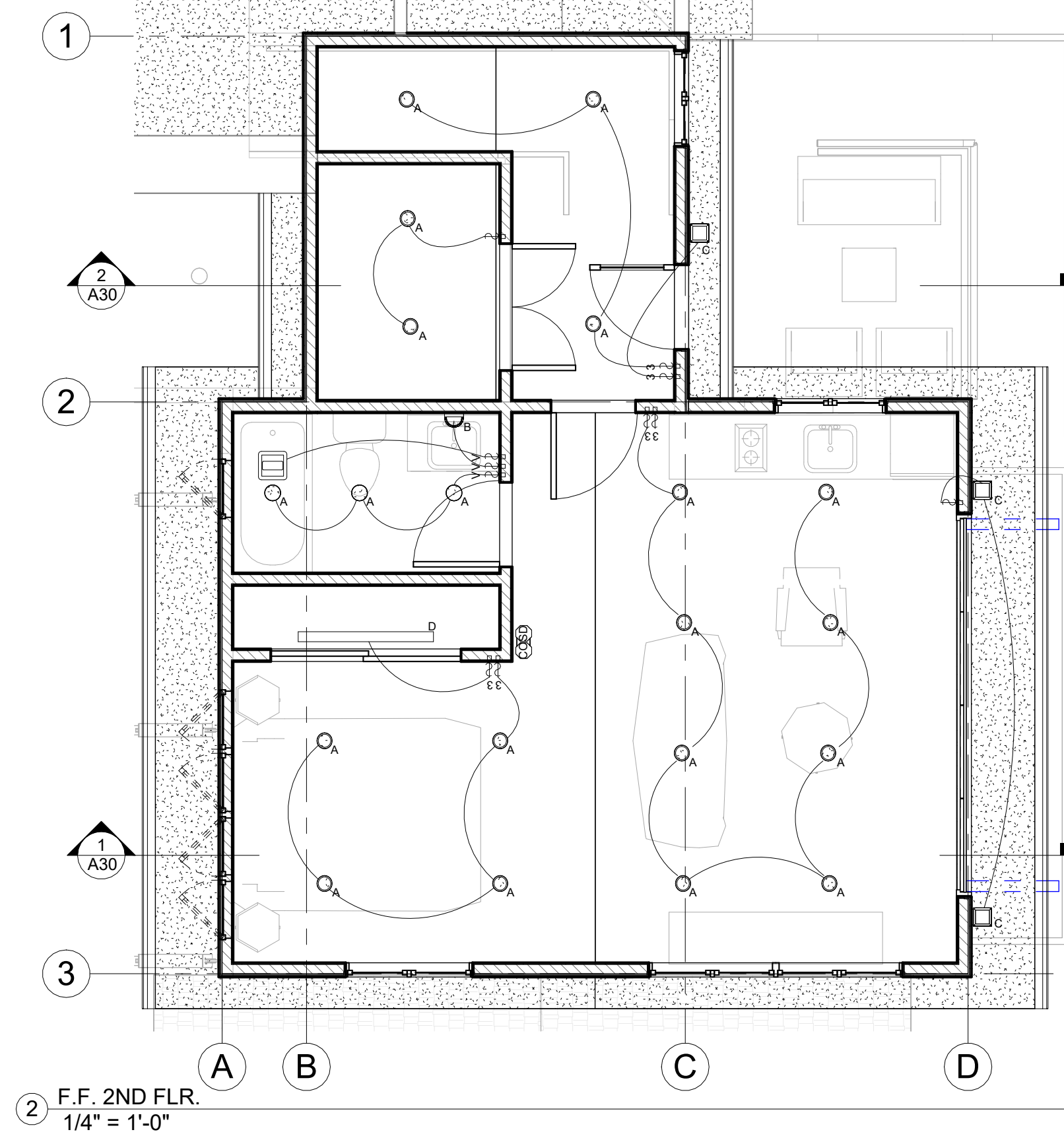
- FAU:** EXISTING FAU TO REMAIN
- HOT WATER:** (N) NAVIEN NPE-240S, TANKLESS GAS, 199,900 BTUH INPUT, 97% UNIFORM NERGY FACTOR, OR ANY UNIT WITH AN EQUAL OR HIGH UEF RATING.

KEYNOTES

- 11 (E) TANKLESS WATER HEATER

ELECTRICAL LEGEND

RECEPTACLES	SWITCHES	LIGHT FIXTURES
DUPLEX OUTLET	STANDARD SWITCH	WALL MOUNTED FIXTURE
QUADRUPLUX OUTLET	JAMB SWITCH	CHANDELIER LIGHT
GFI DUPLEX OUTLET	3-WAY SWITCH	RECESSED CEILING FIXTURE
DUPLEX FLOOR OUTLET	OCCUPANCY SENSOR, DIMABLE SWITCH	EXTERIOR WALL LIGHT
ELECTRICAL SUB PANEL		SMALL PENDENT LIGHT
(N) 200 AMP PANEL		
COMMUNICATIONS DEVICES	MISCELLANEOUS DEVICES	MECHANICAL LEGEND
DATA OUTLET	EXHAUST FAN - CEILING MOUNT	NATURAL GAS SHUTOFF
COAXIAL CABLE OUTLET	KITCHEN EXHAUST FAN PER SPEC.	THERMOSTAT
TELEPHONE OUTLET	SMOKE DETECTOR	REGISTERS F = FLOOR W = WALL C = CEILING T = TOE KICK
	CARBON MONOXIDE DETECTOR	



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**219 VISTA DEL MAR DR.
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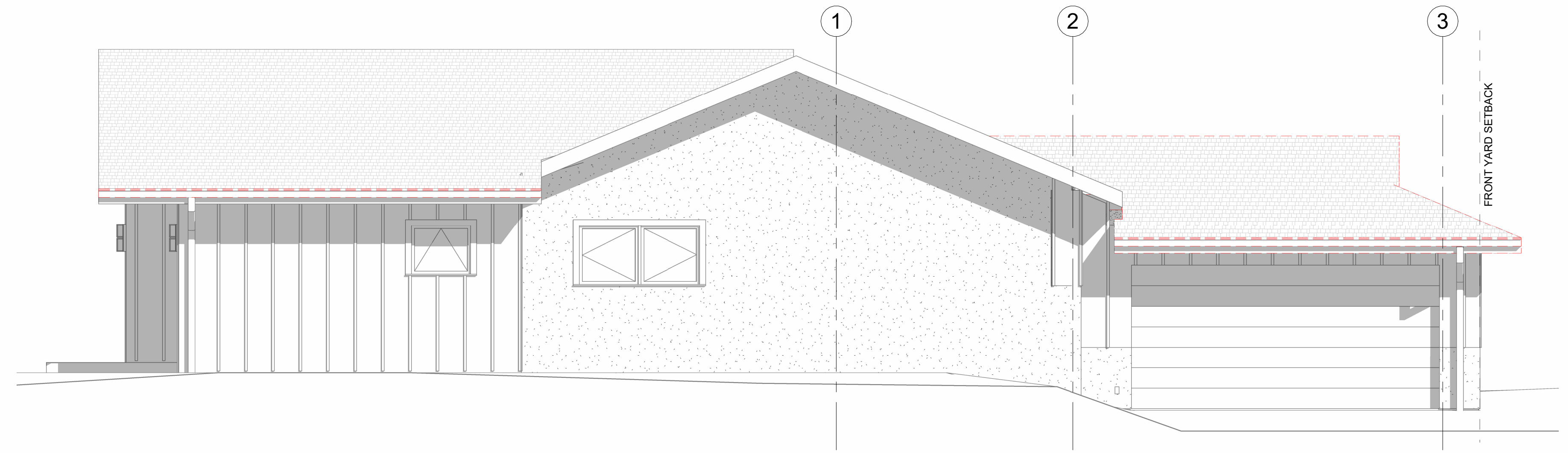
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DATE: 2.12.24
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REFLECTED CEILING PLAN

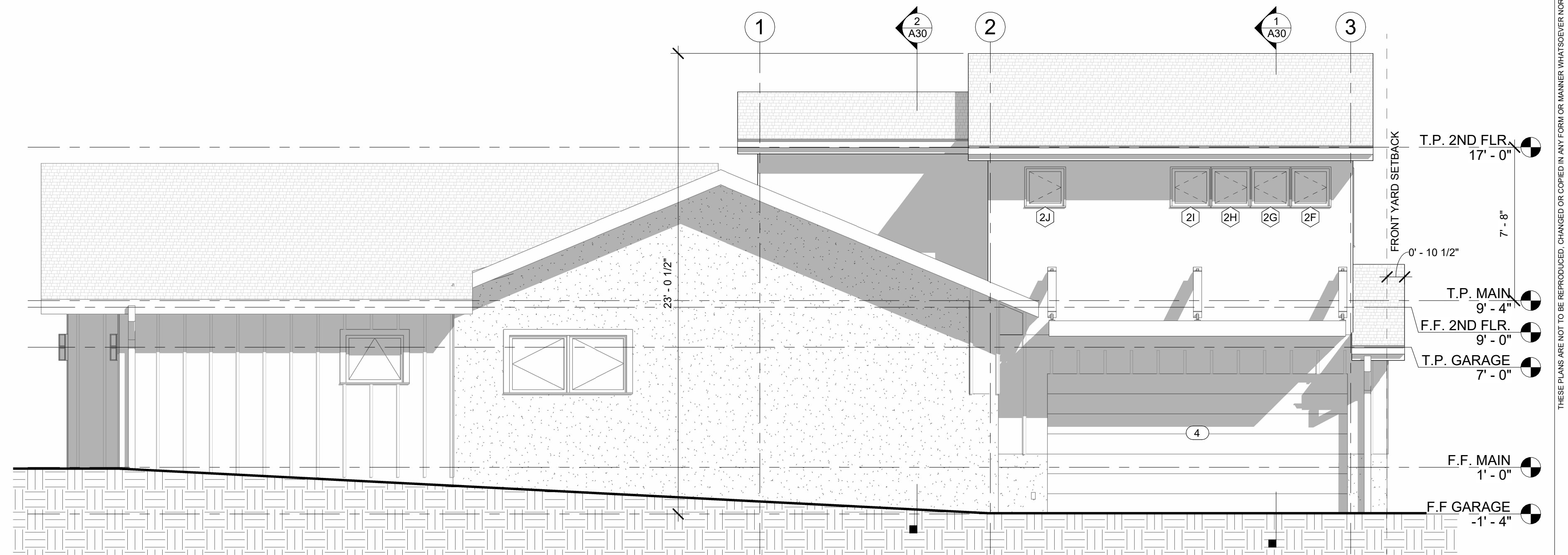
A13

EXTERIOR FINISH SCHEDULE

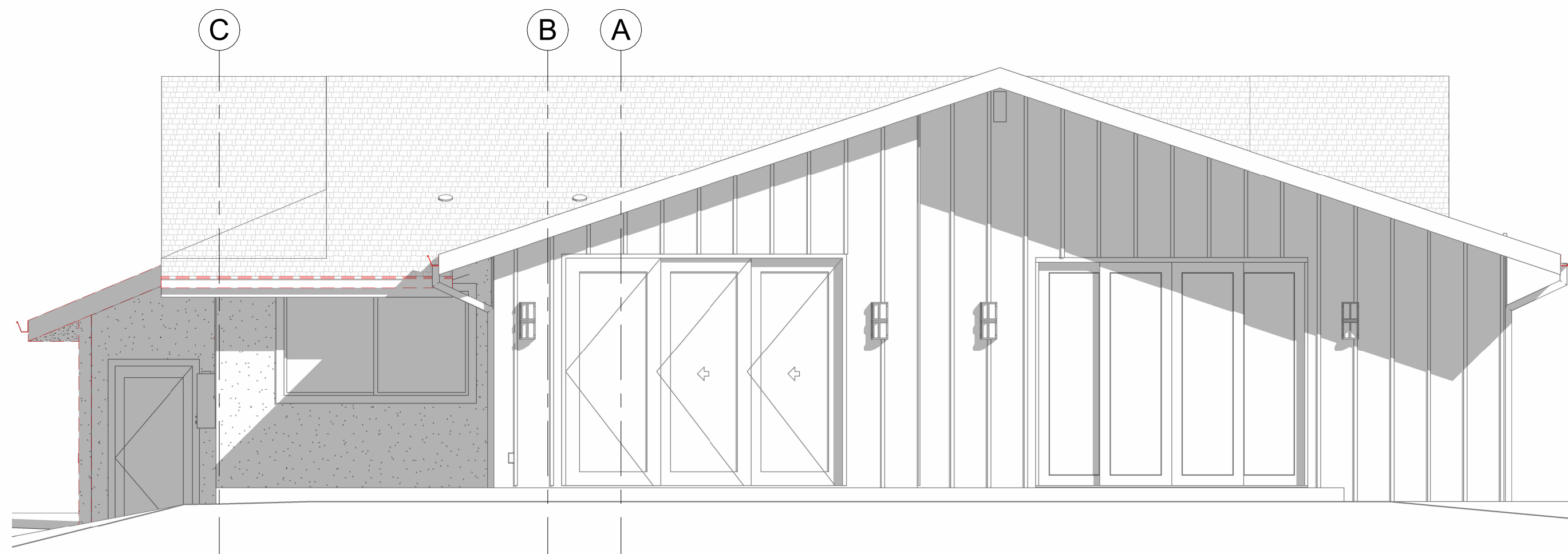
NO.	MATERIAL	MANUFACTURER	PRODUCT/COLOR	NOTES
1	ROOFING	CERTAINTEED	LANDMARK/MATCH EXISTING	ICC-ES-SER-1389
2	STUCCO		EXISTING TO REMAIN, PATCH AS NEEDED	
3	DOORS	WESTERN	ALUM CLAD/ DARK BRONZE	
4	WINDOWS	WESTERN	ALUM CLAD/ DARK BRONZE	
5	GUTTERS AND DOWNSPOUTS	N/A	MATCH EXISTING/ DEBRIS GUARD	
6	SIDING	JAMES HARDIE, INC.	HARDIE PANEL VERTICAL SIDING, WOOD BATTENS	ICC-ES-NER-405
7	DECKING	N/A	REDWOOD 2X6	



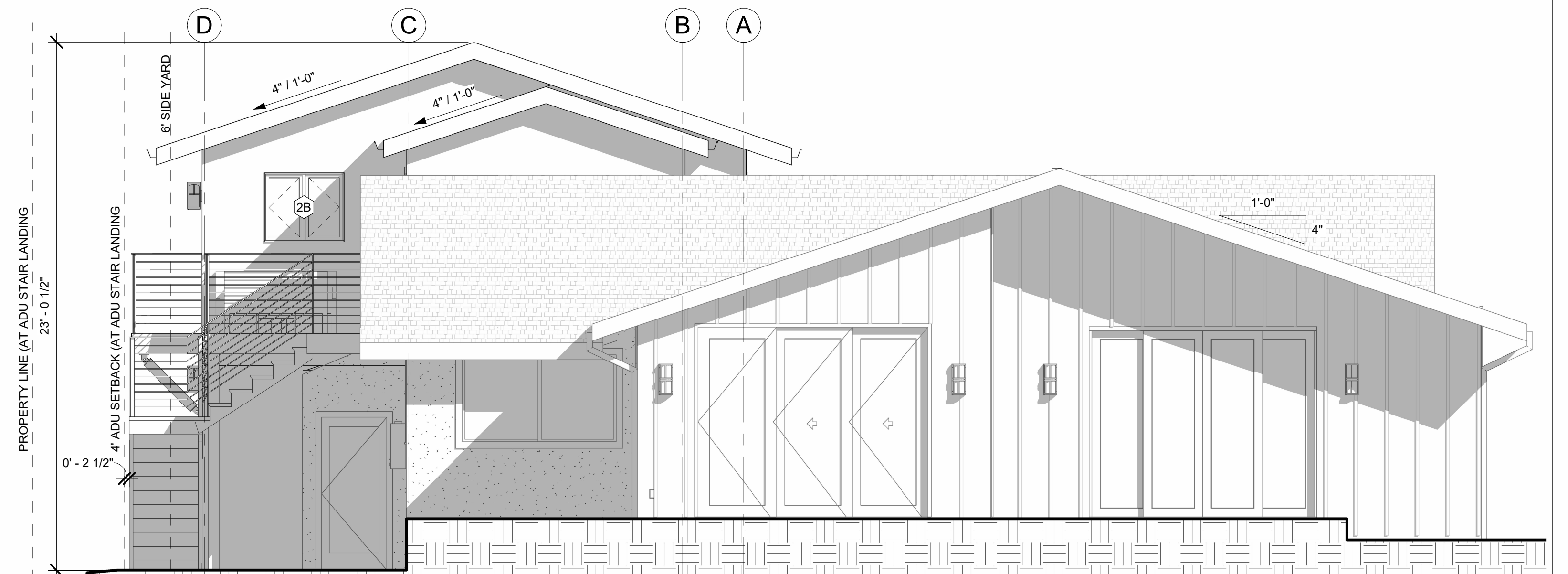
④ (E) WEST ELEVATION
1/4" = 1'-0"



② WEST ELEVATION
1/4" = 1'-0"

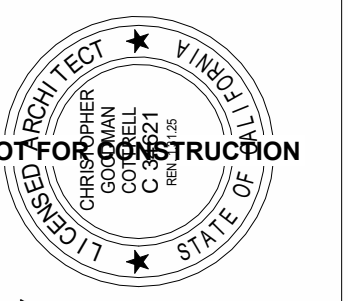


③ (E) NORTH ELEVATION
1/4" = 1'-0"



① NORTH ELEVATION
1/4" = 1'-0"

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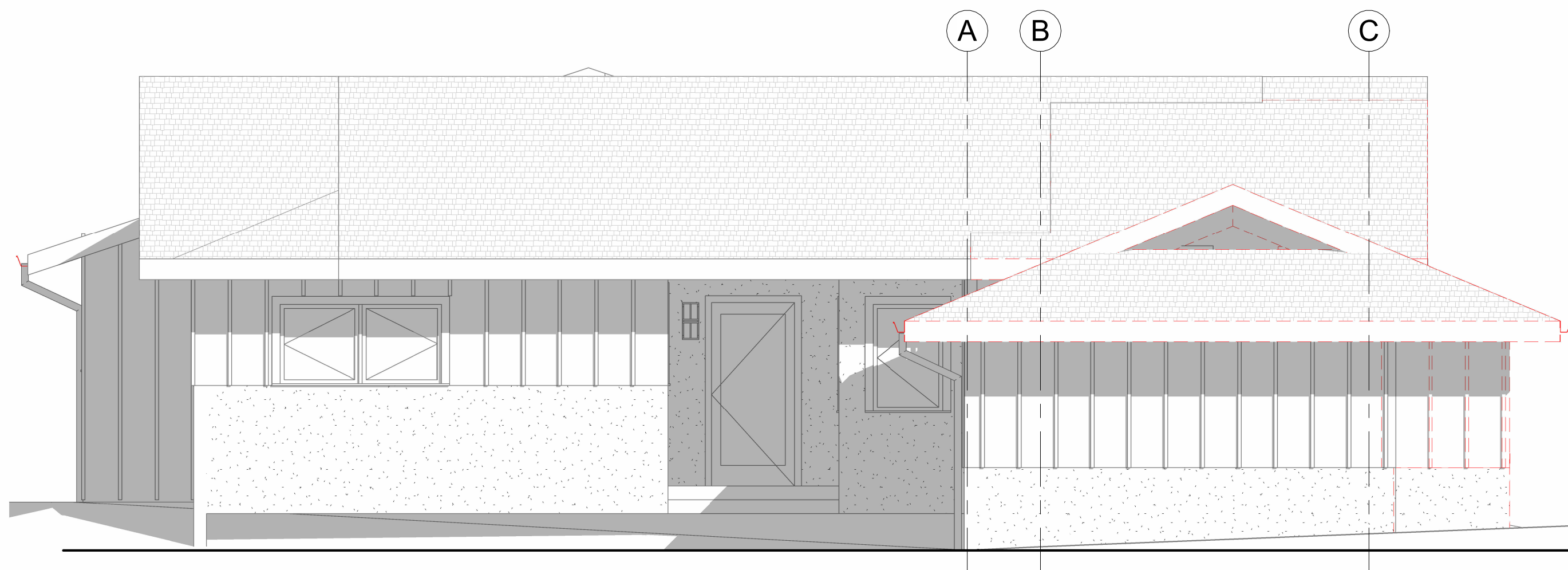
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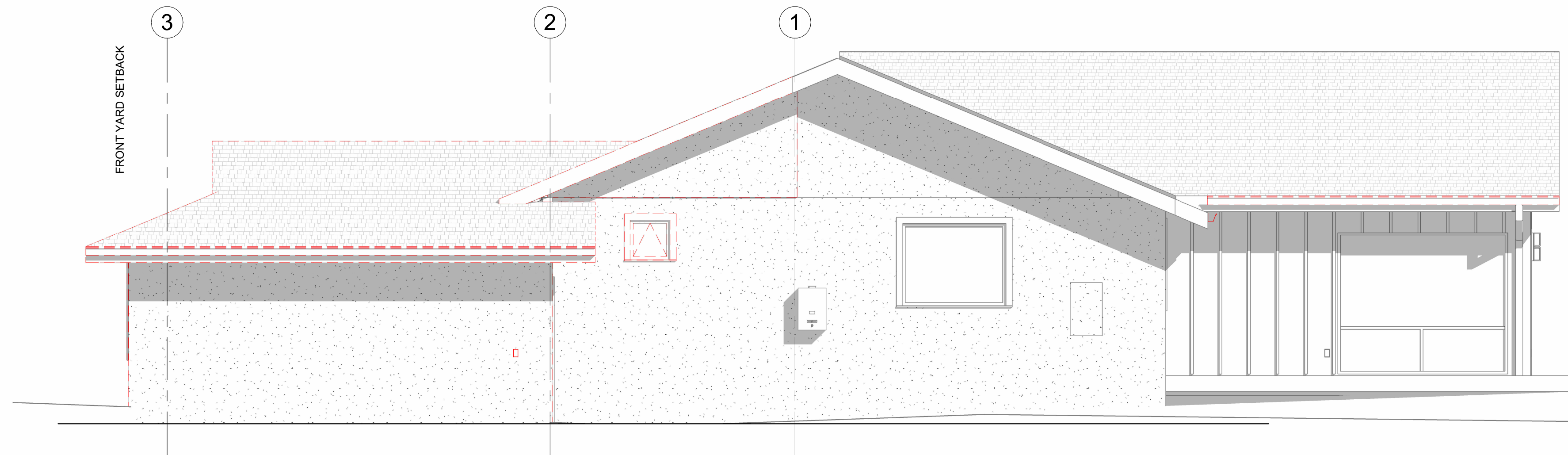
ELEVATIONS

A20

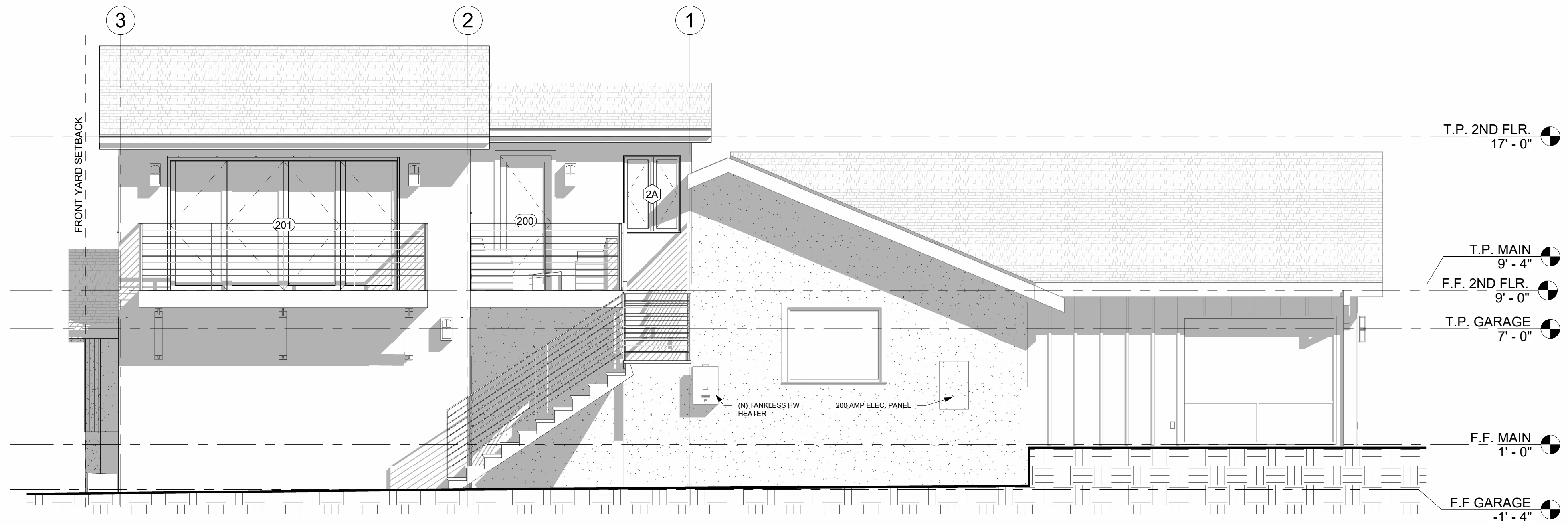
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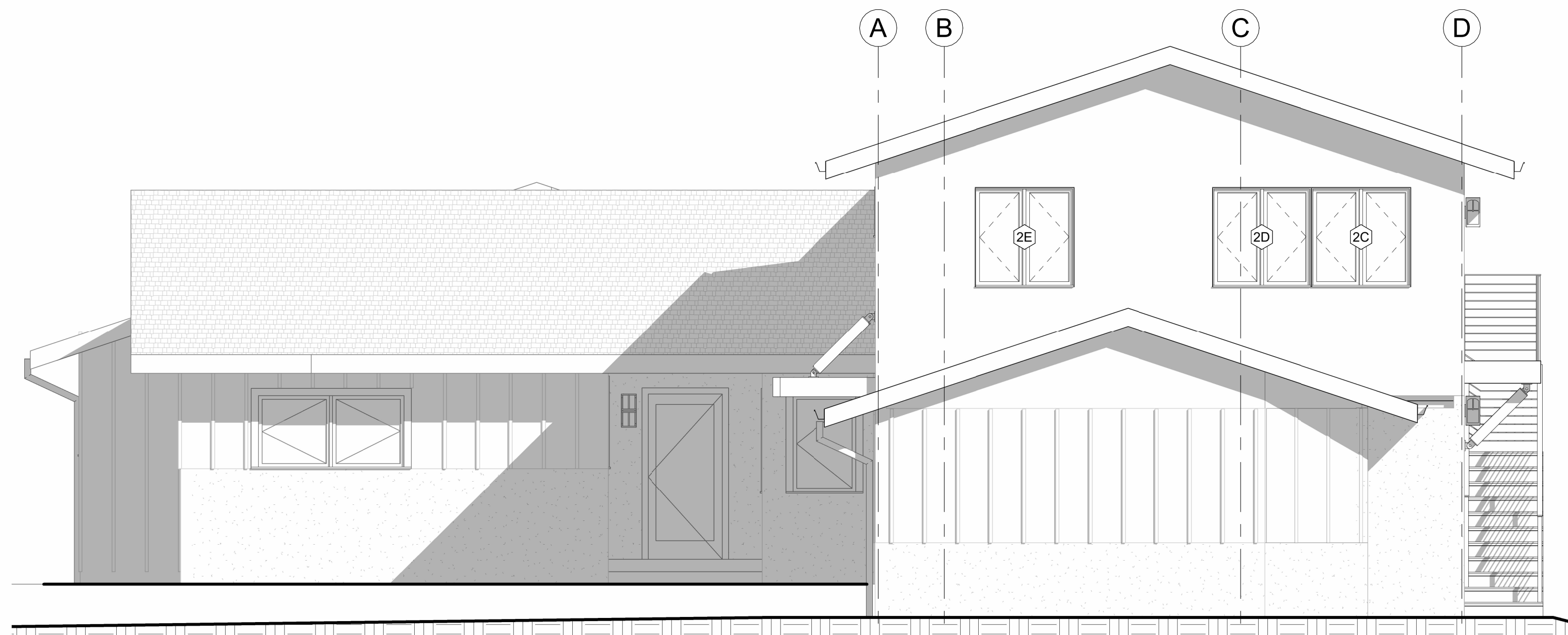
3 (E) SOUTH ELEVATION
1/4" = 1'-0"



4 (E) EAST ELEVATION
1/4" = 1'-0"

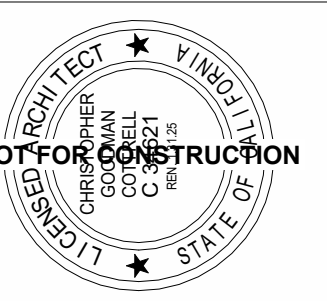


2 EAST ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

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ELEVATIONS

A21

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NOT FOR CONSTRUCTION

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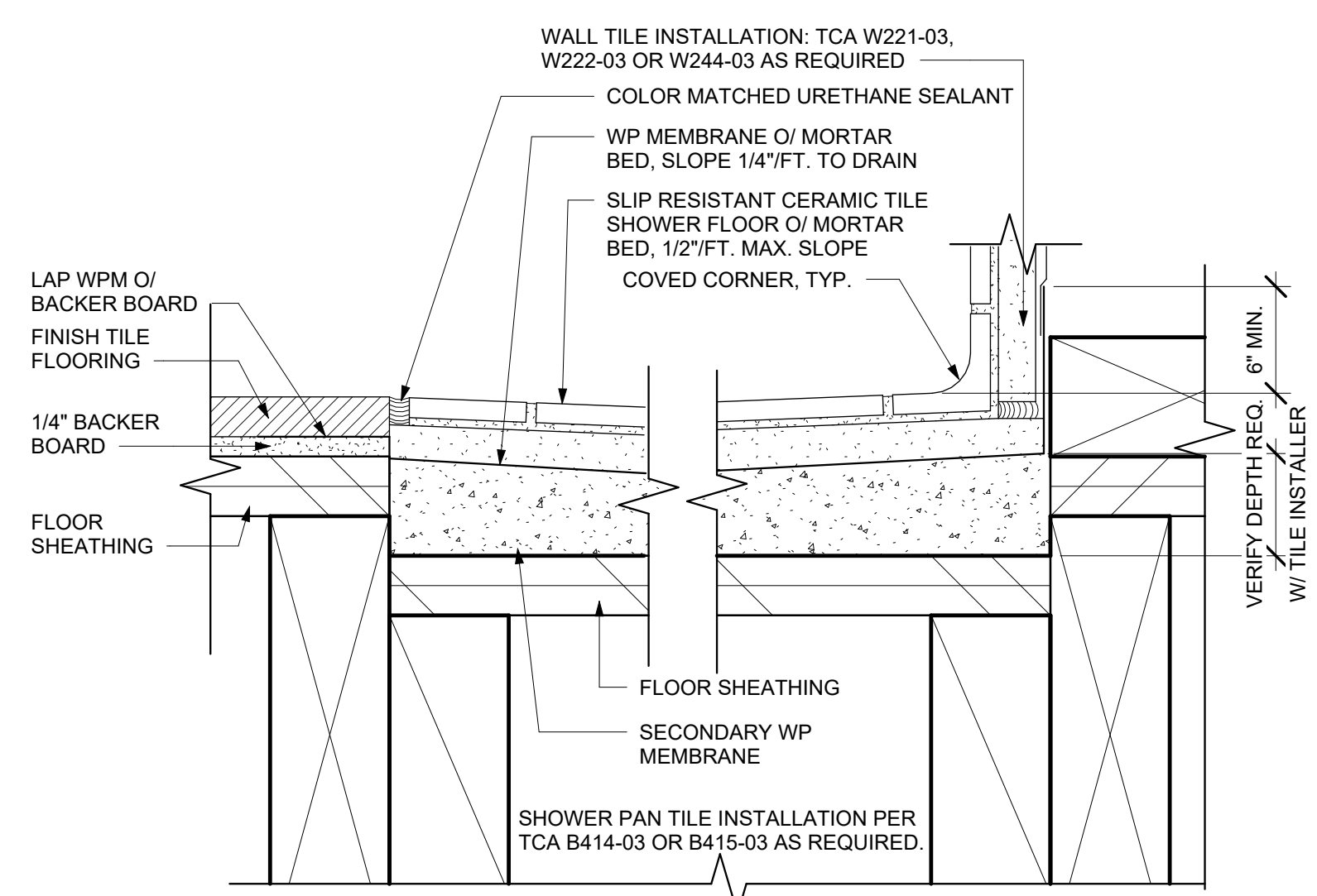
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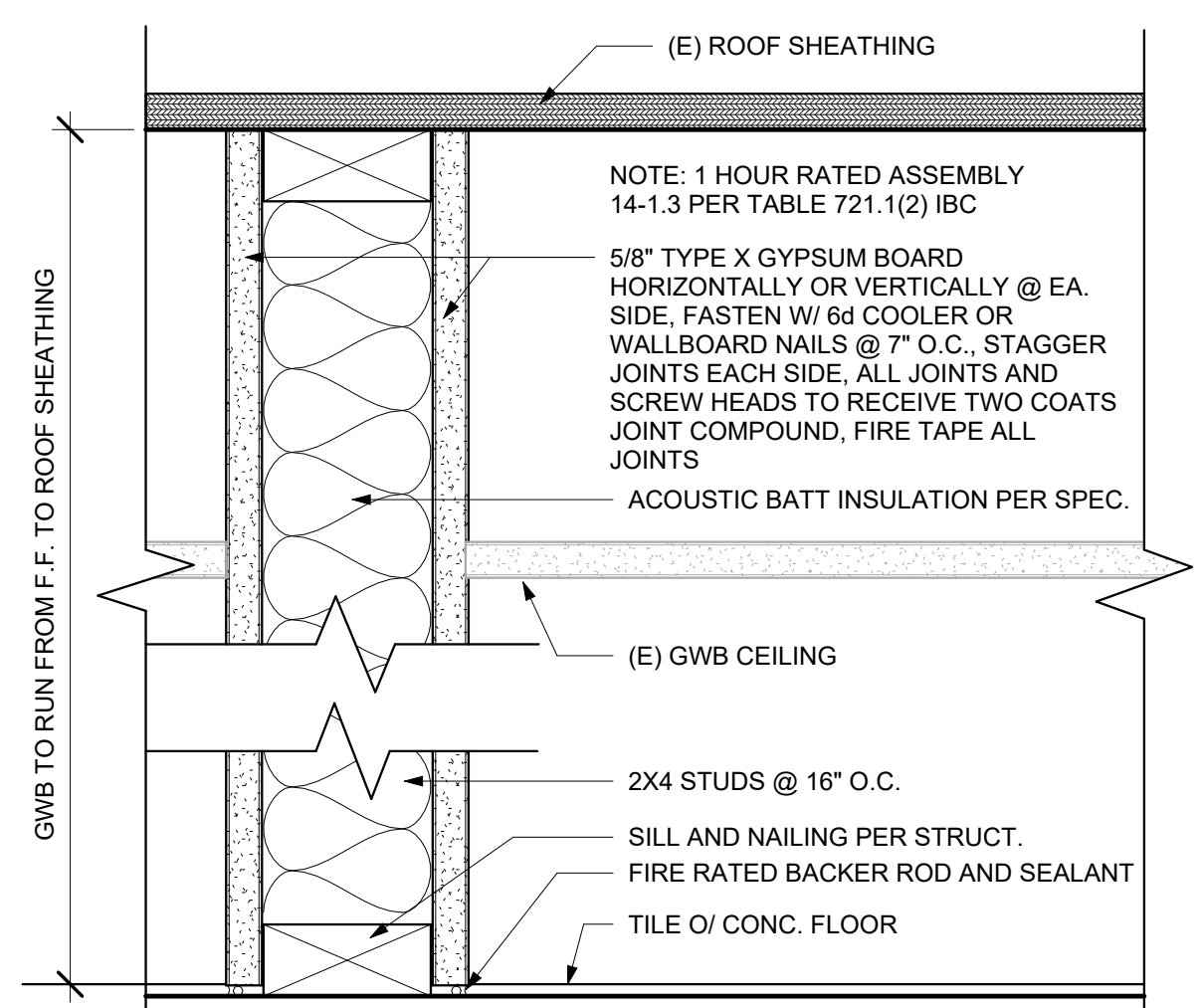
SECTIONS & DETAILS

A30

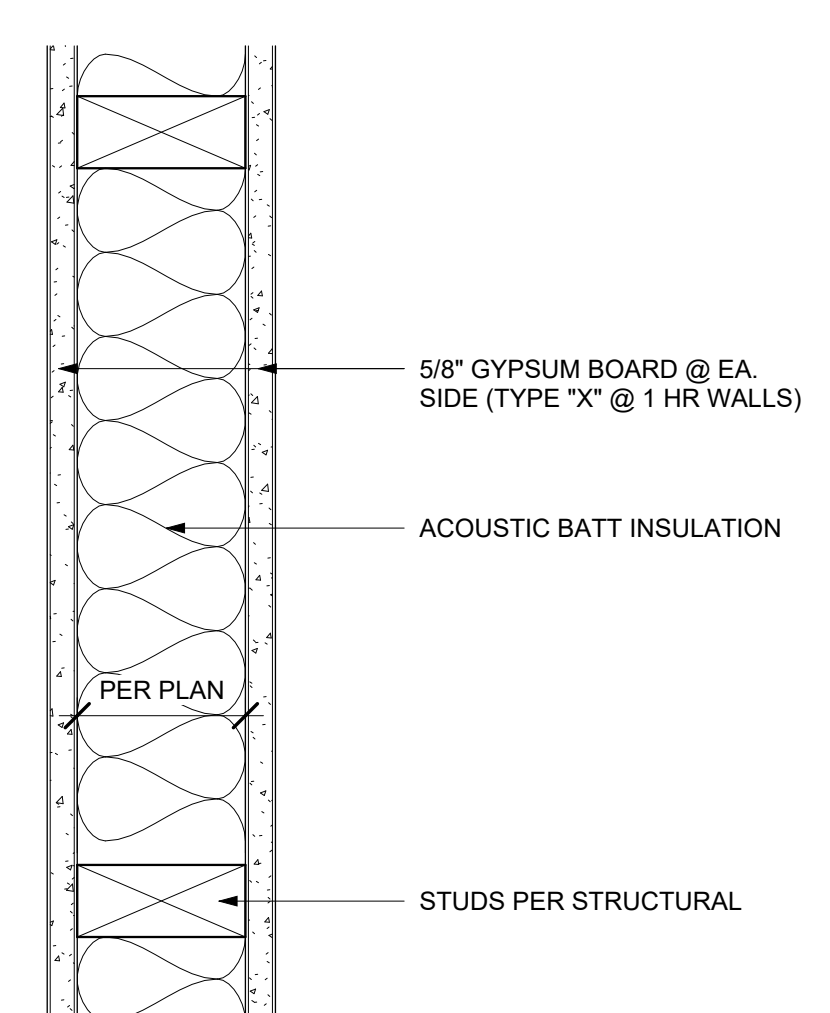
1908 CHAVEZ



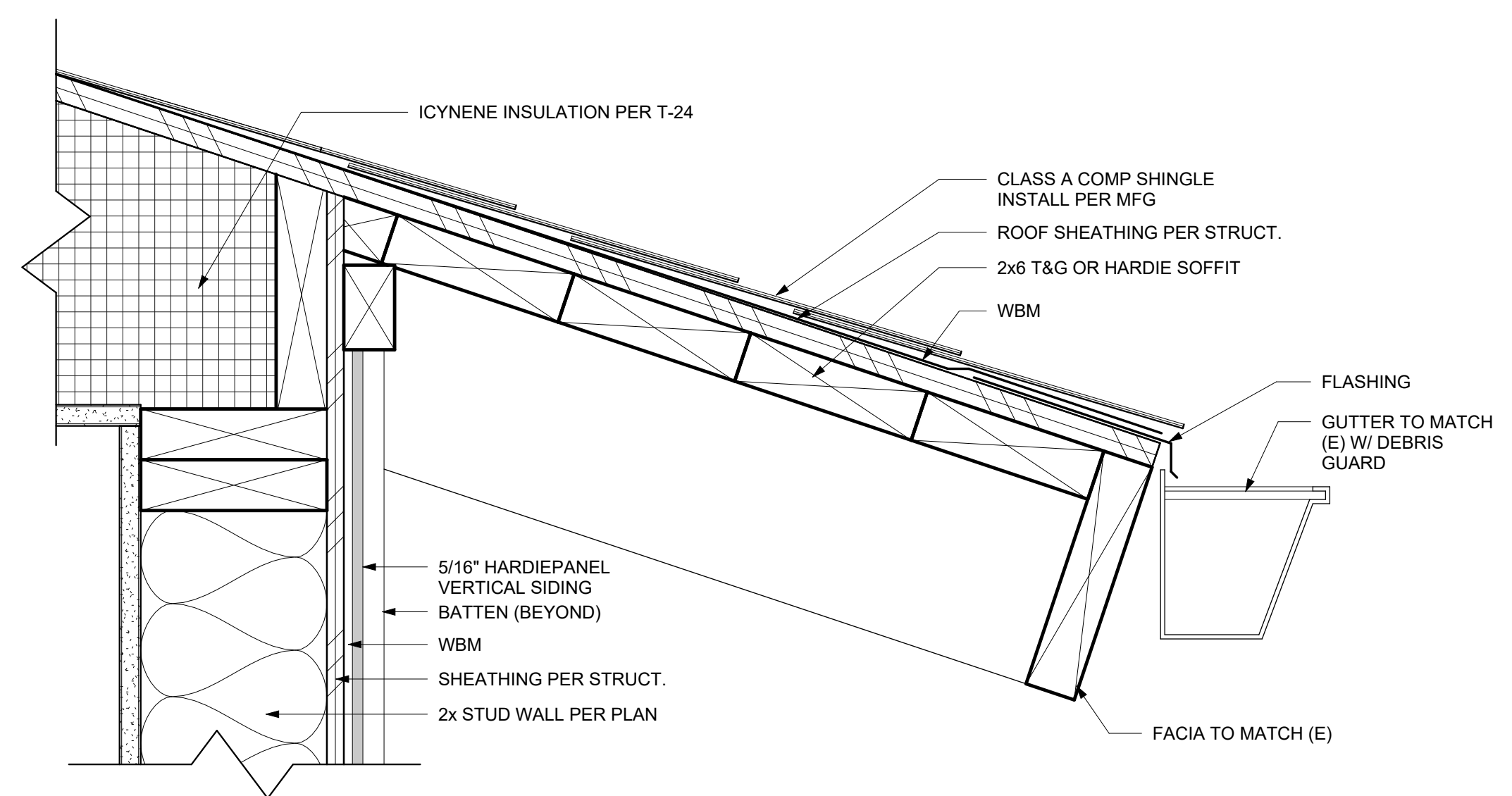
12 FLUSH SHOWER DETAIL
 6" = 1'-0"



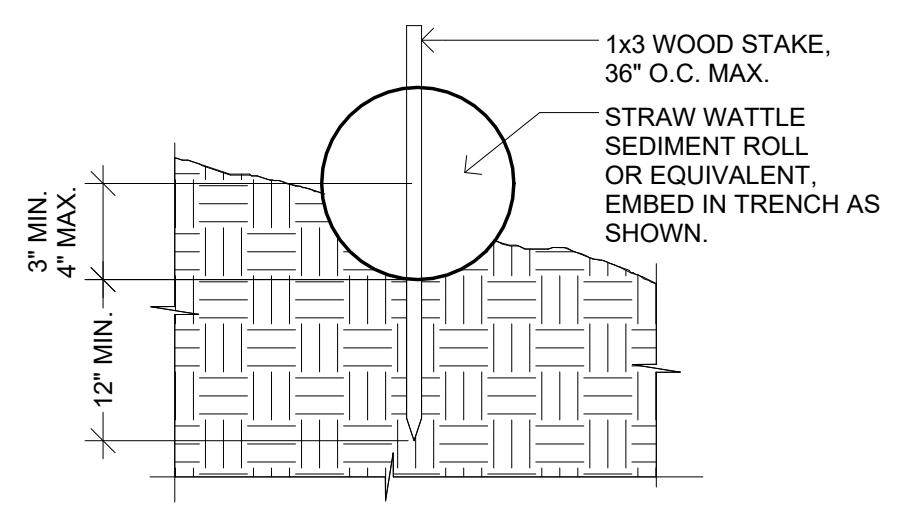
10 TYP. 1 HOUR WALL
 3" = 1'-0"



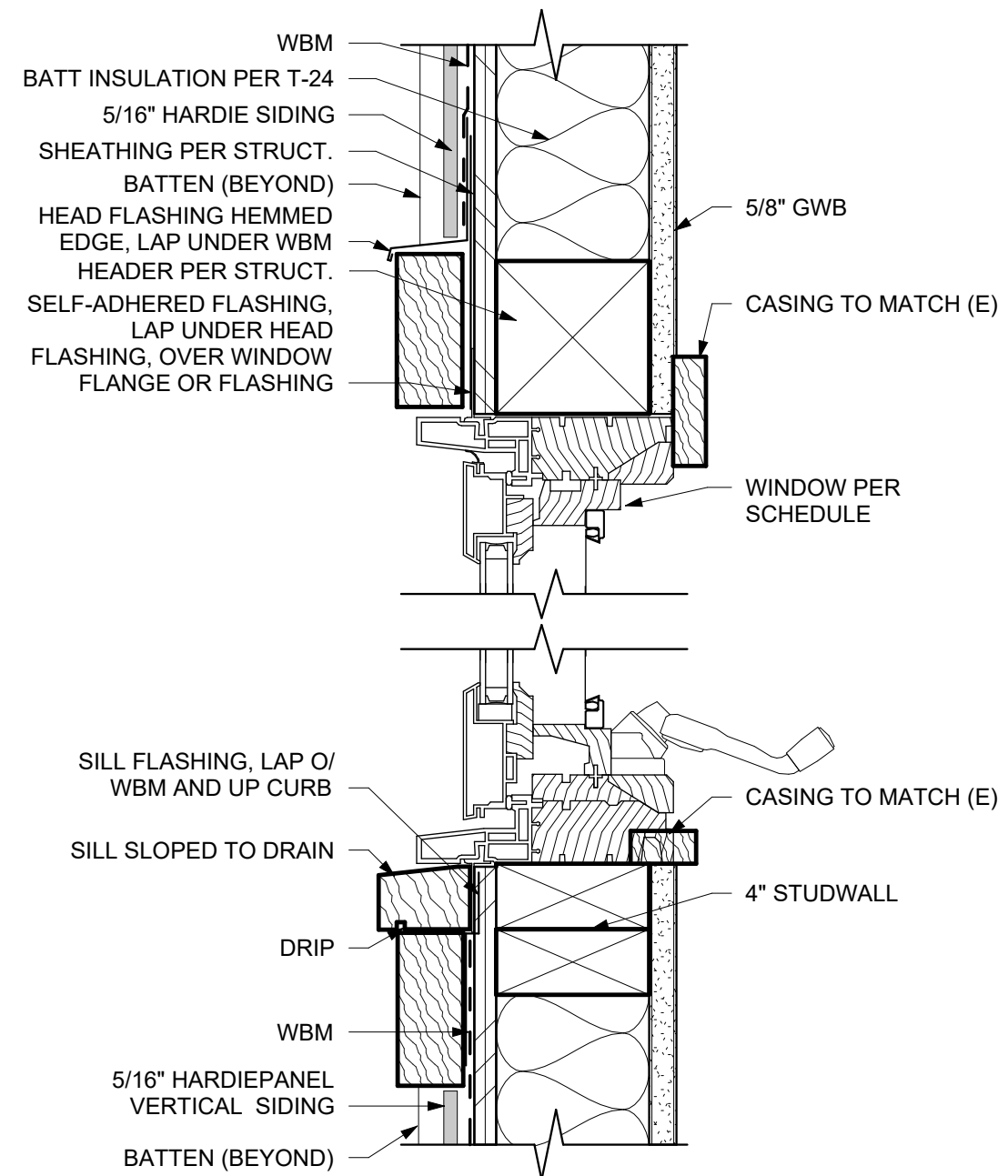
9 TYP. WALL TYPE
 3" = 1'-0"



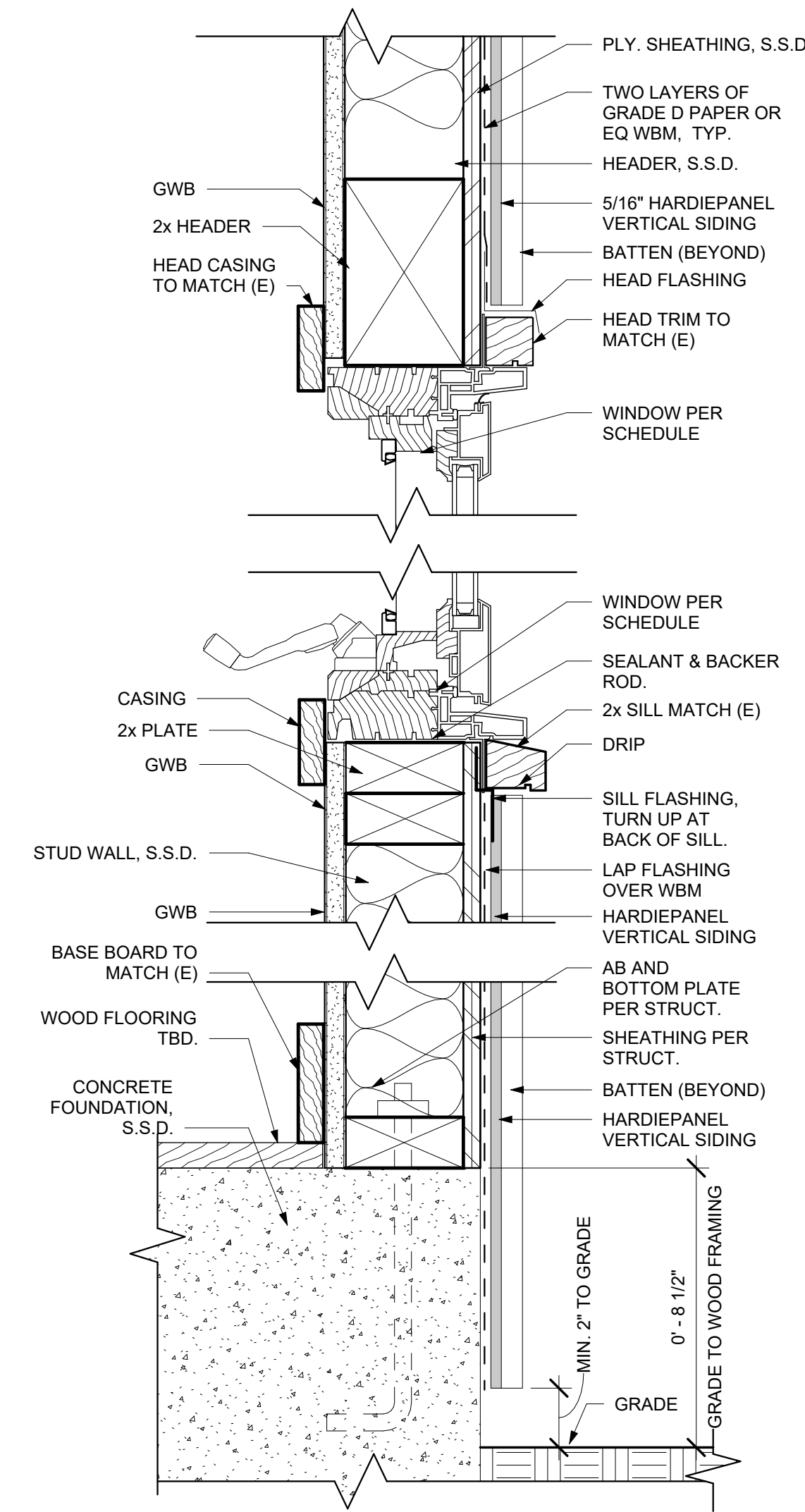
8 EAVE DETAIL
 3" = 1'-0"



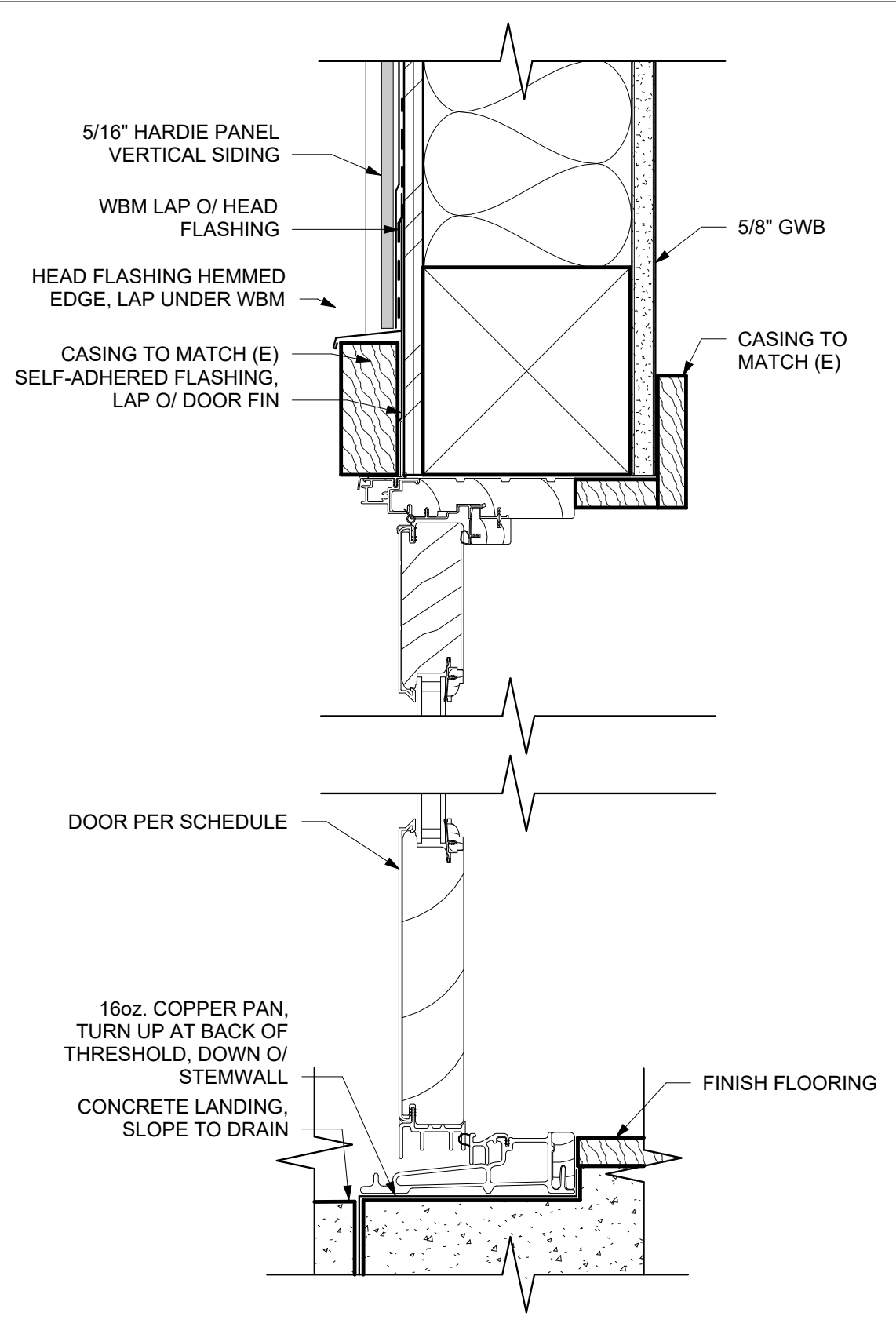
3 STRAW WATTLE
 1" = 1'-0"



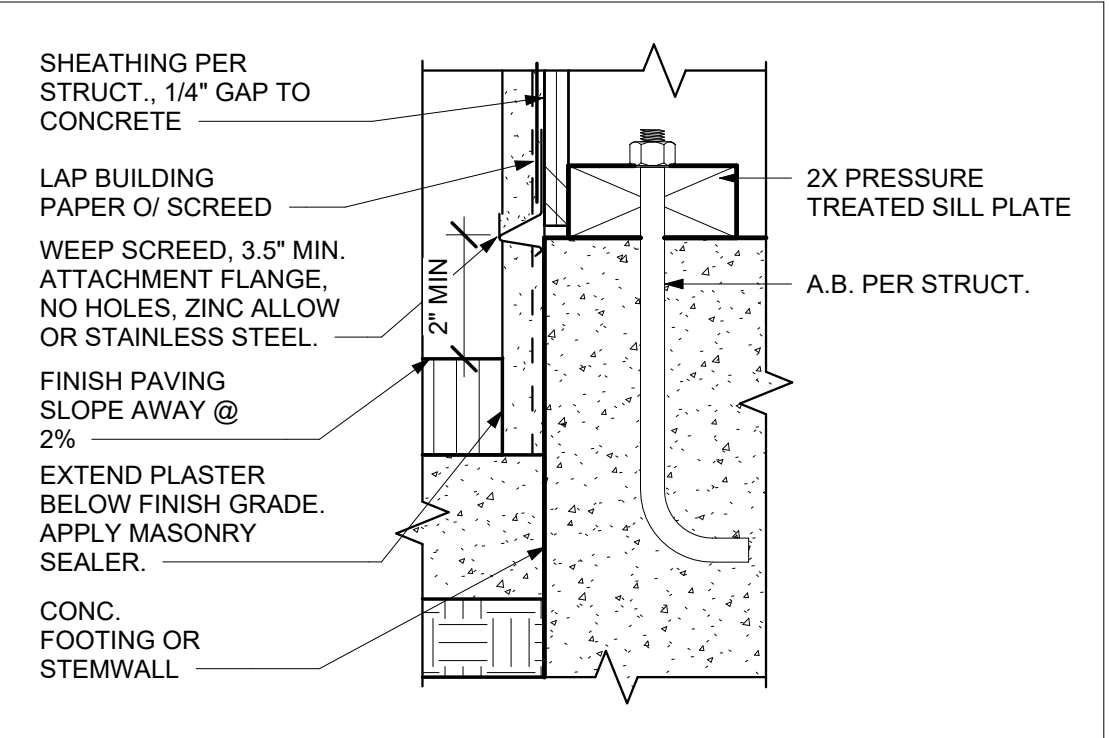
6 WINDOW DETAIL
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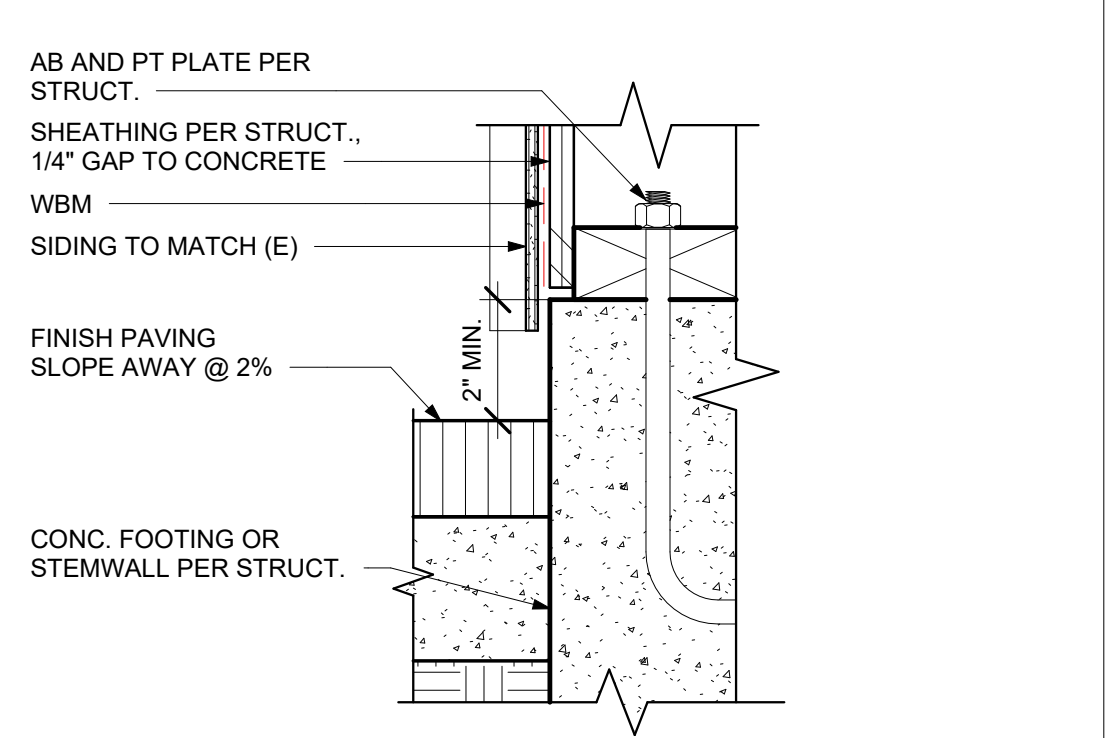
7 WALL SECTION
 3" = 1'-0"



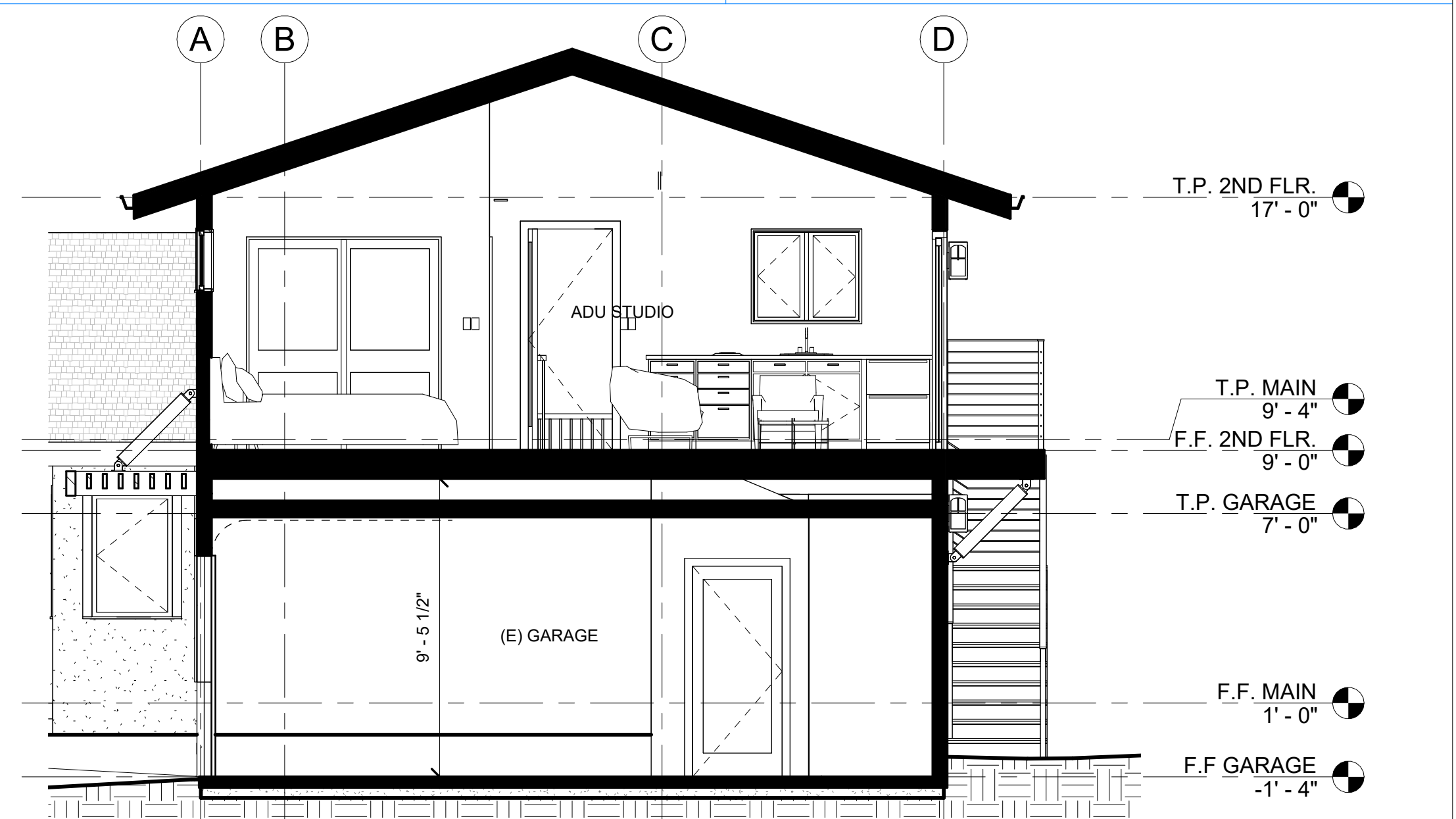
5 DOOR DETAIL
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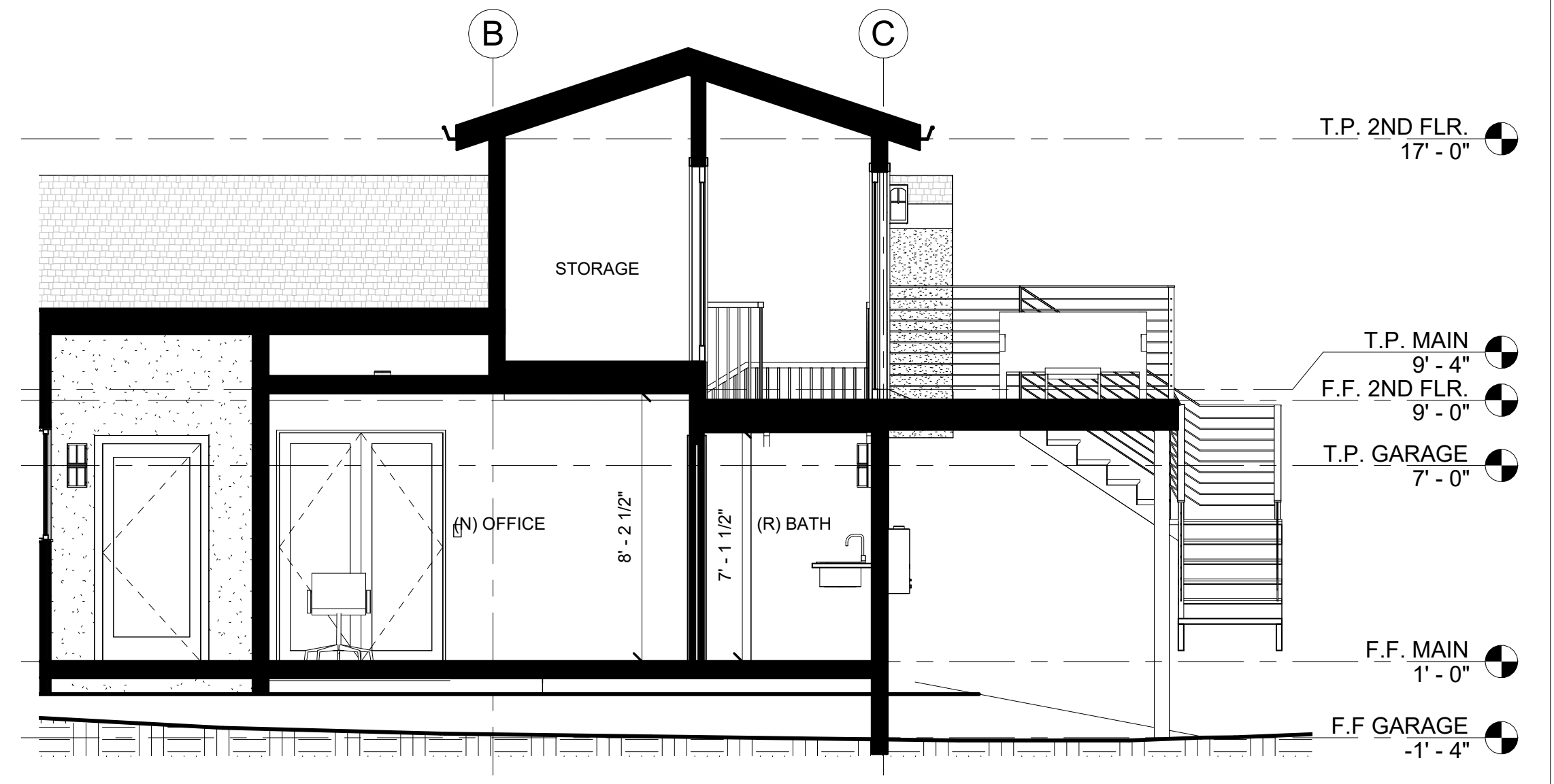
4 WEEP SCREED DETAIL TO PAVING
 3" = 1'-0"



11 SIDING DETAIL
 3" = 1'-0"



1 Section 6
 1/4" = 1'-0"



2 Section 7
 1/4" = 1'-0"