

KARCHER

351 LA MARINA DRIVE, SANTA BARBARA, CA



NEIGHBORHOOD FAR STUDY

ADDRESS	NET FAR (SQFT)	LOT AREA (SQFT)	FAR %
332 La Marina Dr	1,498	7,841	48%
333 La Marina Dr	1,598	6,534	57%
338 La Marina Dr	1,769	6,970	61%
339 La Marina Dr	1,086	5,663	42%
343 La Marina Dr	1,706	5,663	66%
344 La Marina Dr	1,597	6,970	55%
347 La Marina Dr	1,167	6,970	40%
348 La Marina Dr	958	6,970	33%
351 La Marina Dr	1,913	6,227	70%
354 La Marina Dr	1,543	9,583	43%
355 La Marina Dr	1,066	6,534	38%

SPECIAL INSPECTION & OBSERVATIONS GENERAL REQUIREMENTS

NOTICE TO THE APPLICANT/OWNER/ OWNER'S AGENT/ARCHITECT OR ENGINEER OF RECORD -

BY USING THIS PERMITTED CONSTRUCTION DRAWING SET FOR CONSTRUCTION OR INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES

NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER -

BY USING THIS PERMITTED CONSTRUCTION DRAWING SET FOR CONSTRUCTION OR INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES

THE SPECIAL INSPECTOR MUST BE RECOGNIZED BY THE CITY, IN THE CATEGORY OF WORK REQUIRED TO HAVE SPECIAL INSPECTION

THE CONSTRUCTION MATERIALS TESTING LABORATORY MUST BE APPROVED BY THE CITY FOR TESTING OF MATERIALS, SYSTEMS, COMPONENTS AND, EQUIPMENT

THE SPECIAL INSPECTIONS IDENTIFIED ON PLANS ARE, IN ADDITION TO, AND NOT A SUBSTITUTE FOR, THOSE INSPECTIONS REQUIRED TO BE PERFORMED BY BY THE LOCAL AUTHORITY BUILDING INSPECTOR

SI- SPECIAL INSPECTIONS & STRUCTURAL OBSERVATIONS

- 1.0 ALL SPECIAL INSPECTIONS SHALL CONFORM TO CHAPTER 17 OF THE CALIFORNIA BUILDING CODE
- 2.0 CONTRACTOR TO OBTAIN APPROPRIATE SPECIAL INSPECTION/OBSERVATION REPORT DOCUMENTATION PRIOR TO REQUESTING AN INSPECTION BY THE LOCAL BUILDING AUTHORITY
- 4.0 SOILS ENGINEER TO OBSERVE FOOTING EXCAVATIONS PRIOR TO PLACEMENT OF STEEL
- 5.0 MASONRY - PERIODIC SPECIAL INSPECTION REQUIRED OF STEEL REINFORCEMENT
- 6.0 WINDWARD TO OBSERVE REINFORCEMENT STEEL PRIOR TO CONCRETE PLACEMENT
- 7.0 WINDWARD TO OBSERVE FRAMING & SHEAR WALL NAILING AFTER PLUMBING, MECHANICAL & ELECTRICAL ROUGH-IN WORK HAS BEEN COMPLETED
- 8.0 EPOXY - UNO, PERIODIC INSPECTION REQUIRED FOR RETROFITTED ANCHOR BOLTS (13-S504 - CONC-EPOXY ANCHOR BOLT) OR DOWELS (14-S504 - CONC-DOWELS)
- 10.0 WINDWARD TO OBSERVE STORMWATER SYSTEM AT PROJECT FINAL

- 11.0 CALL 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS

SPECIAL INSPECTION AGENCIES

PACIFIC MATERIALS LABORATORIES
35 SOUTH LA PATERA LANE
GOLETA, CALIFORNIA 93117
TEL: 805.964.6901
FAX: 805.964.6239

GN- GENERAL NOTES

- 1.0 ALL CONSTRUCTION SHALL CONFORM TO THE 2022 CBC, 2022 CRC, 2022 CMC, 2022 CEC, 2022 CPC, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2022 CFC, 2022 CA ENERGY COMMISSION STANDARDS & ALL CITY OF SANTA BARBARA AMENDMENTS AS ADOPTED IN SANTA BARBARA CITY ORDINANCE 6093
 - 2.0 UNLESS NOTED OTHERWISE, ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS
 - 3.0 THESE DOCUMENTS CONVEY MINIMUM CONSTRUCTION REQUIREMENTS AND ARE TO BE USED WHERE THE APPLICABLE CONDITIONS OCCUR. MORE STRINGENT REQUIREMENTS STIPULATED WITHIN RELEVANT MANUFACTURER'S INSTALLATION INSTRUCTIONS WILL SUPERSEDE
 - 4.0 ALL WORK TO BE PERFORMED BY LICENSED & INSURED CONTRACTOR
 - 5.0 THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, AND TECHNIQUES FOR CONSTRUCTION
 - 6.0 ALL OSHA REGULATIONS SHALL BE FOLLOWED. GENERAL CONTRACTOR & EACH SUB-CONTRACTOR RESPONSIBLE FOR JOB-SITE SAFETY
 - 7.0 EACH SUBCONTRACTOR IS RESPONSIBLE FOR DEPOSITING DEBRIS RESULTING FROM THEIR WORK IN THE JOB-SITE CONTAINER
 - 8.0 ALL DIMENSIONS, UNLESS OTHERWISE INDICATED, ARE TO FACE OF STUD, CONCRETE, OR MASONRY
 - 9.0 SEE FORMS CF-1R & MF-1R SPECIFYING THE REQUIRED/MANDATORY ENERGY FEATURES FOR: WALL/CEILING INSULATION, WINDOW AREAS AND TYPES, HVAC SYSTEMS AND EFFICIENCY, DUCT INSULATION AND TESTING, LIGHTING TYPE AND SWITCHING, AND PIPE/HEATER INSULATION. PROVIDE COMPLETED FORM CF-6R UPON FINAL INSTALLATION OF ALL ENERGY SYSTEMS
 - 10.0 PROJECTS WITH ZONING MODIFICATION APPROVALS, WITHIN 12" OF A SETBACK, OR WHERE CONDITIONS WARRANT, MAY REQUIRE A SURVEY TO VERIFY PROPOSED FOOTPRINT OF THE STRUCTURE PRIOR TO FOOTING INSPECTION. PROVIDE SURVEYOR VERIFICATION TO INSPECTOR IF REQUESTED BY BUILDING OFFICIAL
 - 11.0 UNO, ALL REFERENCED STRUCTURAL HARDWARE TO BE FROM SIMPSON STRONG-TIE (ESR-2523)
 - 12.0 AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL, COMPACT DISC, OR WEB BASED REFERENCE SHALL BE PLACED IN THE BUILDING. THE MANUAL SHALL INCLUDE ALL OF THE ITEMS LISTED ON THE CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.410.1 [CGBSC 4.410]
- BMP- STORMWATER BEST MANAGEMENT PRACTICES**
- 1.0 DETAILED INFORMATION RELATING TO THE BEST MANAGEMENT PRACTICES SPECIFIED BELOW AND ELSEWHERE WITHIN THIS DOCUMENT CAN BE FOUND IN THE CALIFORNIA STORMWATER BMP HANDBOOK, AVAILABLE FOR DOWNLOAD AT WWW.CALBMPHANDBOOKS.COM & WWW.DOT.CA.GOV/HQ/CONSTRUCT/STORMWATERMANUALS.HTM
 - 2.0 GENERAL CONTRACTORS/CONTRACTORS AS APPLICABLE ARE RESPONSIBLE FOR THE TRAINING OF PERSONNEL IN THE PROPER DISPOSITION OF CONSTRUCTION WASTE & IMPLEMENTATION OF BMPs
 - 3.0 ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
 - 4.0 STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
 - 5.0 FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
 - 6.0 EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.
 - 7.0 TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
 - 8.0 SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
 - 9.0 ANY SLOPES WITH DISTURBED SOILS OR DEMANDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER
 - 10.0 PRESERVE EXISTING VEGETATION AT AREAS ON THE SITE WHERE NO CONSTRUCTION ACTIVITY IS PLANNED OR WILL OCCUR AT A LATER DATE
 - 11.0 WATER USED DURING CONSTRUCTION ACTIVITIES IS TO BE USED IN A MANNER THAT AVOIDS CAUSING EROSION AND/OR THAT TRANSPORTS POLLUTANTS OFF SITE
 - 12.0 DO NOT CLEAN, FUEL, OR MAINTAIN VEHICLES ON-SITE, EXCEPT IN DESIGNATED AREA WHERE WASH WATER IS CONTAINED & TREATED

F.A.R. Calculator

Instructions: Enter the information in the white boxes below. The spreadsheet will calculate the proposed FAR (floor area ratio), the 100% max FAR (per the Zoning Ordinance for "Required FAR"), and the 85% max FAR (per the Zoning Ordinance for "Required FAR"). Additionally it will determine whether a FAR Modification is required. "Guideline FAR" calculations are as outlined in the "Applicability" section of the Single Family Residence Design Guidelines, page 23-C.

The **Net Lot Area** does not include any Public Road Easements or Public Road Right-of-Way areas. The proposed **TOTAL Net FAR Floor Area** shall include the net floor area of all stories of all building, but may or may not include basement/cellar floor area. For further clarification on these definitions please refer to SBMC §28.15.083 & §30.300. This form has not yet been updated for current Title 30 zone designations, see SBMC §30.05.010 for comparison.

ENTER Project Address:	351 La Marina
Is there a basement or cellar existing or proposed?	No
ENTER Proposed TOTAL Net FAR Floor Area (in sq. ft.):	1,913

ENTER Zone ONLY from drop-down list:	E-3 or RS-7.5
ENTER Net Lot Area (in sq. ft.):	6,227
Is the height of existing or proposed buildings 17 feet or greater?	Yes
Are existing or proposed buildings two stories or greater?	Yes
The FAR Requirements are:	REQUIRED**

ENTER Average Slope of Lot:	16.00%
Does the height of existing or proposed buildings exceed 25 feet?	No
Is the site in the Hillside Design District?	No
Does the project include 500 or more cu. yds. of grading outside the main building footprint?	No
An FAR MOD is not required per SBMC §28.15 or §30.20.030	

FLOOR AREA RATIO (FAR):	0.307
Lot Size Range:	4,000 - 9,999 sq.ft.
MAX FAR Calculation (in sq. ft.):	1,200 + (0.25 x lot size in sq.ft.)
100% MAX FAR:	0.443
100% MAX FAR (in sq. ft.):	2,757
85% of MAX FAR (in sq. ft.):	2,343
80% of MAX FAR (in sq. ft.):	2,205
The 1913 square foot proposed total is 70% of the MAX FAR.*	

* NOTE: Percentage total is rounded up.

**NOTE: If your project is located on a site with multiple or overlay zones, please contact Planning Staff to confirm whether the FAR limitations are "Required" or "Guideline".

Acreage Conversion Calculator	
ENTER Acreage to Convert to square footage:	1.00
Net Lot Area (in sq. ft.):	43560

ACCESSORY DWELLING UNITS ARE EXEMPT FROM FLOOR AREA RATIO CALCULATION PER STATE OF CALIFORNIA GOVERNMENT CODE SECTION §6852.2(c)(2),(C)

PROJECT DATA

SCOPE OF WORK -

- CONVERSION OF DETACHED 480 SF GBA GARAGE WITH A 239 SF GBA ADDITION FOR A 719 SF GBA
- ACCESSORY DWELLING UNIT (ADU).
- NEW 327 SF GBA ACCESSORY STRUCTURE AND 341 SF DECK OVER ADU.
- NEW FENCE AT END OF DRIVEWAY FOR ADU ACCESS & PRIVACY.
- ALTERATIONS TO REAR YARD RETAINING WALLS.
- RELOCATION OF SPA IN REAR YARD.
- ALTERATION TO REAR DOORWAY AND LANDING AT EXISTING REAR BEDROOM.
- NEW OUTDOOR STORAGE AREA.
- REPLACE SIDING W/ STUCCO AT FRONT OF RESIDENCE.
- REROOFING OVER MAIN RESIDENCE.
- REMOVE PRE-EXISTING REAR DECK VIOLATION.
- REPAINT (E) STRUCTURE.
- DISCONNECT DESIGNATED DOWNSPOUT AND DIRECT RUNOFF TO LANDSCAPING. PROVIDE SPLASH BLOCK TO PROMOTE FLOW SPREADING.

REQUEST FOR PARKING DESIGN WAIVER - TANDEM PARKING

LOCATION: 351 LA MARINA DRIVE

APN: 045-050-005

JURISDICTION: CITY OF SANTA BARBARA

LAND USE ZONE: E-3/S-D-3

LOT SIZE: 6,227 SF

AVERAGE SLOPE OF PROPERTY: 16%

OCCUPANCY CLASSIFICATION (E): R-3

OCCUPANCY CLASSIFICATION (P): R-3

CONSTRUCTION TYPE: V-B

SPRINKLERS: NO

STORIES: 2 (PROPOSED)

HEIGHT: 19'-4"

HIGH FIRE HAZARD AREA: NO

FLOOD ZONE: X

PROJECT STATISTICS					
TYPE	STATUS	LEVEL	DESCRIPTION	GROSS BLD AREA	NET FLR AREA
ADU (N)					
	New	1ST-FLR	ADU ADDITION	239	228
	New	1ST-FLR	ADU CONVERSION	480	446
	New	1ST-FLR	STORAGE	26	26
GARAGE (E)					
	Existing	1ST-FLR	GARAGE/ADU CONVERSION	480	446
RESIDENTIAL (E)					
	Existing	1ST-FLR	MAIN RESIDENCE	1,637	1,572
RESIDENTIAL (N)					
	New	2ND-FLR	2ND STRY DECK	341	341
	New	2ND-FLR	ACCESSORY STRUCTURE	327	296
					-

TOTAL ONSITE FLOOR AREA (EXISTING + PROPOSED + ADU) = 2,542 GFA

PARKING CALCULATIONS -

EXISTING PARKING - PRIMARY RESIDENCE: 2 COVERED / 0 UNCOVERED
PROPOSED PARKING - PRIMARY RESIDENCE: 0 COVERED / 2 UNCOVERED
REQUIRED PARKING - PRIMARY RESIDENCE: 2 PURSUANT TO SBMC 28.86.080
EXISTING PARKING - ACCESSORY DWELLING UNIT: N/A
PROPOSED PARKING - ACCESSORY DWELLING UNIT: 0 COVERED / 0 UNCOVERED
REQUIRED PARKING - ACCESSORY DWELLING UNIT: 0 PURSUANT TO SBMC 28.86.080

PROJECT TEAM

CLIENT:

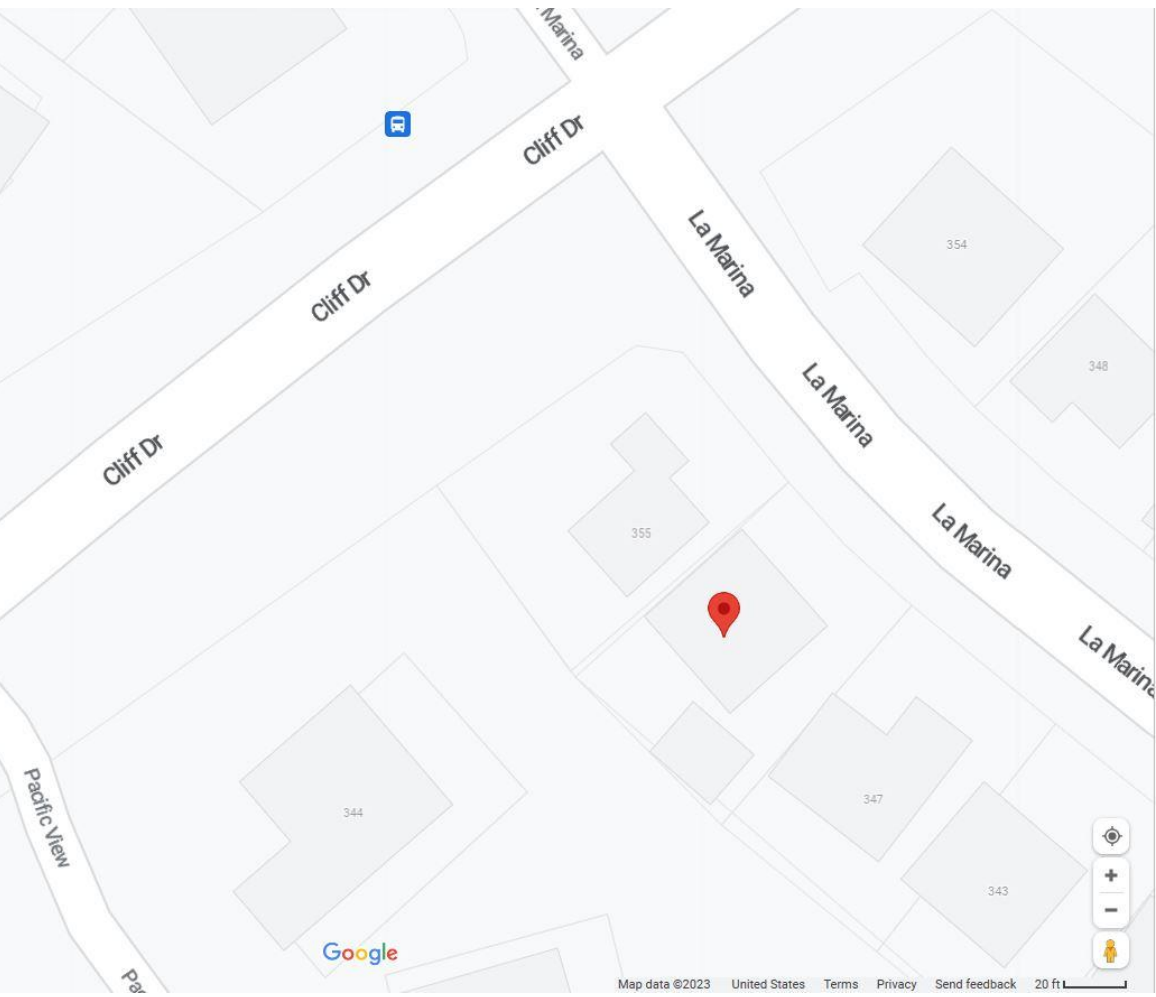
CHRIS KARCHER
351 LA MARINA DRIVE
SANTA BARBARA, CA 93109
EMAIL: CHRISKARCHER21@GMAIL.COM

DESIGN & ENGINEERING:

WINDWARD DESIGN SERVICES, LLC
1825 STATE STREET, STE 102
SANTA BARBARA, CA 93101
TEL: 805.845.6601
EMAIL: INFO@WINDWARDENG.COM

SOILS:

PACIFIC MATERIALS LABORATORIES
35 SOUTH LA PATERA LANE
GOLETA, CALIFORNIA 93117
TEL: 805.964.6901
FAX: 805.964.6239



VICINITY MAP

WINDWARD
design services, llc

moving forward

1825 STATE STREET, STE 102
SANTA BARBARA, CA 93101
T: 805.845.6601
E: INFO@WINDWARDENG.COM

KARCHER

ADU

351 LA MARINA DRIVE
SANTA BARBARA, CA 93109

PROJECT NO: 4769

CLIENT

CHRIS KARCHER
351 LA MARINA DRIVE
SANTA BARBARA, CA 93109

G001	GENERAL
G002	PHOTO SURVEY
C001	GENERAL INFORMATION
C102	BMP PLAN
C103	STORMWATER PLANS
C501	SWMP DETAILS
A801	RENDERINGS
A101	DEMO SITE PLAN
A102	PROPOSED SITE PLAN
A104	DEMO PLAN 1ST-STORY
A105	FLOOR PLAN 1ST-STORY
A106	FLOOR PLAN 2ND-STORY
A107	ROOF PLAN
A201	(E) ELEVATIONS
A202	(P) ELEVATIONS
A301	SECTIONS
A302	SECTIONS
A601	SCHEDULES

PUBLISHED: 3/19/2024 7:52 AM

DATES

12/20/2023 INITIAL SUB
03/19/2024 2ND SUB

SCALE AS NOTED

CREATED BY: WDS

SHEET

GENERAL

G001

SHEET SIZE 24X36



1 AERIAL - SITE



2 343 LA MARINA (2 DOWNHILL)
SCALE: 1:1.02



3 354 LA MARINA (ACROSS 1 UPHILL)



4 348 LA MARINA (ACROSS)



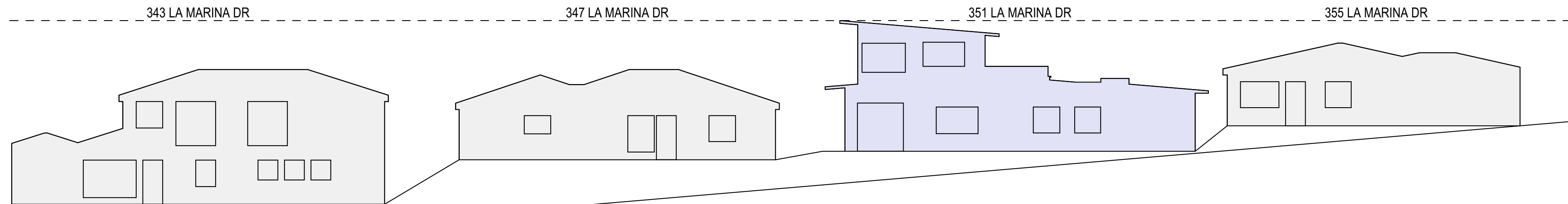
5 344 LA MARINA (ACROSS 1 DOWNHILL)



6 355 LA MARINA (1 UPHILL)



7 347 LA MARINA (1 DOWNHILL)



8 SILHOUETTE STUDY

WINDWARD

design services, llc

moving forward

1825 STATE STREET, STE 102

SANTA BARBARA, CA 93101

T: 805.845.6601

E: INFO@WINDWARDENG.COM

KARCHER

ADU

351 LA MARINA DRIVE

SANTA BARBARA, CA 93109

PROJECT NO: 4769

CLIENT

CHRIS KARCHER

351 LA MARINA DRIVE

SANTA BARBARA, CA 93109

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12/20/2023 INITIAL SUB

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SCALE AS NOTED

CREATED BY: WDS

SHEET

PHOTO SURVEY

G002

SHEET SIZE 24X36

Date: 12/12/2023

City of Santa Barbara

630 Garden St., Santa Barbara, CA 93101

Re: 351 La Marina Drive (APN: 045-050-005)

Landlord/homeowner to maintain stormwater control measures pursuant to SBMC 22.87.030 as described below:

Gutters and downspouts:

Inspect and clean gutters and downspout outlets twice annually at a minimum, once before the start of the rainy season and once after.

Flow spreading devices –

Ensure flow spreaders are free of debris for the duration of the rainy season.

Flow spreading landscaped areas-

Maintain landscaping to enhance and promote infiltration.

Property Owner

George Christopher Karcher

Name:

Signature:

Date: 12/12/23

351 La Marina Drive - BMP Maintenance Letter

CI - CIVIL NOTES

C11 GENERAL

- C11.1 ALL MATERIALS AND WORKMANSHIP ARE SUBJECT TO THE REVIEW OF THE ARCHITECT AND CIVIL ENGINEER
- C11.2 DO NOT SCALE THE DRAWINGS TO OBTAIN DIMENSIONS
- C11.3 UNO, REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS
- C11.4 UNO, EQUIPMENT & MATERIALS TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS

C12 DISCREPANCIES

- C12.1 REPORT ANY AND ALL DISCREPANCIES, AMBIGUITIES, UNCLEAR ITEMS OR ITEMS THAT ARE SUBJECT TO MORE THAN ONE INTERPRETATION, ON THE DRAWINGS AND/OR SPECIFICATIONS TO THE STRUCTURAL ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH WORK
- C12.2 VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK. THE ARCHITECT AND STRUCTURAL ENGINEER ARE TO BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES. CHECK AND COORDINATE ALL DIMENSIONS. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND NON STRUCTURAL ITEMS NOT SHOWN ON THESE PLANS

C13 DEMOLITION

- C13.1 DESIGN AND INSTALL ALL TEMPORARY BRACING AND SHORING TO ENSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM. WHEN REQUIRED BY LAW, EMPLOY A CIVIL ENGINEER TO DESIGN SHORING, BRACING AND INSTALLATION PLANS FOR STRUCTURAL ITEMS

C14 SCAFFOLDING

- C14.1 ALL SCAFFOLDING AND SHORING IS TO COMPLY WITH THE RULES AND REGULATIONS OF THE INDUSTRIAL SAFETY COMMISSION OF THE STATE OF CALIFORNIA

C15 EXCAVATIONS

- C15.1 ALL EXCAVATIONS TO COMPLY WITH THE RULES AND REGULATIONS OF THE INDUSTRIAL SAFETY COMMISSION OF THE STATE OF CALIFORNIA
- C15.2 IF SOILS REPORT PRODUCED FOR PROJECT, OBSERVE EXCAVATION REQUIREMENTS STIPULATED WITHIN

C16 GRADING PLAN REQUIREMENT FOR ARCHAEOLOGICAL RESOURCES

- C16.1 IF ARCHAEOLOGICAL RESOURCES ARE ENCOUNTERED OR SUSPECTED, WORK SHALL BE HALTED OR REDIRECTED IMMEDIATELY AND THE PLANNING DIVISION SHALL BE NOTIFIED. THE ARCHAEOLOGIST SHALL ASSESS THE NATURE, EXTENT, AND SIGNIFICANCE OF ANY DISCOVERIES AND DEVELOP APPROPRIATE MANAGEMENT RECOMMENDATIONS FOR ARCHAEOLOGICAL RESOURCE TREATMENT
- C16.2 IF THE DISCOVERY CONSISTS OF POSSIBLE HUMAN REMAINS, THE LOCAL CORONER SHALL BE CONTACTED IMMEDIATELY. WORK IN THE AREA MAY ONLY PROCEED AFTER THE PLANNING DIVISION GRANTS AUTHORIZATION

C17 BMP- STORMWATER BEST MANAGEMENT PRACTICES

- C17.1 DETAILED INFORMATION RELATING TO THE BEST MANAGEMENT PRACTICES SPECIFIED BELOW AND ELSEWHERE WITHIN THIS DOCUMENT CAN BE FOUND IN THE CALIFORNIA STORMWATER BMP HANDBOOK, AVAILABLE FOR FREE DOWNLOAD AT WWW.CABMPHANDBOOKS.COM
- C17.2 IMPLEMENTATION OF STORMWATER BMP TO BE COORDINATED WITH BUILDING OFFICIAL
- C17.3 ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- C17.4 STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- C17.5 FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- C17.6 EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.
- C17.7 TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- C17.8 SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- C17.9 ANY SLOPES WITH DISTURBED SOILS OR DEMANDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

C18 STORM DRAIN PIPE

STORM DRAIN PIPE SHALL NOT BE ROUTED TO SANITARY SEWER SYSTEMS

- C18.1 UNO, STORM DRAIN PIPE TO BE PVC, SCHEDULE 40
- C18.3 ALL STORM DRAIN INLETS TO BE PROTECTED FROM DEBRIS & RODENT INFILTRATION
- C18.4 ALL STORM DRAIN SYSTEMS TO INCLUDED CLEANOUTS TO ALLOW FOR PERIOD MAINTENANCE
- C18.5 ALL PIPE FITTINGS TO BE GLUED WITH PVC CEMENT OR EQUAL
- C18.6 DRAIN PIPE MAX CAPACITIES
- | | | |
|--------|-----------|-----------|
| 1 1/2" | 13 GPM | 0.029 CFS |
| 2" | 21 GPM | 0.047 CFS |
| 3" | 34 GPM | 0.102 CFS |
| 4" | 78 GPM | 0.174 CFS |
| 6" | 222 GPM | 0.495 CFS |
| 8" | 478 GPM | 1.070 CFS |
| 10" | 860 GPM | 1.916 CFS |
| 12" | 1,384 GPM | 3.084 CFS |
| 15" | 2,473 GPM | 5.510 CFS |

C110 DRAIN INLETS

- C110.1 GUTTERS - WHEN GUTTERS DRAIN DIRECTLY TO DRYWELL (WITHOUT 'DAYLIGHTING' TO AN AREA DRAIN FIRST), PROVIDE DEBRIS SCREEN OVER LENGTH OF GUTTER OR AT TOP OF DOWNSPOUT TO PREVENT DEBRIS FROM ENTERING DRYWELL
- C110.2 AREA DRAINS TO INCLUDE DEBRIS SCREENS

C111 GUTTERS

- C111.1 UNO, PROVIDE 1 DOWNSPOUT PER 300-SF OF ROOF AREA
- C111.2 PROVIDE A MIN OF 2 DOWNSPOUTS FOR GUTTER LENGTHS >= 20'-L
- C111.3 PROTECT ADJACENT GRADE @ DOWNSPOUT DAYLIGHT PER 'CIVIL-DISCONNECTED DOWNSPOUT'
- C111.4 PLACE DOWNSPOUT SO AS TO MINIMIZE VISUAL IMPACT ON ARCHITECTURAL FEATURES

C112 WATER SPRINKLING DURING GRADING

- C112.1 DURING SITE GRADING AND TRANSPORTATION OF FILL MATERIALS, REGULAR WATER SPRINKLING SHALL OCCUR USING RECLAIMED WATER WHENEVER THE PUBLIC WORKS DIRECTOR DETERMINES THAT IT IS REASONABLY AVAILABLE. DURING CLEARING, GRADING, EARTH MOVING OR EXCAVATION, SUFFICIENT QUANTITIES OF WATER, THROUGH USE OF EITHER WATER TRUCKS OR SPRINKLER SYSTEMS, SHALL BE APPLIED TO PREVENT DUST FROM LEAVING THE SITE. EACH DAY AFTER CONSTRUCTION ACTIVITIES CEASE, THE ENTIRE AREA OF DISTURBED SOIL SHALL BE SUFFICIENTLY MOISTENED TO CREATE A CRUST.
- C112.2 THROUGHOUT CONSTRUCTION, WATER TRUCKS OR SPRINKLER SYSTEMS SHALL ALSO BE USED TO KEEP ALL AREAS OF VEHICLE MOVEMENT DAMP ENOUGH TO PREVENT DUST RAISED FROM LEAVING THE SITE. AT A MINIMUM, THIS WILL INCLUDE WETTING DOWN SUCH AREAS IN THE LATE MORNING AND AFTER WORK IS COMPLETED FOR THE DAY. INCREASED WATERING FREQUENCY WILL BE REQUIRED WHENEVER THE WIND SPEED EXCEEDS 15 MPH

C113 SLOPES @ STRUCTURE PERIMETER

- C113.1 UNO PER PLAN, PERMEABLE SURFACES ABUTTING STRUCTURES TO BE SLOPED AWAY FROM STRUCTURE @ 5% MIN FOR AT LEAST 10'
- C113.2 UNO PER PLAN, IMPERMEABLE SURFACES ABUTTING RESIDENTIAL STRUCTURES TO BE SLOPED AWAY FROM STRUCTURE @ 2% MIN FOR AT LEAST 10'
- C113.3 UNO PER PLAN, IMPERMEABLE SURFACES ABUTTING NON-RESIDENTIAL STRUCTURES TO BE SLOPED AWAY FROM STRUCTURE @ 1% MIN FOR AT LEAST 10'
- C113.4 WHERE 10' CLEARANCE NOT ACHIEVABLE, PROVIDE AREA DRAINS TO ROUTE SURFACE RUNOFF AWAY FROM STRUCTURE

SITE PLAN LEGEND

	AREA DRAIN
	BACKFLOW PREVENTION
	BALL VALVE
	BIO RETENTION BASIN
	BIO RETENTION INVERT
	BIO RETENTION OVERFLOW
	CATCH BASIN
	CHANNEL/TRENCH DRAIN
	CLEANOUT
	CUT
	DECK DRAIN
	DETENTION ZONE (DZ)
	DETENTION ZONE INVERT
	DOWNSPOUT
	DRAINAGE SLOPE
	ELECTRIC METER
	ELEVATION (DEMO)
	ELEVATION (E)
	ELEVATION (N)
	EXCAVATE & COMPACT (E&C)
	EXCAVATION DEPTH
	FIBER ROLL
	FILL
	FINISHED FLOOR ELEVATION
	FINISHED GRADE ELEVATION
	FIRE HYDRANT
	FREEBOARD
	GAS METER
	GROUND VAULT
	HANDHOLE
	OVERFLOW INVERT
	OVERHEAD WIRES
	PER ARCH PLAN
	PER LANDSCAPE PLAN
	PIPE INVERT
	POWER POLE
	PROPERTY LINE
	REDUCED PRESSURE
	REDUCED PRESSURE / BACKFLOW
	RIP-RAP TO PREVENT EROSION
	ROOF CHAIN
	ROOF DRAIN
	ROUGH GRADE ELEVATION
	SCUPPER
	SELF RETAINING
	SELF TREATING
	SETBACK
	SEWER MANHOLE
	SHUTOFF VALVE
	SILT FENCE
	SLOPE OF GRADE 5% MIN FOR 10-FT
	SPILLWAY INVERT
	SPOT ELEVATION (E)
	SPOT ELEVATION (N)
	STORM DRAIN MANHOLE
	SUBGRADE
	TOP OF CURB
	TOP OF DECK
	TOP OF FENCE
	TOP OF GRATE
	TOP OF PAVEMENT (CONC, ETC)
	TOP OF ROAD BASE
	TOP OF WALL
	UPPER DOWNSPOUT
	UNLESS NOTED OTHERWISE
	WATER METER
	WALL DRAIN, 4"
	WALL HEIGHT
	WETTED INVERT
	WORK AREA

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1825 STATE STREET, STE 102
SANTA BARBARA, CA 93101
T: 805.845.6601
E: INFO@WINDWARDENG.COM

KARCHER
ADU
351 LA MARINA DRIVE
SANTA BARBARA, CA 93109

PROJECT NO: 4769

CLIENT
CHRIS KARCHER
351 LA MARINA DRIVE
SANTA BARBARA, CA 93109

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C103 STORMWATER PLANS

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A106 FLOOR PLAN 2ND-STORY

A107 ROOF PLAN

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A601 SCHEDULES

REGISTERED PROFESSIONAL ENGINEER
STEVEN C REICHEL
51155
CIVIL
STATE OF CALIFORNIA

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SCALE AS NOTED

CREATED BY: WDS

SHEET
GENERAL INFORMATION

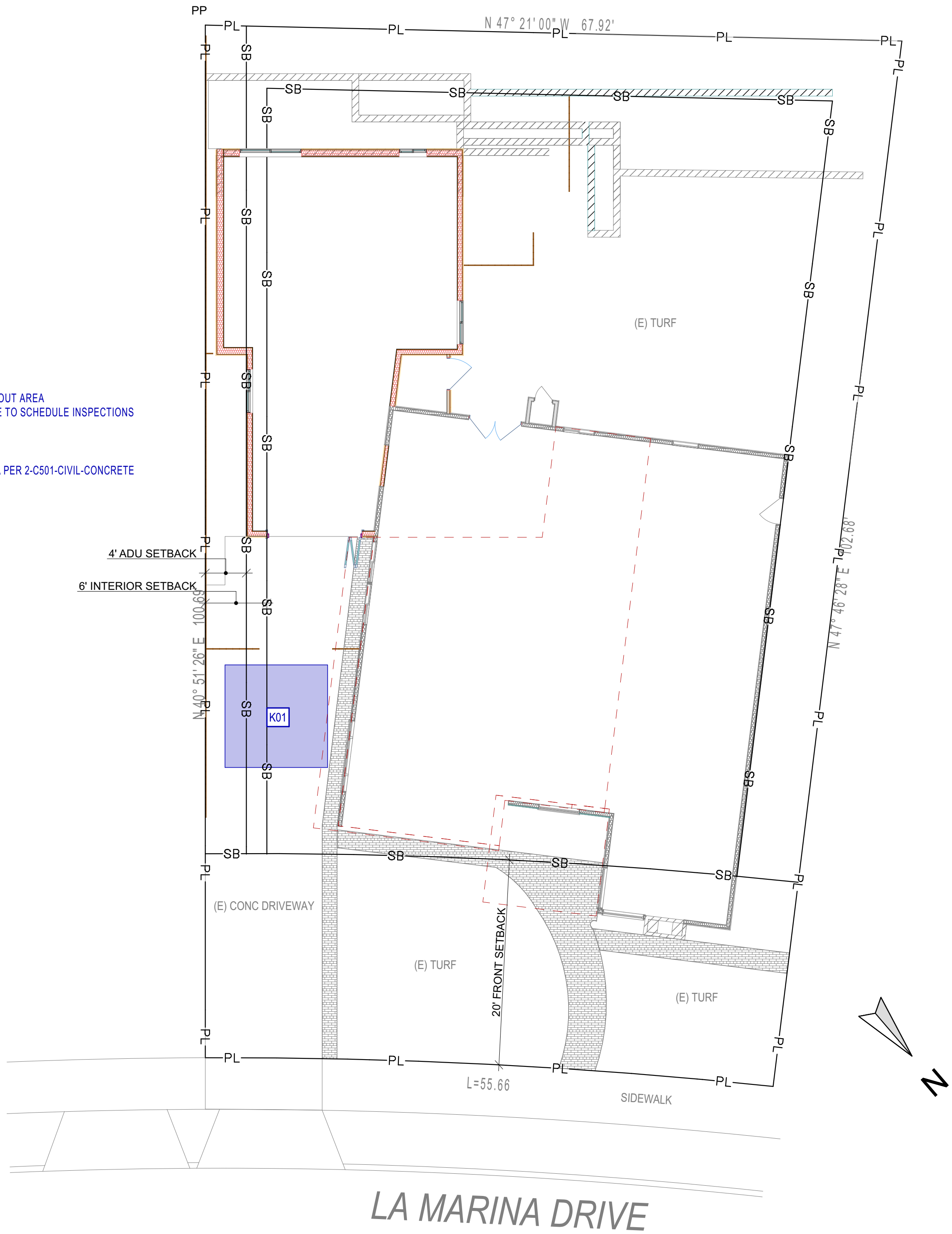
C001
SHEET SIZE 24X36

BMP SCOPE OF WORK

- 1.0 PROVIDE CONCRETE WASHOUT AREA
2.0 CALL 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS

KEYNOTES -

- K01 CONCRETE WASHOUT AREA PER 2-C501-CIVIL-CONCRETE WASHOUT



1 BMP
SCALE: 1/8\" = 1'-0"

SITE PLAN LEGEND	
[AD]	AREA DRAIN
[BP]	BACKFLOW PREVENTION
[BV]	BALL VALVE
△ △ △ △ △ △	BIO RETENTION BASIN
BRI	BIO RETENTION INVERT
BRO	BIO RETENTION OVERFLOW
[CB]	CATCH BASIN
[]	CHANNEL/TRENCH DRAIN
CO	CLEANOUT
- - -	CUT
[DD]	DECK DRAIN
[]	DETENTION ZONE (DZ)
DZI	DETENTION ZONE INVERT
[DS]	DOWNSPOUT
→	DRAINAGE SLOPE
[EM]	ELECTRIC METER
- XXX	ELEVATION (DEMO)
XXX	ELEVATION (E)
XXX	ELEVATION (N)
E&C	EXCAVATE & COMPACT (E&C)
ED	EXCAVATION DEPTH
FR 12.0	FIBER ROLL
[]	FILL
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE ELEVATION
FH	FIRE HYDRANT
FB	FREEBOARD
[GM]	GAS METER
GV	GROUND VAULT
HH	HANDHOLE
OVRI	OVERFLOW INVERT
OVHWD	OVERHEAD WIRES
PAP	PER ARCH PLAN
PLP	PER LANDSCAPE PLAN
PI	PIPE INVERT
[]	POWER POLE
- - -	PROPERTY LINE
[RP]	REDUCED PRESSURE
[RPBP]	REDUCED PRESSURE / BACKFLOW
[]	RIP-RAP TO PREVENT EROSION
[RC]	ROOF CHAIN
[RD]	ROOF DRAIN
RG	ROUGH GRADE ELEVATION
[SCPR]	SCUPPER
[]	SELF RETAINING
[]	SELF TREATING
- SB	SETBACK
SMH	SEWER MANHOLE
[SV]	SHUTOFF VALVE
- SLT - X	SILT FENCE
→	SLOPE OF GRADE 5% MIN FOR 10-FT
SI	SPILLWAY INVERT
SE XXX	SPOT ELEVATION (E)
SE XXX	SPOT ELEVATION (N)
SDMH	STORM DRAIN MANHOLE
SG	SUBGRADE
TOC	TOP OF CURB
TOD	TOP OF DECK
TOF	TOP OF FENCE
TOG	TOP OF GRATE
TOP	TOP OF PAVEMENT (CONC, ETC)
TORB	TOP OF ROAD BASE
TOW	TOP OF WALL
[UDS]	UPPER DOWNSPOUT
UNO	UNLESS NOTED OTHERWISE
[WM]	WATER METER
- WD 1/4.00	WALL DRAIN, 4"
WH	WALL HEIGHT
WI	WETTED INVERT
[]	WORK AREA

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1825 STATE STREET, STE 102
SANTA BARBARA, CA 93101
T: 805.845.6601
E: INFO@WINDWARDENG.COM

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G001

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FLOOR PLAN 1ST-STORY

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FLOOR PLAN 2ND-STORY

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ROOF PLAN

A201

(E) ELEVATIONS

A202

(P) ELEVATIONS

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SCHEDULES

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STEVEN C REICHEL
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CIVIL
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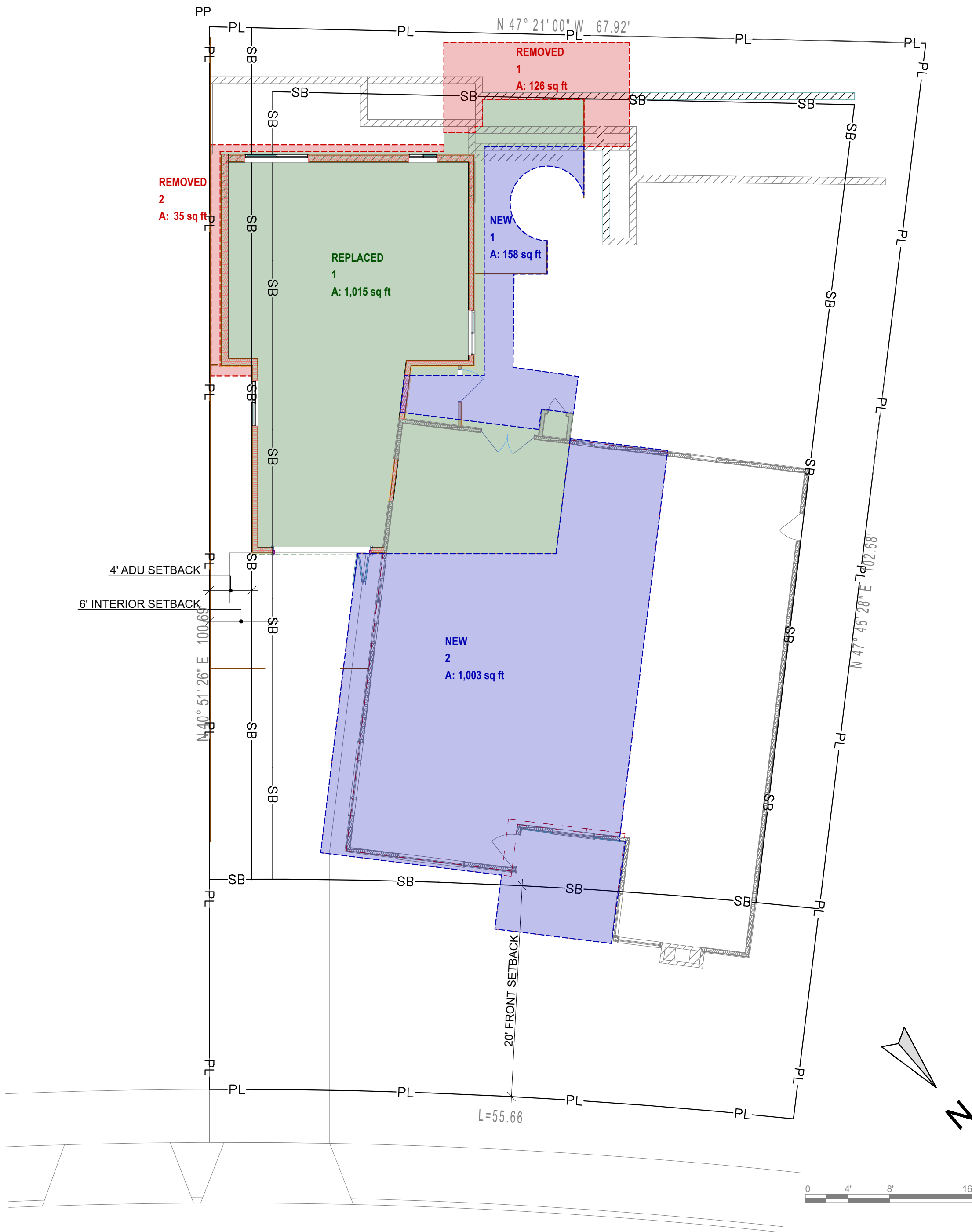
SCALE AS NOTED

CREATED BY: WDS

SHEET
BMP PLAN

C102
SHEET SIZE 24X36

AREAS STORMWATER		
ZONE NAME	ZONE NUMBER	AREA SF
NEW	1	162
NEW	2	19
		181 ft²
REMOVED	1	126
REMOVED	2	24
		150 ft²
REPLACED	1	1,057
		1,057 ft²



1 STORMWATER AREAS
SCALE: 1/8" = 1'-0"

STORMWATER SCOPE OF WORK

- 1.0 DISCONNECT DESIGNATED DOWNSPOUT, INSTALL SPLASH BLOCK, AND PROVIDE STORMWATER RUNOFF TREATMENT AREA(S) AS INDICATED

STORMWATER SYSTEM OBSERVATIONS

- 1.0 OBSERVE STORMWATER SYSTEM PRIOR TO PROJECT FINAL. WINDWARD TO PROVIDE STAMPED LETTER AT COMPLETION OF PROJECT STIPULATING THAT THE STORMWATER SYSTEM HAS BEEN INSTALLED AS APPROVED & THAT IT COMPLIES WITH LOCAL REQUIREMENTS
- 2.0 INSPECTIONS SHALL BE REQUESTED 72 HOURS IN ADVANCE

STORMWATER GENERAL NOTES -

- G01 UNO PER PLAN, DISCONNECT DOWNSPOUTS AND DIRECT RUNOFF TO LANDSCAPING
- G02 ROUTE RUNOFF FROM MAIN HOUSE ROOF TO LANDSCAPED AREAS FOR FLOW SPREADING AS SHOWN

STORMWATER KEYNOTES -

- SW01 PROVIDE MINIMUM OF 310 SF FLOW SPREADING LANDSCAPING PER "25% RULE"
- SW02 DISCONNECT DESIGNATED DOWNSPOUTS PER 14-C501-CIVIL-DOWNSPOUT DISCONNECTED. UTILIZE SPLASH BLOCKS TO PROMOTE FLOW SPREADING
- SW03 DAYLIGHT AREA DRAIN PIPE AS FAR AS DOWN THE DRIVEWAY AS NECESSARY AT 1% SLOPE

STORMWATER MGT IMPERMEABLE AREAS (SF)

NEW IMPERMEABLE	181
REPLACED IMPERMEABLE	1057
TOTAL	1238

REMOVED IMPERMEABLE 150

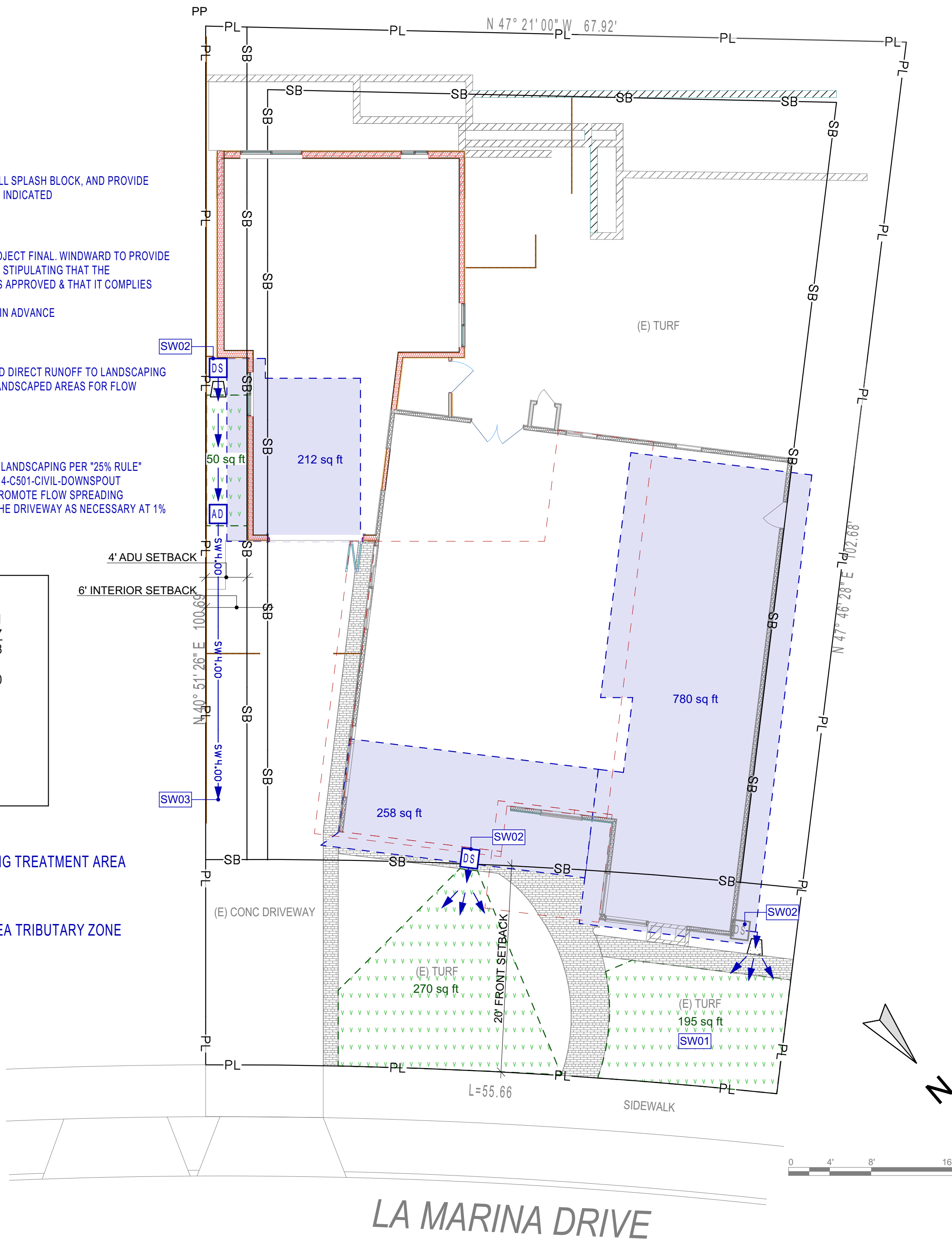
NEW+REPLACED = 1238 SF = TIER 2

TREATMENT REQUIREMENT TO BE SATISFIED THROUGH FLOW SPREADING
1238 X 25% = 310 SF TOTAL TREATMENT AREA

FLOW SPREADING TREATMENT AREA
(MIN 310 SF)

TREATMENT AREA TRIBUTARY ZONE
(MIN 1238 SF)

2 STORMWATER PLAN
SCALE: 1/8" = 1'-0"



SITE PLAN LEGEND	
[AD]	AREA DRAIN
[BP]	BACKFLOW PREVENTION
[BV]	BALL VALVE
[BRI]	BIO RETENTION BASIN
[BRI]	BIO RETENTION INVERT
[BRO]	BIO RETENTION OVERFLOW
[CB]	CATCH BASIN
[CO]	CLEANOUT
[CUT]	CUT
[DD]	DECK DRAIN
[DZ]	DETENTION ZONE (DZ)
[DZI]	DETENTION ZONE INVERT
[DS]	DOWNSPOUT
[DS]	DRAINAGE SLOPE
[EM]	ELECTRIC METER
[XXX]	ELEVATION (DEMO)
[XXX]	ELEVATION (E)
[XXX]	ELEVATION (N)
[E&C]	EXCAVATE & COMPACT (E&C)
[ED]	EXCAVATION DEPTH
[FR 12.0]	FIBER ROLL
[FILL]	FILL
[FF]	FINISHED FLOOR ELEVATION
[FG]	FINISHED GRADE ELEVATION
[FH]	FIRE HYDRANT
[FB]	FREEBOARD
[GM]	GAS METER
[GV]	GROUND VAULT
[HH]	HANDHOLE
[OVRI]	OVERFLOW INVERT
[OVRHD]	OVERHEAD WIRES
[PAP]	PER ARCH PLAN
[PLP]	PER LANDSCAPE PLAN
[PI]	PIPE INVERT
[PD]	POWER POLE
[RP]	PROPERTY LINE
[RP]	REDUCED PRESSURE
[RPBP]	REDUCED PRESSURE / BACKFLOW
[RC]	RIP-RAP TO PREVENT EROSION
[RD]	ROOF CHAIN
[RD]	ROOF DRAIN
[RG]	ROUGH GRADE ELEVATION
[SCPR]	SCUPPER
[SELF RETAINING]	SELF RETAINING
[SELF TREATING]	SELF TREATING
[SB]	SETBACK
[SMH]	SEWER MANHOLE
[SV]	SHUTOFF VALVE
[SLT]	SILT FENCE
[SLOPE OF GRADE 5% MIN FOR 10-FT]	SLOPE OF GRADE 5% MIN FOR 10-FT
[SI]	SPILLWAY INVERT
[SE XXX]	SPOT ELEVATION (E)
[SE XXX]	SPOT ELEVATION (N)
[SDMH]	STORM DRAIN MANHOLE
[SG]	SUBGRADE
[TOC]	TOP OF CURB
[TOD]	TOP OF DECK
[TOF]	TOP OF FENCE
[TOG]	TOP OF GRATE
[TOP]	TOP OF PAVEMENT (CONC, ETC)
[TORB]	TOP OF ROAD BASE
[TOW]	TOP OF WALL
[UDS]	UPPER DOWNSPOUT
[UNO]	UNLESS NOTED OTHERWISE
[WM]	WATER METER
[WD 14.00]	WALL DRAIN, 4"
[WH]	WALL HEIGHT
[WI]	WETTED INVERT
[WORK AREA]	WORK AREA

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design services, llc
moving forward
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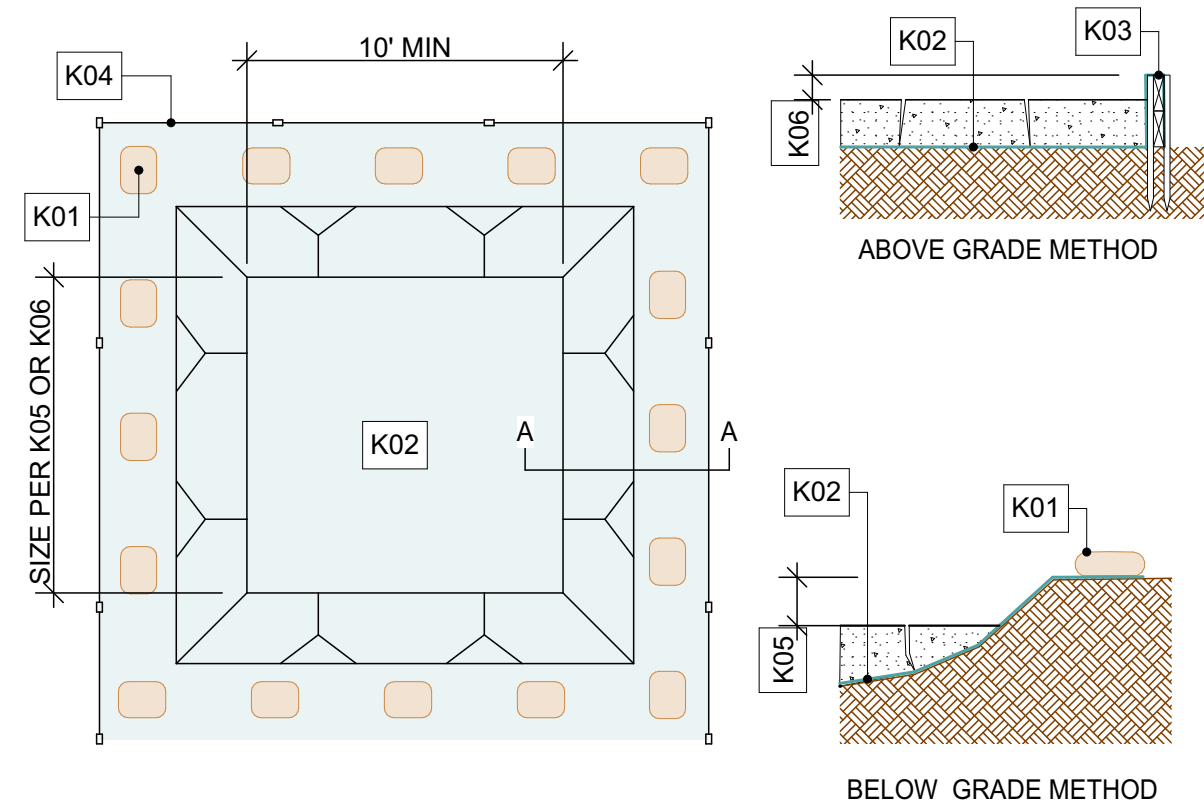
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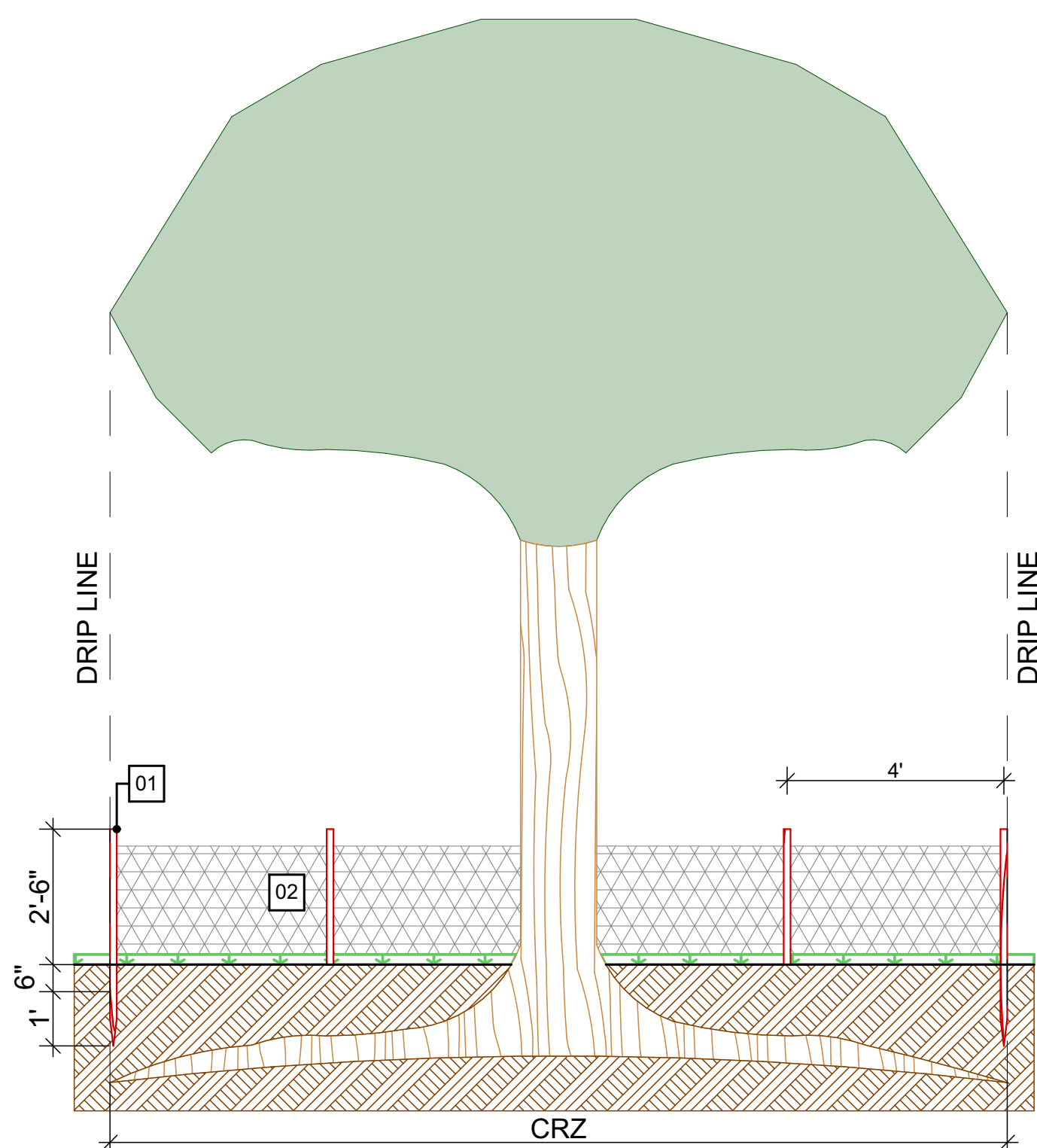
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SHEET
STORMWATER PLANS

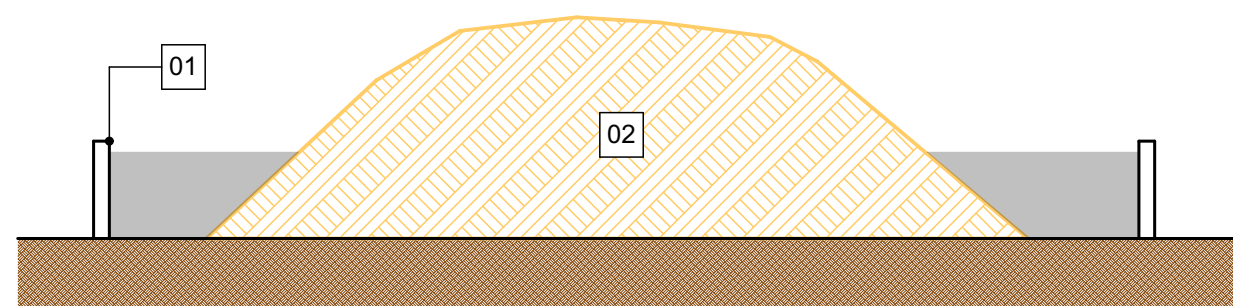
C103
SHEET SIZE 24X36



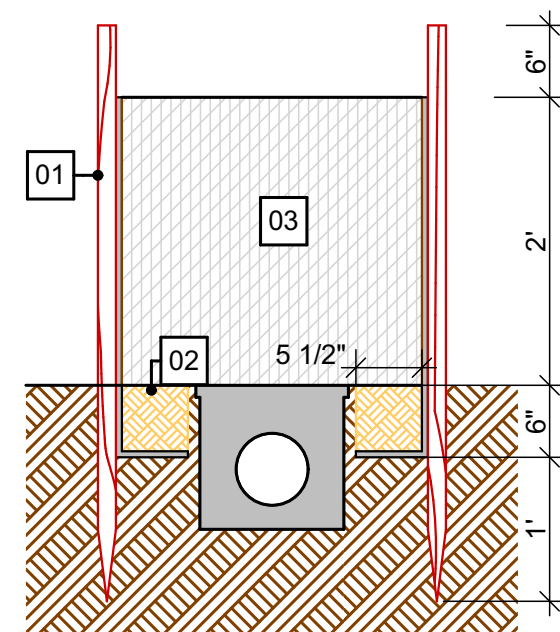
2 CIVIL-CONCRETE WASHOUT



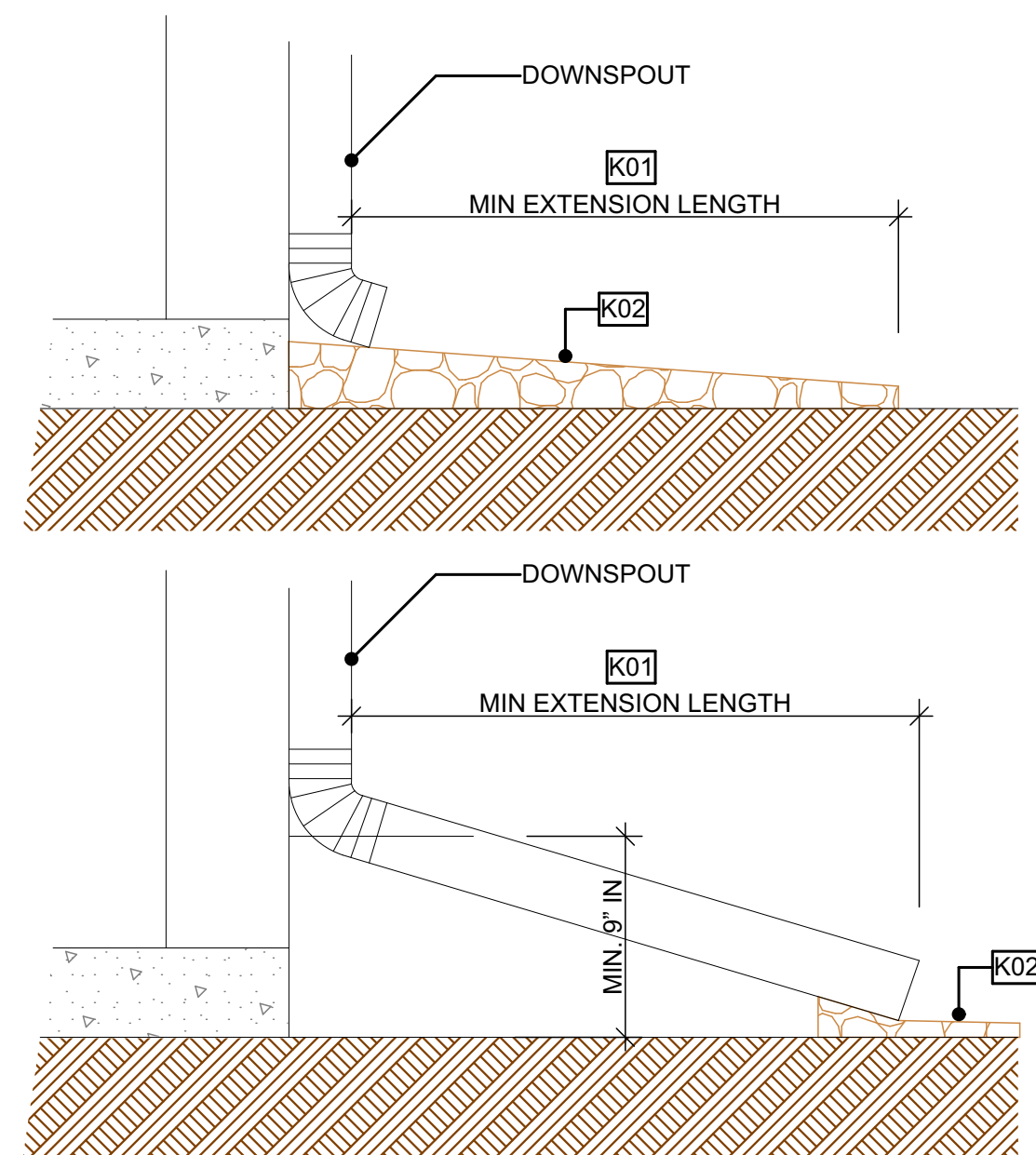
4 CIVIL-TREE PROTECTION



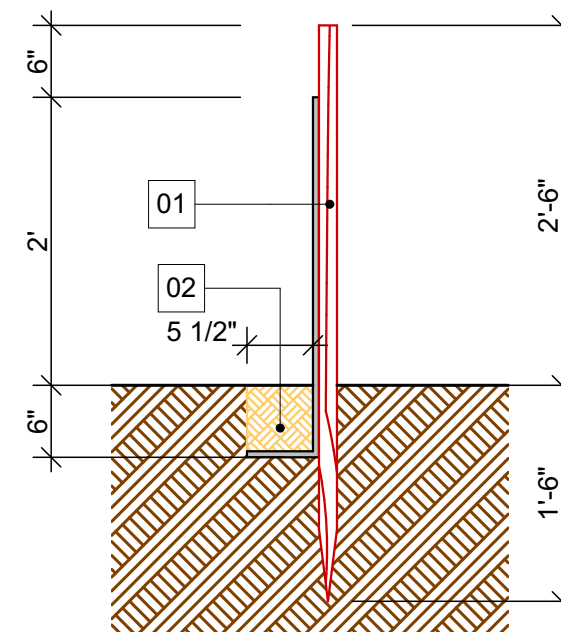
CIVIL-STOCK PILE



12 CIVIL-SILT FENCE @ DRAIN



14 CIVIL-DOWNSPOUT DISCONNECTED



16 CIVIL-SILT FENCE SECTION

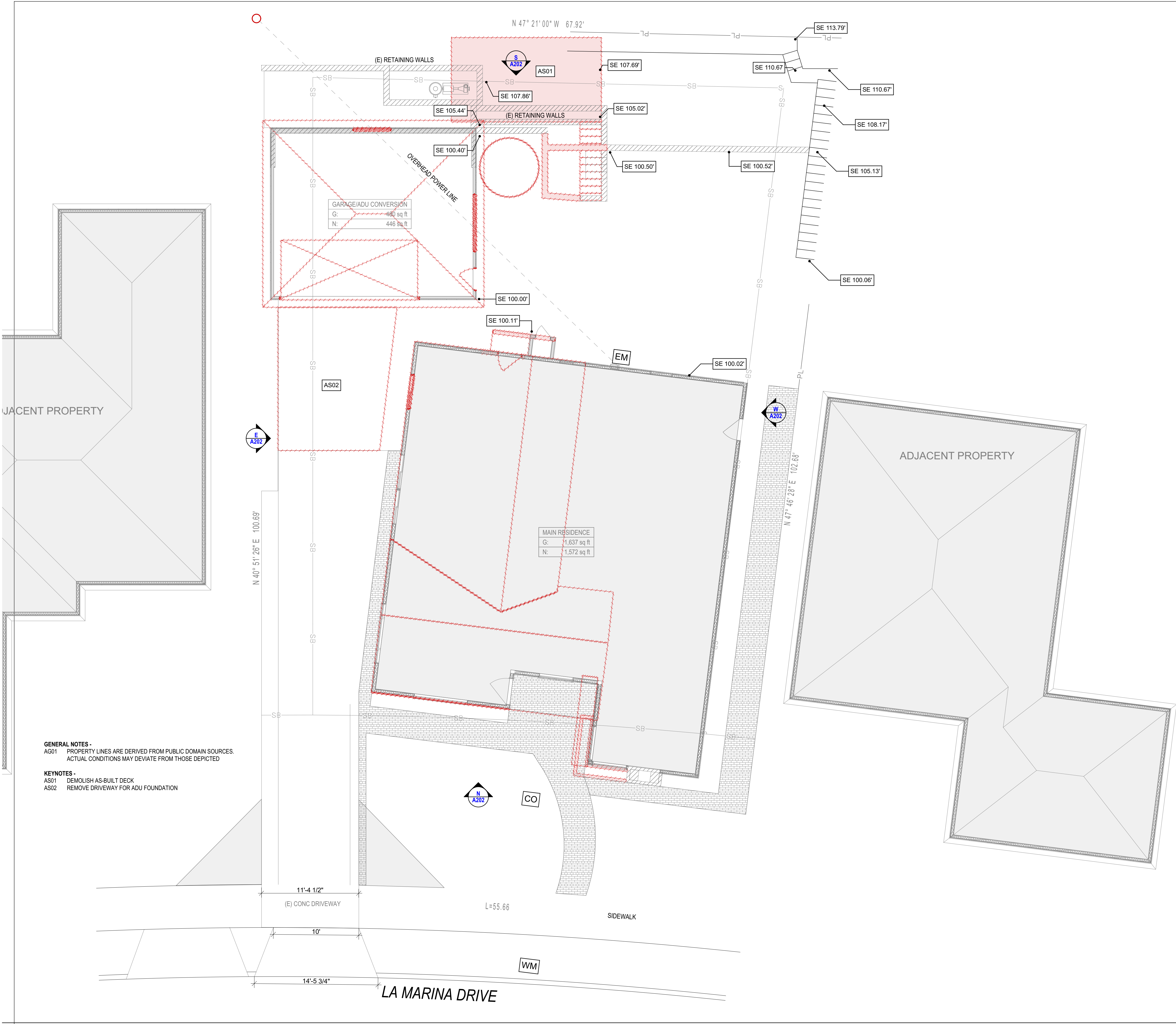


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SCALE AS NOTED

SHEET

SWMP DETAILS



GENERAL NOTES -
AG01 PROPERTY LINES ARE DERIVED FROM PUBLIC DOMAIN SOURCES.
ACTUAL CONDITIONS MAY DEVIATE FROM THOSE DEPICTED

KEYNOTES -
AS01 DEMOLISH AS-BUILT DECK
AS02 REMOVE DRIVEWAY FOR ADU FOUNDATION

SITE PLAN LEGEND	
[AD]	AREA DRAIN
[BP]	BACKFLOW PREVENTION
[BV]	BALL VALVE
[BRI]	BIO RETENTION BASIN
[BRO]	BIO RETENTION OVERFLOW
[CB]	CATCH BASIN
[C]	CHANNEL/TRENCH DRAIN
[CO]	CLEANOUT
[CUT]	CUT
[DD]	DECK DRAIN
[DZ]	DETENTION ZONE (DZ)
[DS]	DETENTION ZONE INVERT
[DS]	DOWNSPOUT
[DS]	DRAINAGE SLOPE
[EM]	ELECTRIC METER
[XXX]	ELEVATION (DEMO)
[XXX]	ELEVATION (E)
[XXX]	ELEVATION (N)
[E&C]	EXCAVATE & COMPACT (E&C)
[ED]	EXCAVATION DEPTH
[FR 12.0]	FIBER ROLL
[FILL]	FILL
[FF]	FINISHED FLOOR ELEVATION
[FG]	FINISHED GRADE ELEVATION
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[FB]	FREEBOARD
[GM]	GAS METER
[GV]	GROUND VAULT
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[OVRH]	OVERHEAD WIRES
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[PLP]	PER LANDSCAPE PLAN
[PI]	PIPE INVERT
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[PL]	PROPERTY LINE
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[RRAP]	RIP-RAP TO PREVENT EROSION
[RC]	ROOF CHAIN
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[SCPR]	SCUPPER
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[SV]	SHUTOFF VALVE
[SILT]	SILT FENCE
[SLOPE]	SLOPE OF GRADE 5% MIN FOR 10-FT
[SI]	SPILLWAY INVERT
[SE XXX]	SPOT ELEVATION (E)
[SE XXX]	SPOT ELEVATION (N)
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[SG]	SUBGRADE
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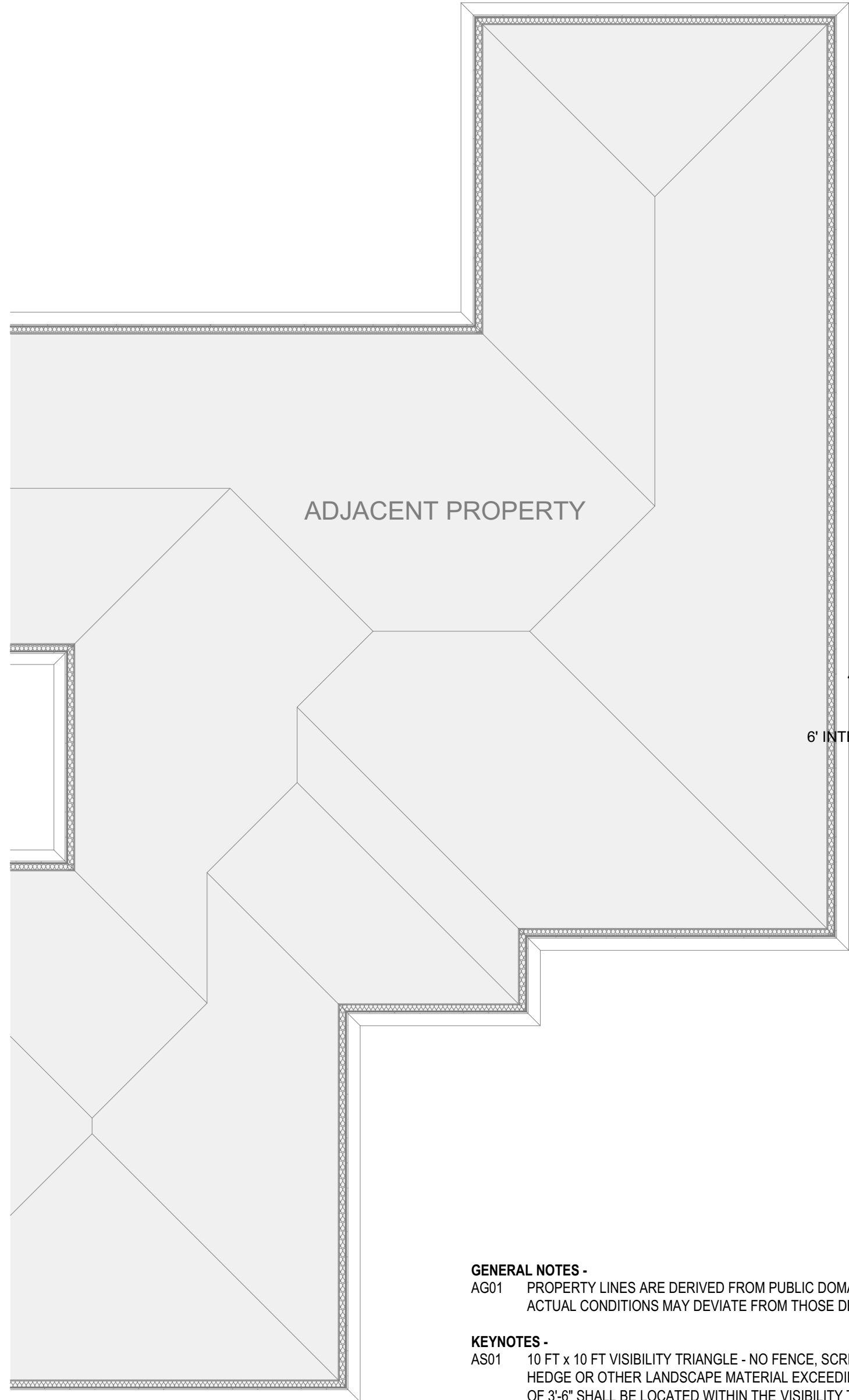
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SHEET
DEMO SITE PLAN

A101
SHEET SIZE 24X36

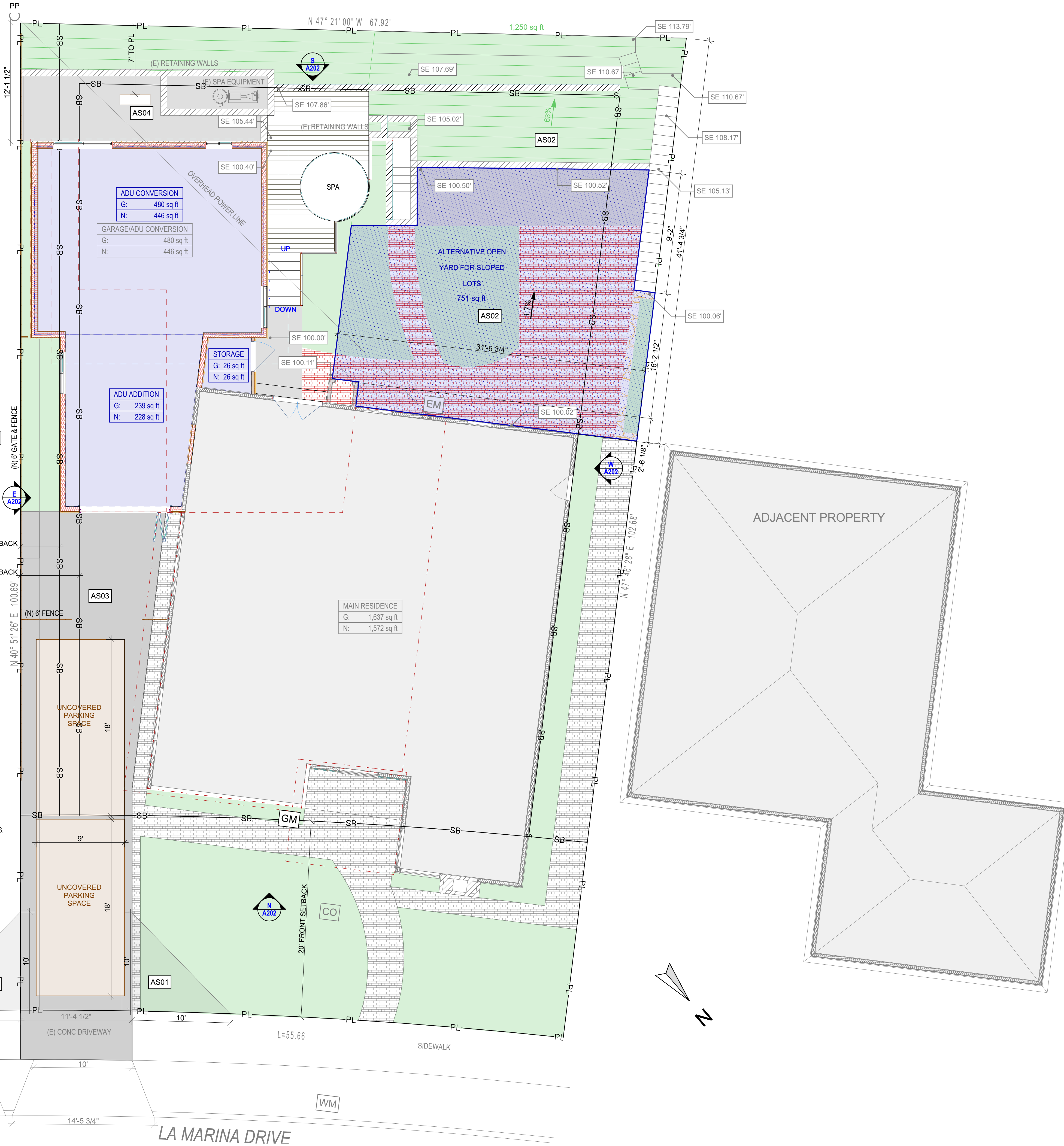
Equipment Sound Level Analysis				
Equipment Sound Level Rating db	Test Std Distance from Edge of Equipment ft	Edge of Equipment to Location Under Consideration ft	Sound level drop db	Sound level at Location Under Consideration
56.0	3.28	7.000	-7	49.4
Sound Blanket (Brinmar or Equal)			N	0
Adjusted with Sound Blanket				49.4
Surrounds, Fences, Etc.				
Material	M (lb/ft^3)	Surface M (lb/ft^2)	Thickness (in)	TL (db)
None	0	0.0	0.0	1 NA
None	0	0.0	0.0	1 NA
None	0	0.0	0.0	1 NA
Adjusted Sound Level with Intermediates at Location Under Consideration				49.4

2 SOUND CALCULATION - SAMSUNG AJ036BXJ4CHAA



GENERAL NOTES -
AG01 PROPERTY LINES ARE DERIVED FROM PUBLIC DOMAIN SOURCES. ACTUAL CONDITIONS MAY DEVIATE FROM THOSE DEPICTED

KEYNOTES -
AS01 10 FT x 10 FT VISIBILITY TRIANGLE - NO FENCE, SCREEN, WALL, HEDGE OR OTHER LANDSCAPE MATERIAL EXCEEDING A HEIGHT OF 3'-6" SHALL BE LOCATED WITHIN THE VISIBILITY TRIANGLE WITH 10' OF EITHER SIDE OF THE DRIVEWAY AND FOR A DISTANCE OF 10' BACK FROM THE FRONT LINE
AS02 AVERAGE SLOPE OF OPEN YARD EQUAL TO 25.2%
AS03 SOLID STAINED CEDAR FENCE
AS04 (N) HEAT PUMP SOUND CALCULATION PER 2-A102-SOUND CALCULATION - SAMSUNG AJ036BXJ4CHAA



SITE PLAN LEGEND	
[AD]	AREA DRAIN
[BP]	BACKFLOW PREVENTION
[BV]	BALL VALVE
[BRI]	BIO RETENTION BASIN
[BRO]	BIO RETENTION INVERT
[CB]	BIO RETENTION OVERFLOW
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[CO]	CHANNEL/TRENCH DRAIN
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[DZ]	DETENTION ZONE (DZ)
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[EM]	ELECTRIC METER
[XXX]	ELEVATION (DEMO)
[XXX]	ELEVATION (E)
[XXX]	ELEVATION (N)
[E&C]	EXCAVATE & COMPACT (E&C)
[ED]	EXCAVATION DEPTH
[FR 12.0]	FIBER ROLL
[FILL]	FILL
[FF]	FINISHED FLOOR ELEVATION
[FG]	FINISHED GRADE ELEVATION
[FH]	FIRE HYDRANT
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[PP]	POWER POLE
[RP]	PROPERTY LINE
[RPBP]	REDUCED PRESSURE
[RPBP]	REDUCED PRESSURE / BACKFLOW
[RIP-RAP]	RIP-RAP TO PREVENT EROSION
[RC]	ROOF CHAIN
[RD]	ROOF DRAIN
[RG]	ROUGH GRADE ELEVATION
[SCPR]	SCUPPER
[SELF RETAINING]	SELF RETAINING
[SELF TREATING]	SELF TREATING
[SB]	SETBACK
[SMH]	SEWER MANHOLE
[SV]	SHUTOFF VALVE
[SLT]	SILT FENCE
[SLOPE OF GRADE 5% MIN FOR 10-FT]	SLOPE OF GRADE 5% MIN FOR 10-FT
[SI]	SPILLWAY INVERT
[SE XXX]	SPOT ELEVATION (E)
[SE XXX]	SPOT ELEVATION (N)
[SDMH]	STORM DRAIN MANHOLE
[SG]	SUBGRADE
[TOC]	TOP OF CURB
[TOD]	TOP OF DECK
[TOF]	TOP OF FENCE
[TOG]	TOP OF GRATE
[TOP]	TOP OF PAVEMENT (CONC, ETC)
[TORB]	TOP OF ROAD BASE
[TOW]	TOP OF WALL
[UDS]	UPPER DOWNSPOUT
[UNO]	UNLESS NOTED OTHERWISE
[WM]	WATER METER
[WD 4.00]	WALL DRAIN, 4"
[WH]	WALL HEIGHT
[WI]	WETTED INVERT
[WORK AREA]	WORK AREA

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T: 805.845.6601
E: INFO@WINDWARDENG.COM

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ADU
351 LA MARINA DRIVE
SANTA BARBARA, CA 93109

PROJECT NO: 4769

CLIENT
CHRIS KARCHER
351 LA MARINA DRIVE
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SCALE AS NOTED
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SHEET
PROPOSED SITE PLAN

A102
SHEET SIZE 24X36

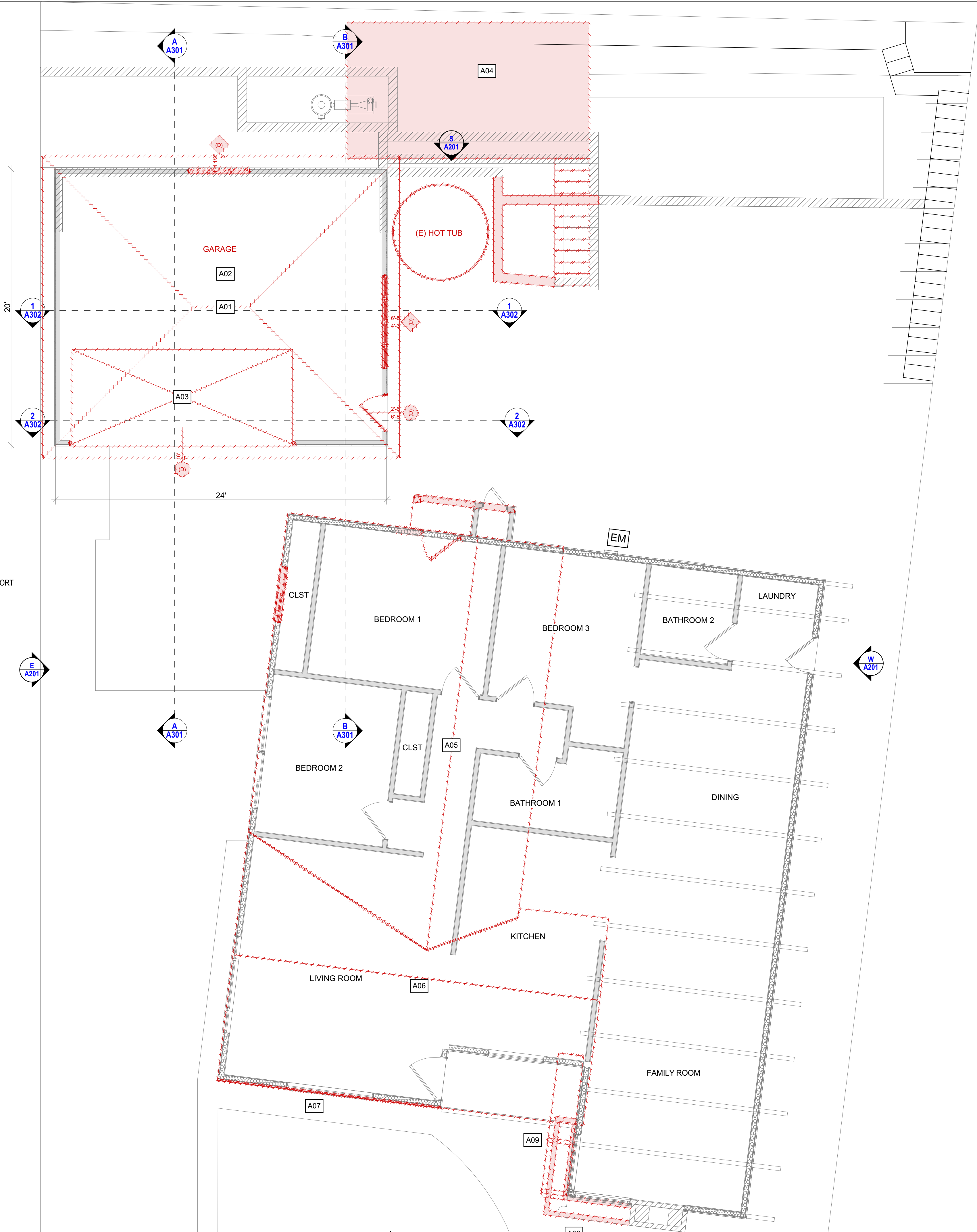
WALL LEGEND		
SYMBOL	TYPE	DESCRIPTION
	Existing	WALL GYP 24 GYP
	Existing	WALL STUCCO 24 GYP
	Existing	WALL STUCCO PLY 24 R15 GYP
	Existing	WALL STUCCO CMU 6
	Existing	WALL CONC 12
	New	---
	New	WALL GYP 24 GYP
	New	WALL GYP 26 GYP
	New	WALL STUCCO PLY 26 R19 GYP
	New	WALL STUCCO PLY 24 R15 GYP
	New	WALL STUCCO PLY 24
	New	WALL STUCCO PLY 28 R19 GYP
	New	WALL STUCCO PLY 24 PLY STUCCO

GENERAL NOTES -

- AG01 DEMOLISH WALLS, DOORS, & WINDOWS AS INDICATED
AG02 PROVIDE TEMPORARY SHORING AS REQUIRED IF LOAD-BEARING WALL OR SUPPORT BEING REMOVED

KEYNOTES -

- A01 (D) ROOF
A02 (D) GARAGE SLAB
A03 (D) GARAGE DOOR
A04 (D) AS-BUILT REAR DECK
A05 (D) PITCHED ROOF OVER BEDROOMS
A06 (D) GABLE ROOF OVER LIVING ROOM
A07 REMOVE SIDING FROM WALL EXTERIOR
A08 REMOVE BRICK PLANTER
A09 (D) EAVES



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SHEET

DEMO PLAN 1ST-
STORY

A104

SHEET SIZE 24X36

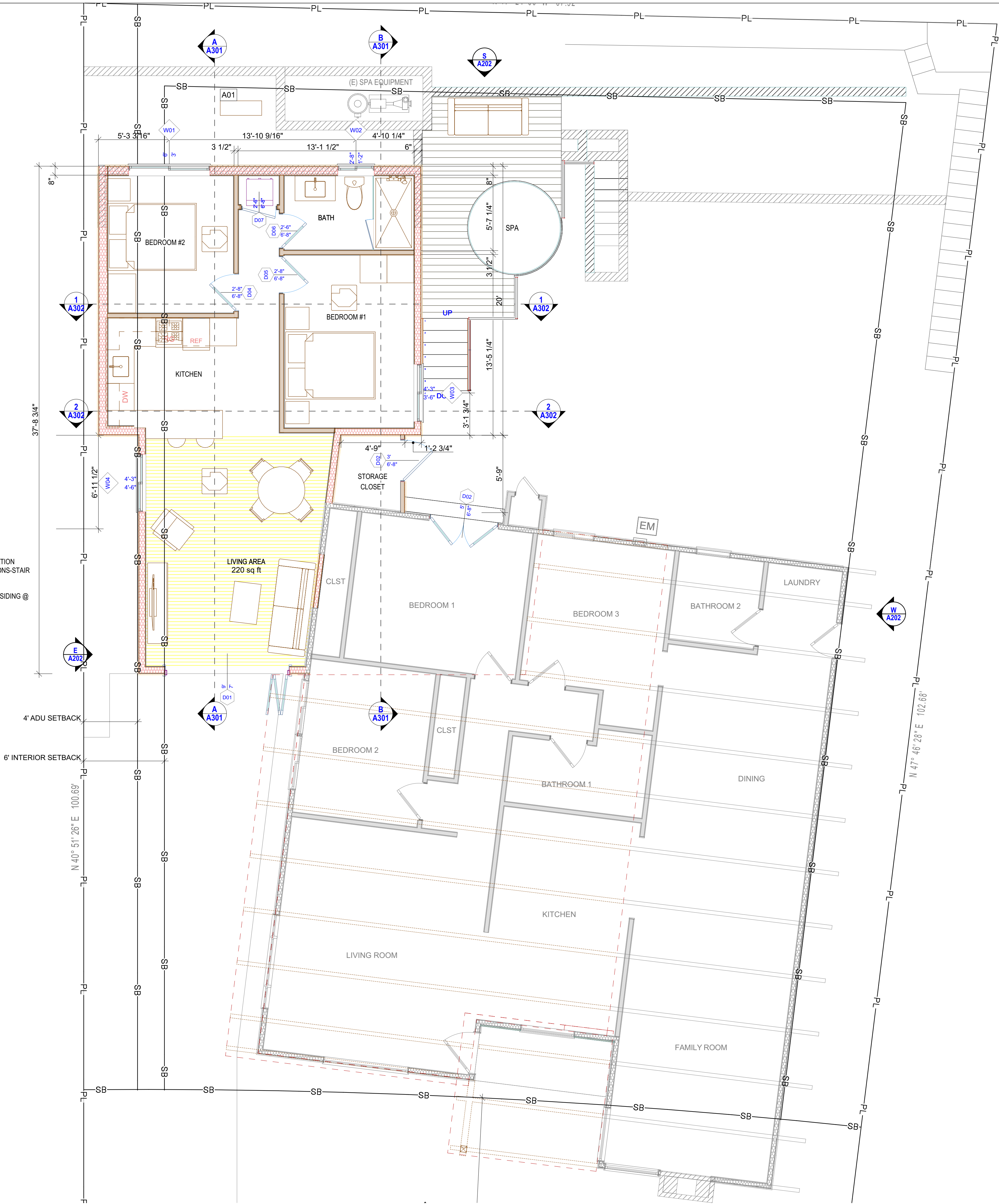
WALL LEGEND		
SYMBOL	TYPE	DESCRIPTION
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	Existing	WALL STUCCO 24 GYP
	Existing	WALL STUCCO PLY 24 R15 GYP
	Existing	WALL STUCCO CMU 6
	Existing	WALL CONC 12
	New	---
	New	WALL GYP 24 GYP
	New	WALL GYP 26 GYP
	New	WALL STUCCO PLY 26 R19 GYP
	New	WALL STUCCO PLY 24 R15 GYP
	New	WALL STUCCO PLY 24
	New	WALL STUCCO PLY 28 R19 GYP
	New	WALL STUCCO PLY 24 PLY STUCCO

GENERAL NOTES -

- AG01 RESIDENTIAL CONSTRUCTION NOTES PER -A001
AG02 GENERAL PLUMBING NOTES PER P-P001
AG03 GENERAL MECHANICAL NOTES PER M-M001
AG04 GENERAL ELECTRICAL NOTES PER E-E001
AG05 UNO GENERAL ATTIC VENTILATION REQUIREMENTS PER 7-A501-ROOF-ATTIC VENTILATION
AG06 GENERAL CODE REQUIREMENTS FOR RESIDENTIAL STAIRS & GUARDS PER 5-A501-CONS-STAIR & GUARD RESIDENTIAL
AG07 UNO EXTERIOR FINISHES @ GRADE PER 8-A501-EXTERIOR FINISHES
AG08 UNO, WOOD SIDING EXTERIOR WALLS TO BE PER 5-A504-EXTERIOR MANUFACTURED SIDING @ GRADE
AG09 UNO, STUCCO EXTERIOR WALLS TO BE PER 6-A504-EXTERIOR STUCCO @ GRADE

KEYNOTES -

- A01 (N) HEAT PUMP FOR ADU



1 1ST-FLR FLOOR PLAN
SCALE: 1/4\" = 1'-0"

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SHEET

FLOOR PLAN 1ST-STORY

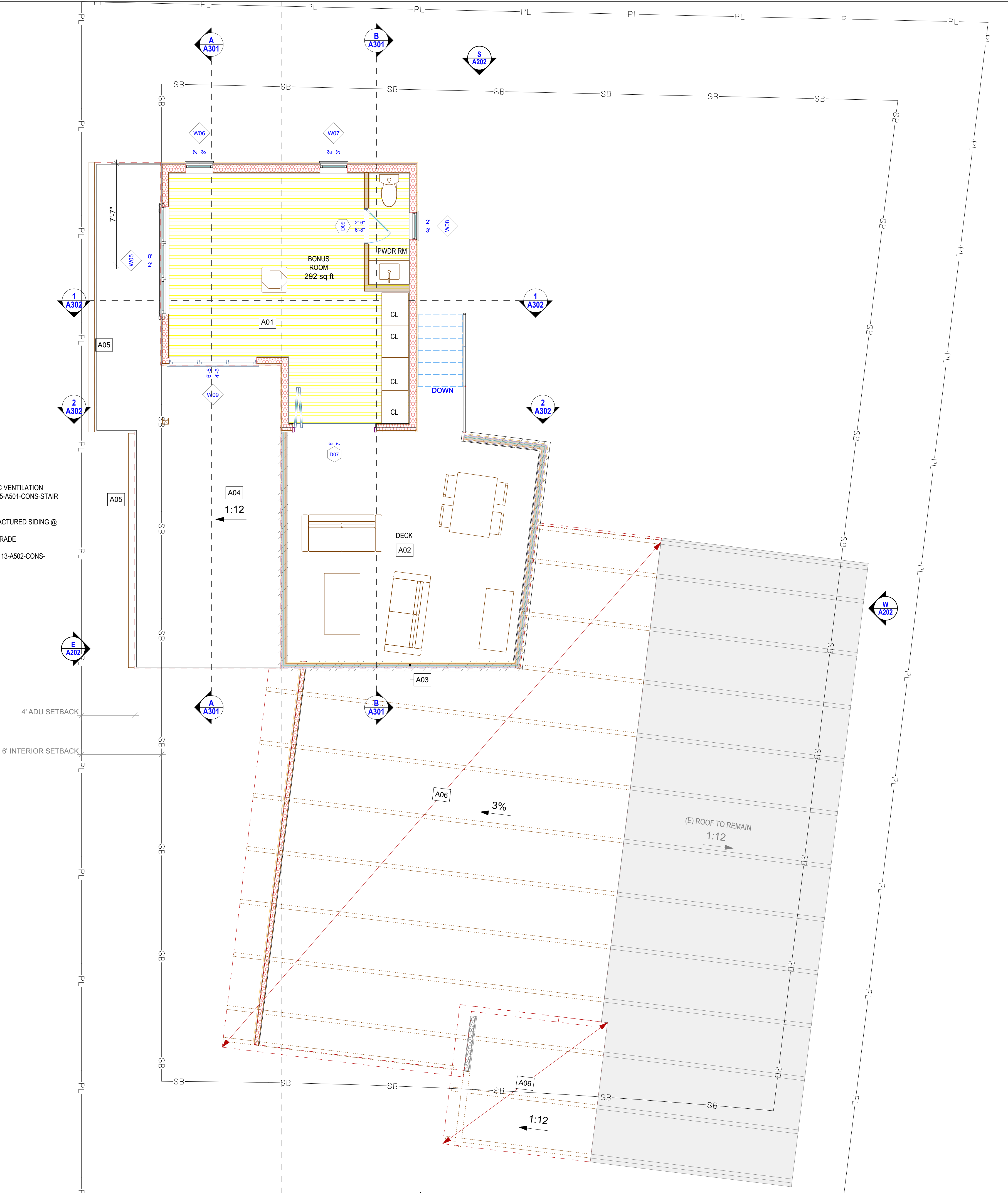
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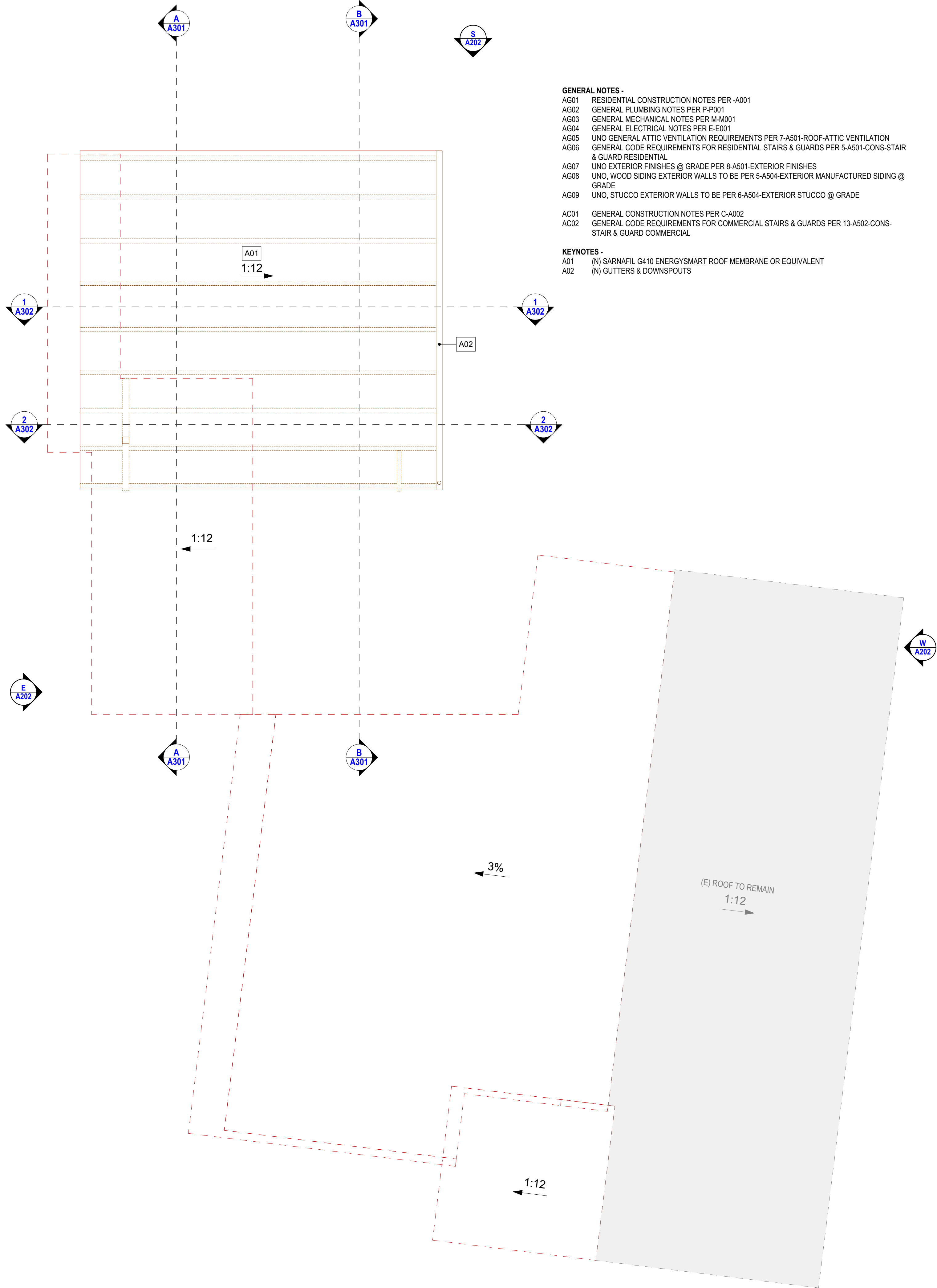
SHEET SIZE 24X36

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	Existing	WALL STUCCO CMU 6
	Existing	WALL CONC 12
	New	---
	New	WALL GYP 24 GYP
	New	WALL GYP 26 GYP
	New	WALL STUCCO PLY 26 R19 GYP
	New	WALL STUCCO PLY 24 R15 GYP
	New	WALL STUCCO PLY 24
	New	WALL STUCCO PLY 28 R19 GYP
	New	WALL STUCCO PLY 24 PLY STUCCO

- GENERAL NOTES -**
- AG01 RESIDENTIAL CONSTRUCTION NOTES PER -A001
 - AG02 GENERAL PLUMBING NOTES PER P-P001
 - AG03 GENERAL MECHANICAL NOTES PER M-M001
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 - AG06 GENERAL CODE REQUIREMENTS FOR RESIDENTIAL STAIRS & GUARDS PER 5-A501-CONS-STAIR & GUARD RESIDENTIAL
 - AG07 UNO EXTERIOR FINISHES @ GRADE PER 8-A501-EXTERIOR FINISHES
 - AG08 UNO, WOOD SIDING EXTERIOR WALLS TO BE PER 5-A504-EXTERIOR MANUFACTURED SIDING @ GRADE
 - AG09 UNO, STUCCO EXTERIOR WALLS TO BE PER 6-A504-EXTERIOR STUCCO @ GRADE
 - AC10 GENERAL CONSTRUCTION NOTES PER C-A002
 - AC11 GENERAL CODE REQUIREMENTS FOR COMMERCIAL STAIRS & GUARDS PER 13-A502-CONS-STAIR & GUARD COMMERCIAL

- KEYNOTES -**
- A01 (N) BONUS ROOM
 - A02 (N) DECK
 - A03 (N) 42" TALL WALL W/ 1" TALL 2X6 SLAT PRIVACY SCREENING ELEMENT
 - A04 (N) SARNAFIL G410 ENERGYSMART ROOF MEMBRANE OR EQUIVALENT
 - A05 (N) GUTTERS & DOWNSPOUTS
 - A06 REFRAME ROOF OVER MAIN RESIDENCE





- GENERAL NOTES -**
- AG01 RESIDENTIAL CONSTRUCTION NOTES PER -A001
 - AG02 GENERAL PLUMBING NOTES PER P-P001
 - AG03 GENERAL MECHANICAL NOTES PER M-M001
 - AG04 GENERAL ELECTRICAL NOTES PER E-E001
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 - AG09 UNO, STUCCO EXTERIOR WALLS TO BE PER 6-A504-EXTERIOR STUCCO @ GRADE
 - AC01 GENERAL CONSTRUCTION NOTES PER C-A002
 - AC02 GENERAL CODE REQUIREMENTS FOR COMMERCIAL STAIRS & GUARDS PER 13-A502-CONS-STAIR & GUARD COMMERCIAL
- KEYNOTES -**
- A01 (N) SARNAFIL G410 ENERGYSMART ROOF MEMBRANE OR EQUIVALENT
 - A02 (N) GUTTERS & DOWNSPOUTS

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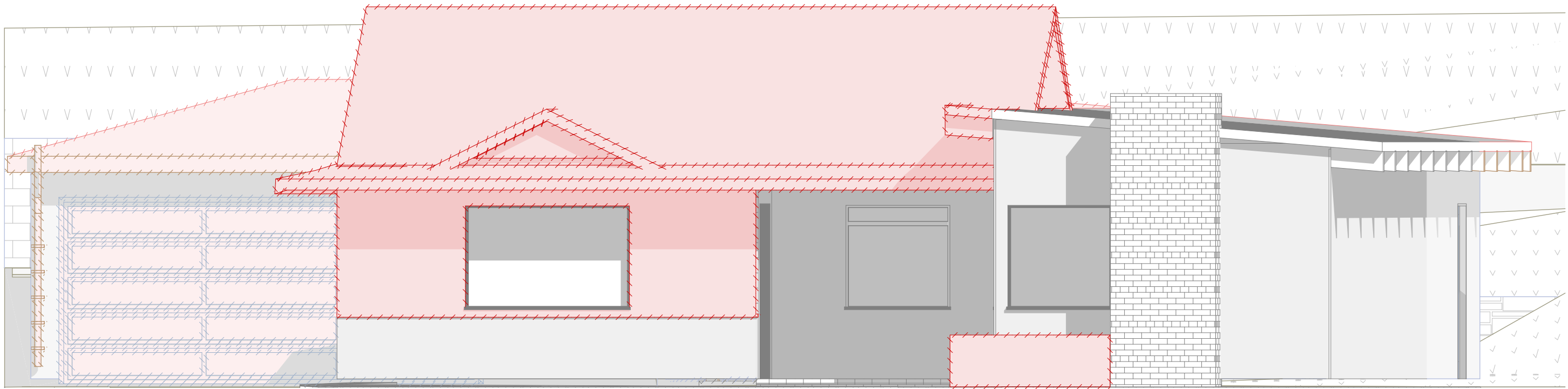
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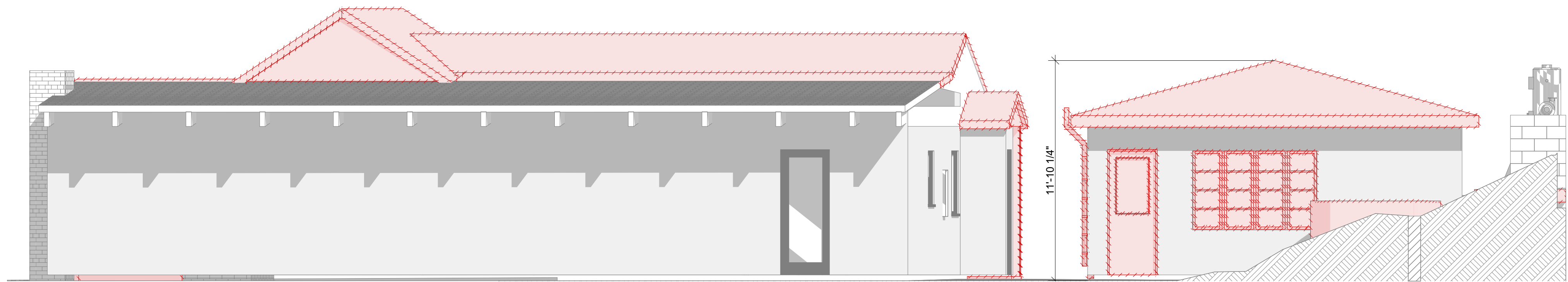
ROOF PLAN

A107

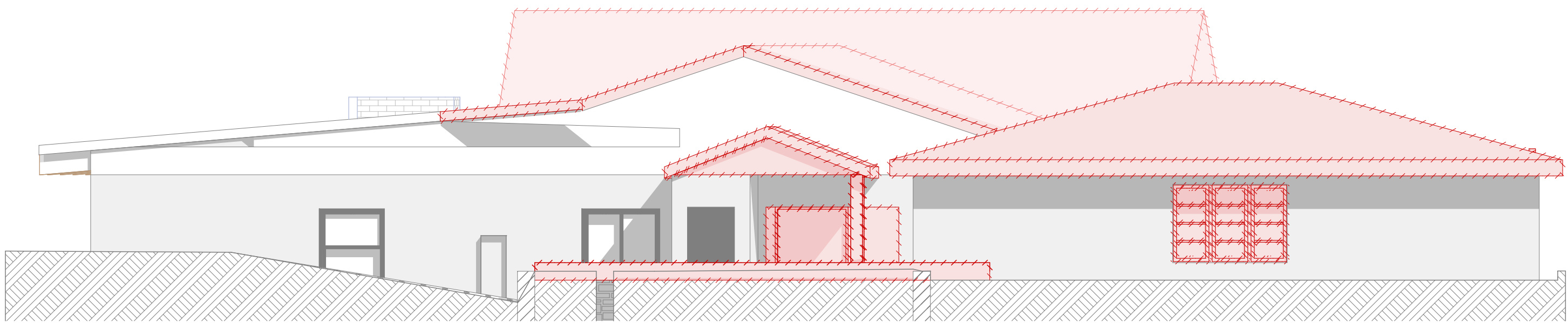
SHEET SIZE 24X36



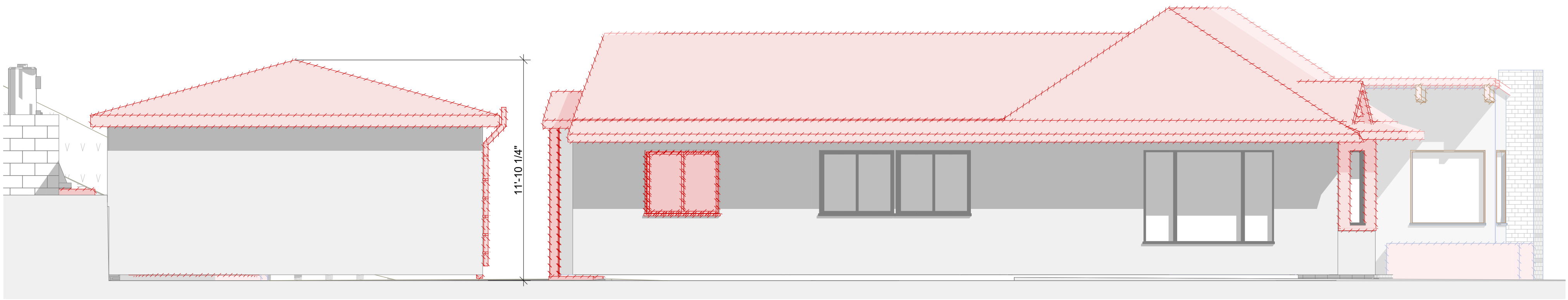
N ELEVATION (E) NORTH
SCALE: 1/4" = 1'-0"



W ELEVATION (E) WEST
SCALE: 1/4" = 1'-0"



S ELEVATION (E) SOUTH
SCALE: 1/4" = 1'-0"

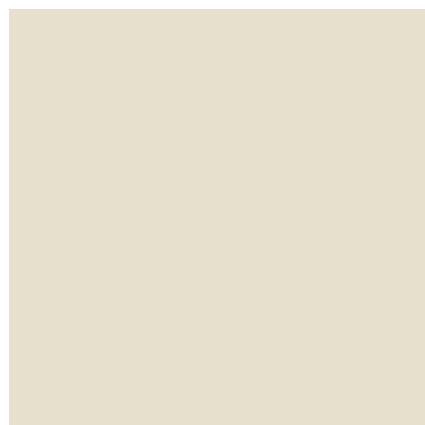


E ELEVATION (E) EAST
SCALE: 1/4" = 1'-0"

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MATERIAL SCHEDULE



P1 PPG1099-2 VANILLA LOVE (MAIN RES)



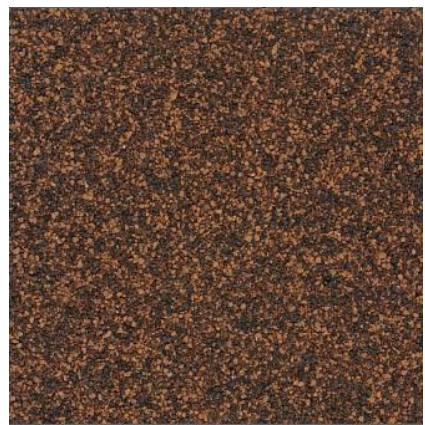
P2 PPG SOL-058 OXFORD BROWN WOOD STAIN



P3 PPG1033-7 CHARCOAL SMOKE (EXPOSED FRAMING)



P4 LAHABRA STUCCO SILVERADO (ADU)



P5 CERTAINTED BURNT SIENNA (ROOFING)



P6 TEMPERED GLASS PANEL(DECK)

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SANTA BARBARA, CA 93101
T: 805.845.6601
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SHEET
(P) ELEVATIONS

A202
SHEET SIZE 24X36

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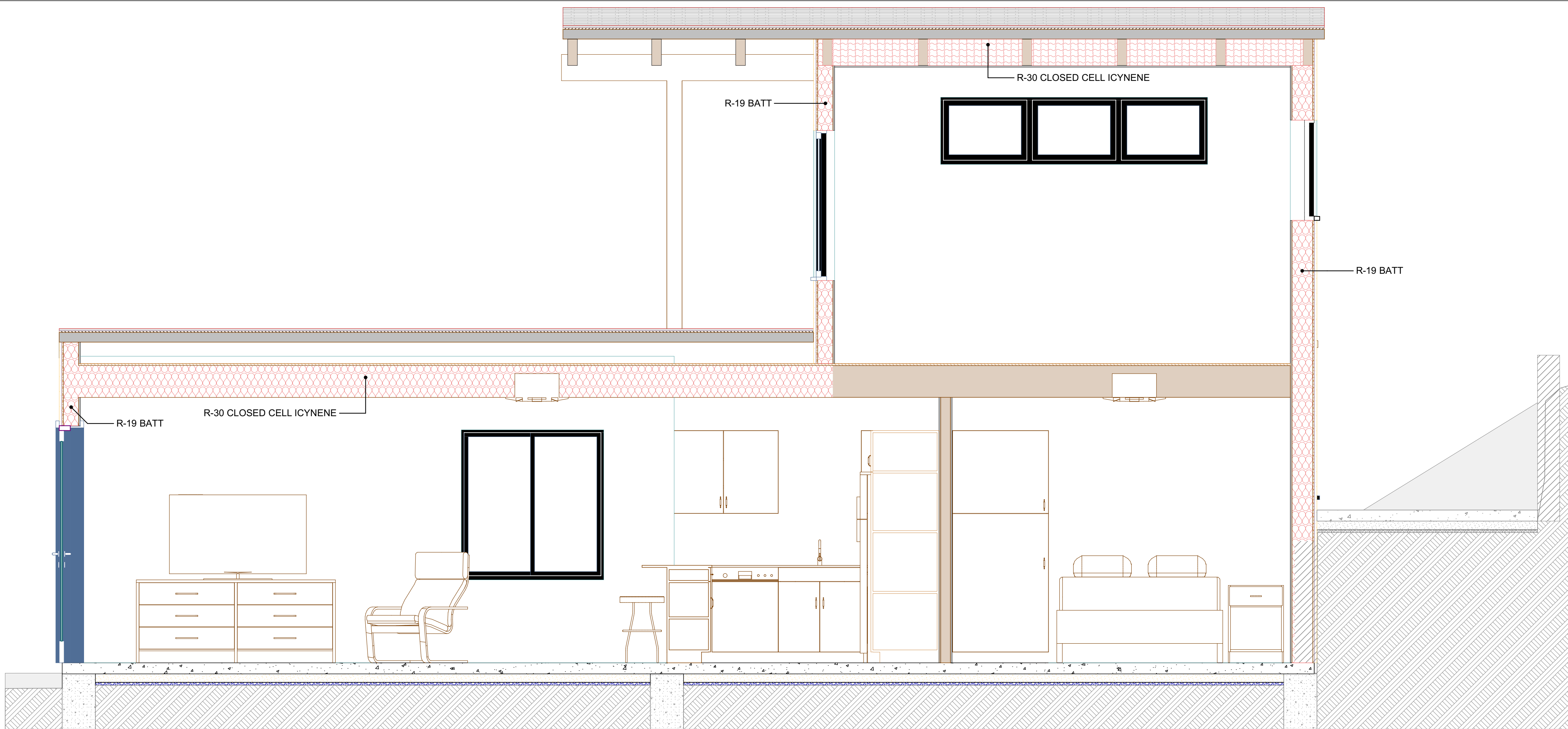
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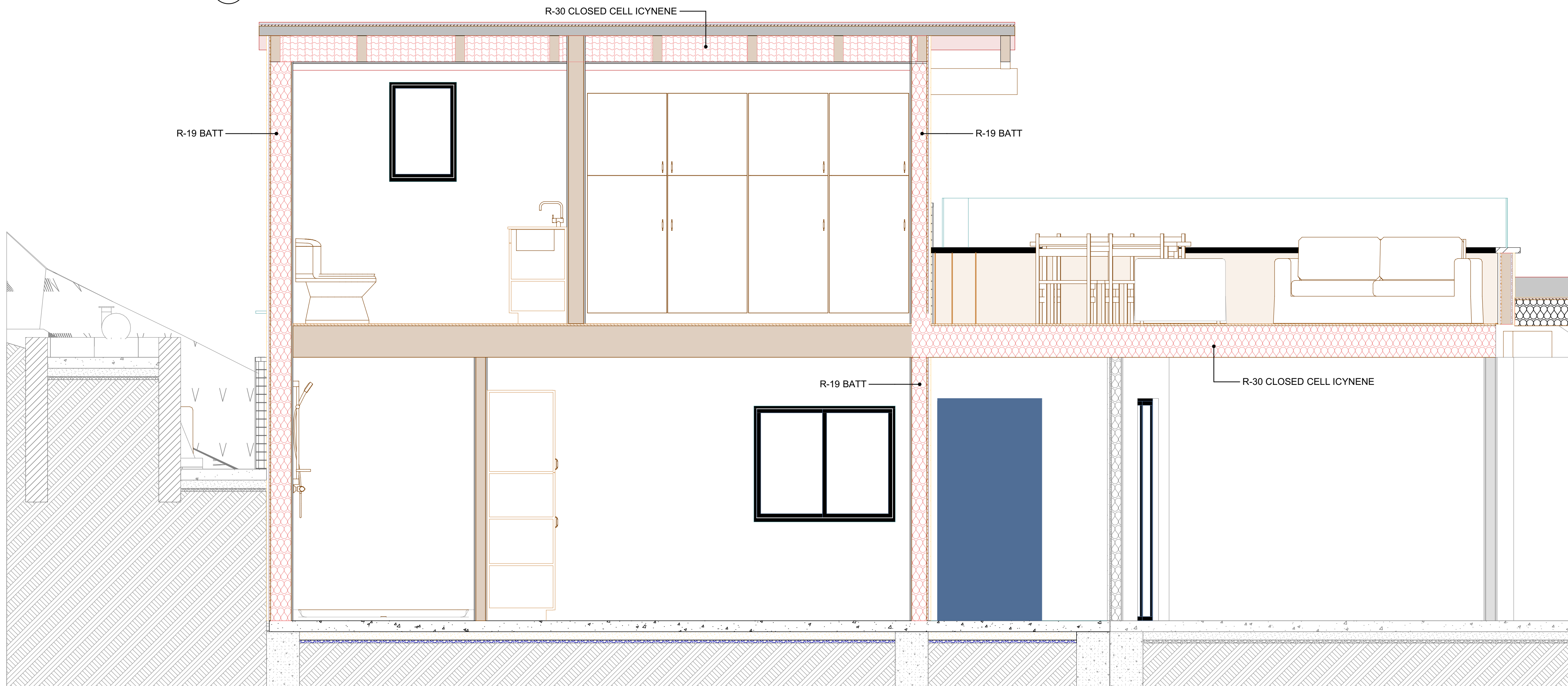
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A SECTION
SCALE: 1/2" = 1'-0"



B SECTION
SCALE: 1/2" = 1'-0"

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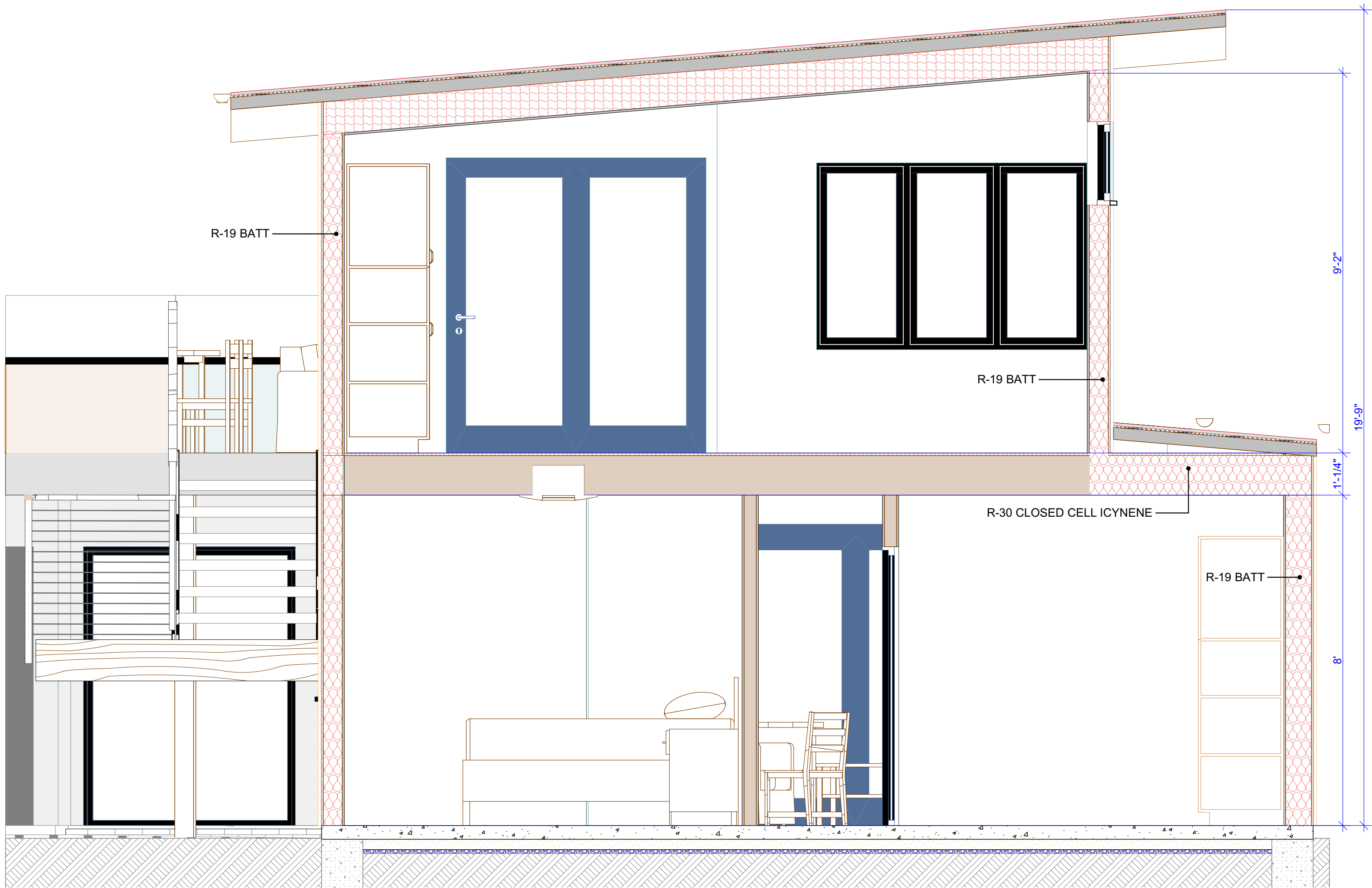
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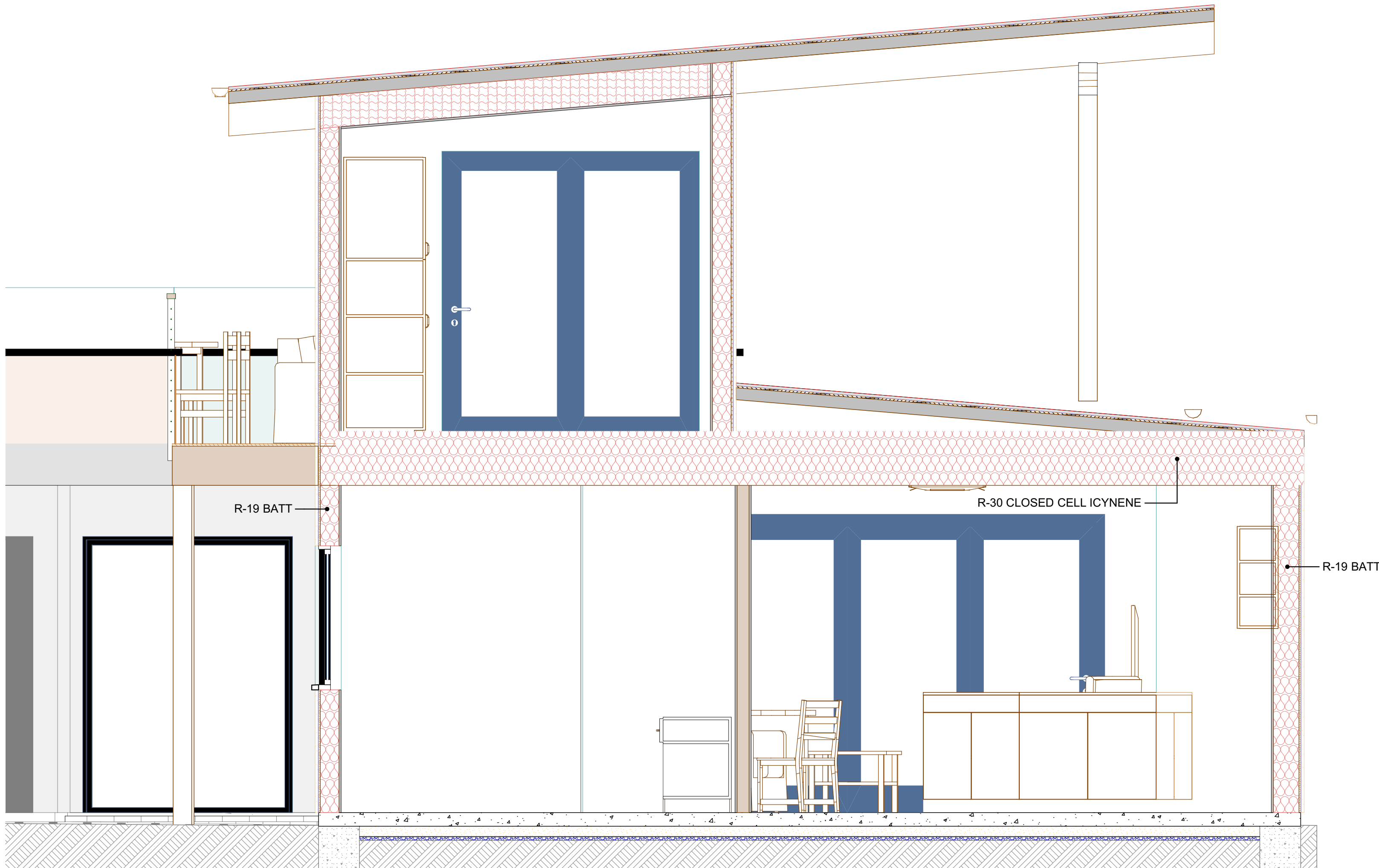
SECTIONS

A301

SHEET SIZE 24X36








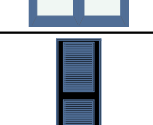





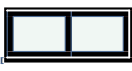

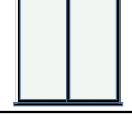

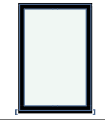
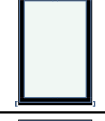


1 SECTION
SCALE: 1/2" = 1'-0"



2 SECTION
SCALE: 1/2" = 1'-0"

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DOOR SCHEDULE														
ID	LOCATION	ELEVATION	WIDTH	HT	THCK	QTY	DESCRIPTION	GLZ	TEMP	HINGES	LOCKSET	U-FACTOR	SHGC	COMMENTS
D01	ENTRY		9'	7'	3 1/2"	2	BI-FOLD	DUAL	YES	OIL RUBBED BRONZE	KEYED	0.30	0.23	
D02	MAIN RES. BEDROOM 1		5'	6'-8"	1 3/4"	1	FRENCH DOOR	DUAL	YES	OIL RUBBED BRONZE	PRIVACY	0.30	0.23	
D02	STORAGE		3'	6'-8"	1 3/4"	1	SOLID	NA	NA	OIL RUBBED BRONZE	DUMMY	NA	NA	
D04	BEDROOM		2'-8"	6'-8"	1 3/4"	1	1-LITE	DUAL	YES	OIL RUBBED BRONZE	PRIVACY	NA	NA	
D05	BEDROOM		2'-8"	6'-8"	1 3/4"	1	1-LITE	DUAL	YES	OIL RUBBED BRONZE	PRIVACY	NA	NA	
D06	BATHROOM		2'-6"	6'-8"	1 3/4"	1	1-LITE	DUAL	YES	OIL RUBBED BRONZE	PRIVACY	NA	NA	
D06	LAUNDRY		2'-6"	6'-8"	1 3/4"	1	FULL LOUVERED	NA	NA	OIL RUBBED BRONZE	DUMMY	NA	NA	
D07	BONUS RM		6'	7'	1 3/4"	1	BI-FOLD	DUAL	YES	OIL RUBBED BRONZE	PRIVACY	0.30	0.23	
D07	LAUNDRY		2'-6"	6'-8"	1 3/4"	1	FULL LOUVERED	NA	NA	OIL RUBBED BRONZE	DUMMY	NA	NA	
D09	PWD ROOM		2'-6"	6'-8"	1 3/4"	1	1-LITE	DUAL	YES	OIL RUBBED BRONZE	PRIVACY	NA	NA	

WINDOW SCHEDULE														
ID	ELEVATION	WIDTH	HT	HEAD HT	TYPE	DESCRIPTION	GLZ	U-FACTOR	SHGC	TEMP	EGRESS	HARDWARE	NOTES	
W01		6'	3'	7'-11"	SLIDER	MARVIN COASTLINE	DUAL	0.30	0.23	YES	YES	OIL RUBBED BRONZE		
W02		2'-8"	1'-2"	7'-11"	SLIDER	MARVIN COASTLINE	DUAL	0.30	0.23	YES	NO	OIL RUBBED BRONZE		
W03		4'-3"	3'-6"	6'-6"	SLIDER	MARVIN COASTLINE	DUAL	0.30	0.23	NO	YES	OIL RUBBED BRONZE		
W04		4'-3"	4'-6"	7'	SLIDER	MARVIN COASTLINE	DUAL	0.30	0.23	NO	YES	OIL RUBBED BRONZE		
W05		8'	2'	8'	FIXED	MARVIN COASTLINE	DUAL	0.30	0.23	NO	NO	OIL RUBBED BRONZE		
W06		2'	3'	7'	FIXED	MARVIN COASTLINE	DUAL	0.30	0.23	NO	NO	OIL RUBBED BRONZE		
W07		2'	3'	7'	FIXED	MARVIN COASTLINE	DUAL	0.30	0.23	NO	NO	OIL RUBBED BRONZE		
W08		2'	3'	7'	FIXED	MARVIN COASTLINE	DUAL	0.30	0.23	NO	NO	OIL RUBBED BRONZE		
W09		6'-6"	4'-6"	7'	SLIDER	MARVIN COASTLINE	DUAL	0.30	0.23	NO	YES	OIL RUBBED BRONZE		

THE NFRC THERMAL PERFORMANCE LABELS SHALL REMAIN ON THE WINDOWS AND DOORS UNTIL FINAL INSPECTION

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1825 STATE STREET, STE 102

SANTA BARBARA, CA 93101

T: 805.845.6601

E: INFO@WINDWARDENG.COM

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G001

GENERAL

G002

PHOTO SURVEY

C001

GENERAL INFORMATION

C102

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STORMWATER PLANS

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SWMP DETAILS

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PROPOSED SITE PLAN

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DEMO PLAN 1ST-STORY

A105

FLOOR PLAN 1ST-STORY

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FLOOR PLAN 2ND-STORY

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A201

(E) ELEVATIONS

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SECTIONS

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SECTIONS

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SCHEDULES

PUBLISHED: 3/19/2024 7:53 AM

DATES

12/20/2023

03/19/2024

INITIAL SUB

2ND SUB

SCALE AS NOTED

CREATED BY: WDS

SHEET

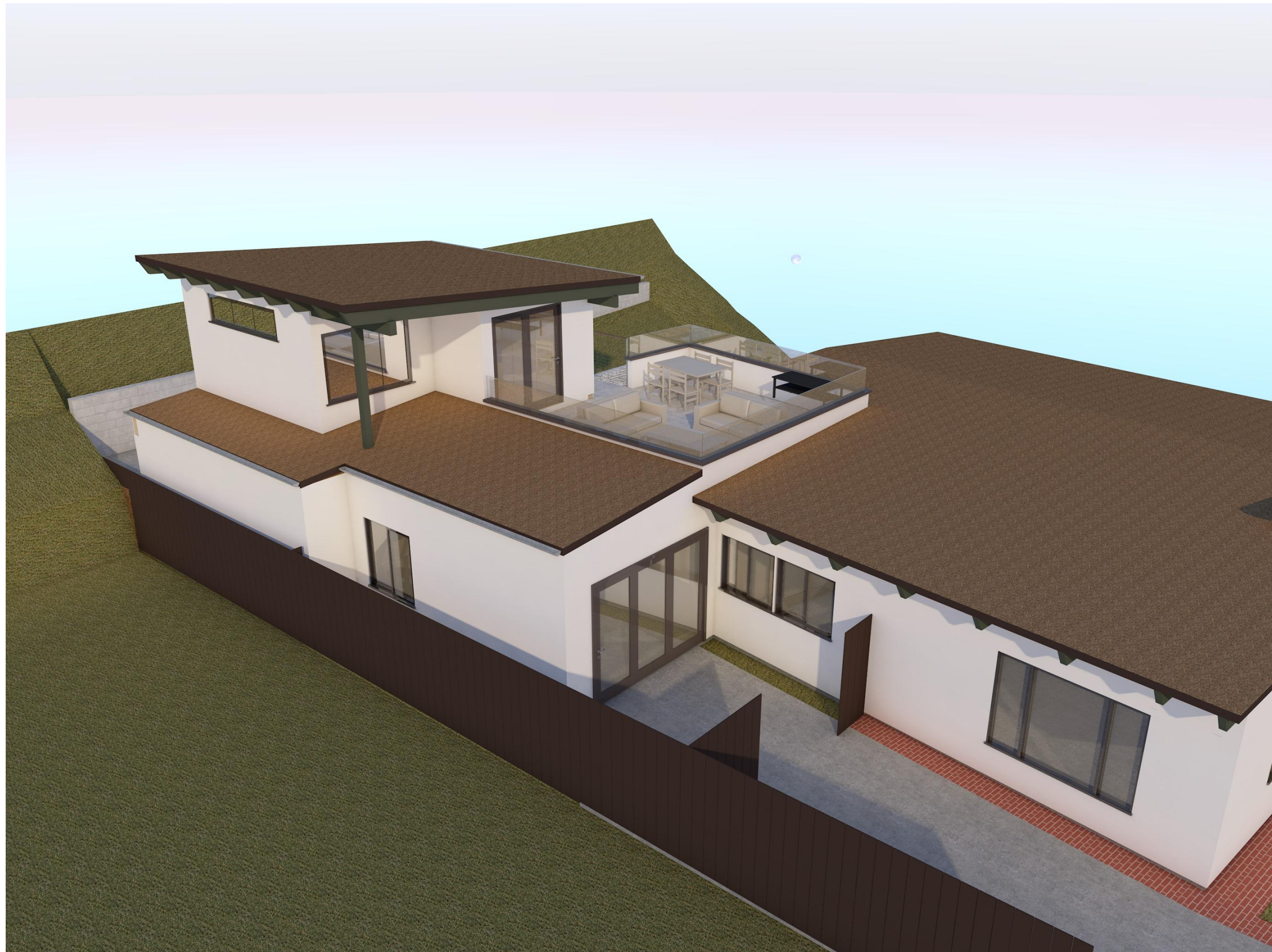
SCHEDULES

A601

SHEET SIZE 24X36



1 DECKSIDE WITH VIEW



2 DECK BIRDSEYE
NOT TO SCALE



3 VIEW FROM STREET
NOT TO SCALE



4 BACKYARD STAIRCASE

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