



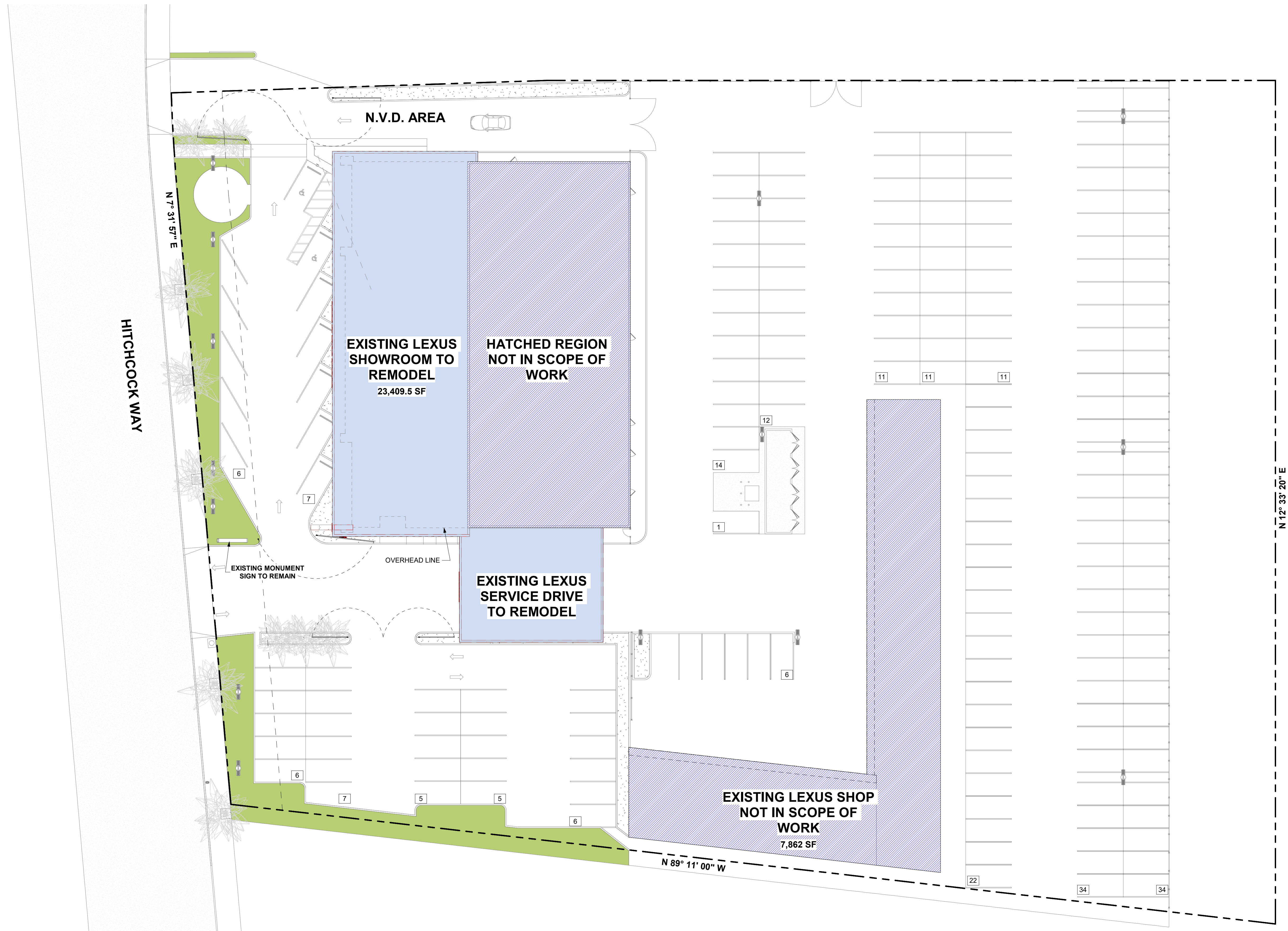
GENERAL NOTE:
 CONTACT COUNTY ENVIRONMENTAL HEALTH SERVICES IF SUSPECTED CONTAMINATION IS ENCOUNTERED DURING GRADING OPERATIONS. EHS SHALL BE IMMEDIATELY NOTIFIED AND WORK STOPPED IN THE AREA OF SUSPECT SOIL, UNTIL IT CAN BE PROPERLY ASSESSED AND APPROPRIATE ACTIONS DETERMINED.

BUILDING AREA SUMMARY					
BUILDING	NET AREA	GROSS AREA	BUILDING	NET AREA	GROSS AREA
BUILDING A			BUILDING B		
<i>FIRST FLOOR:</i>			<i>FIRST FLOOR:</i>		
SHOWROOM, OFFICES, CUSTOMER LOUNGE AND STORAGE	15,500 SF	15,973 SF	SERVICE AND WASH BAYS	6,852 SF	6,987 SF
			RESTROOMS, LOCKER ROOMS AND COMPRESSOR ROOM	850 SF	875 SF
<i>SECOND FLOOR:</i>			CANOPY	1,023 SF	1,023 SF
PARTS STORAGE	6,790.5 SF	7,436.5 SF			
TOTAL	22,290.5 SF	23,409.5 SF	TOTAL	7,702 SF	7,862 SF

PARKING ANALYSIS			
USE CLASSIFICATION	MIN. OFF-STREET PARKING REQ.	G.F.A	PARKING REQUIRED
CITY OF SANTA BARBARA PARKING REQUIREMENT SANTA BARBARA, COASTAL TITLE 28, CHAPTER 28.90 - SEC. 28.90.100 - PARKING REQUIREMENTS			
OFFICE OR ADMINISTRATIVE ACTIVITY: 1 SPACES PER 250 SF		23,409.5 SF	94
OFFICE OR ADMINISTRATIVE ACTIVITY: 1 SPACES PER 250 SF		7,862 SF	17
TOTAL:			111
TOTAL PARKING:	REQUIRED: 111	PROVIDED: 198	

PROJECT DESCRIPTION:
 AN EXISTING FACILITY DEALERSHIP REMODEL.

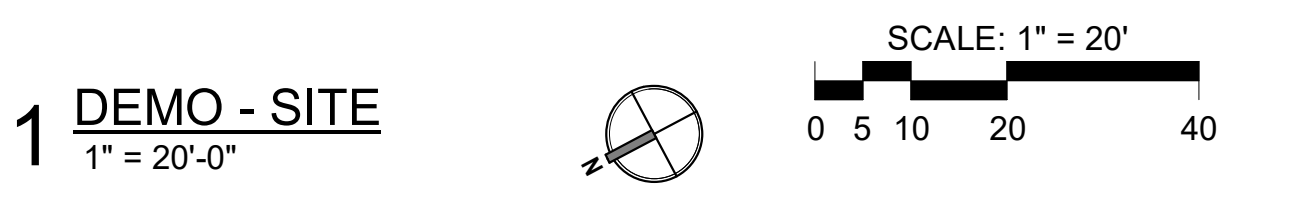
SITE DETAILS	
ASSESSOR'S PARCEL NUMBER (APN)	051-240-029
ZONING DISTRICT	RD-7.5 (RESIDENTIAL SINGLE UNIT) (ACLUSS)
GENERAL PLAN / COASTAL LAND USE PLAN	COMMERCIAL/MEDIUM-HIGH DENSITY RESIDENTIAL (15-27 DU/AC)
LOT SIZE	2.67 ACRES APPROX 128,828 SF
AVERAGE SLOPE	6% (EST. FROM CITY GIS)



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NO SITE WORK WILL BE PART OF THIS PERMIT. NO PARKING CONFIGURATION CHANGES PER LAST APPROVED PARKING CONFIGURATION.

PARKING ANALYSIS			
CITY OF SANTA BARBARA PARKING REQUIREMENT			
SANTA BARBARA COASTAL TITLE 23, CHAPTER 28.91 - SEC. 28.91.100 - PARKING REQUIREMENTS			
USE CLASSIFICATION	MIN. OFF-STREET PARKING REQ.	G.F.A	PARKING REQUIRED
OFFICE, COMMERCIAL, AND INDUSTRIAL USES	OFFICE OR ADMINISTRATIVE ACTIVITY: 1 SPACES PER 250 SF	23,409.5 SF	94
	OFFICE OR ADMINISTRATIVE ACTIVITY: 1 SPACES PER 250 SF	7,862 SF	17
	TOTAL:		111
TOTAL PARKING:	REQUIRED: 111	PROVIDED: 198	



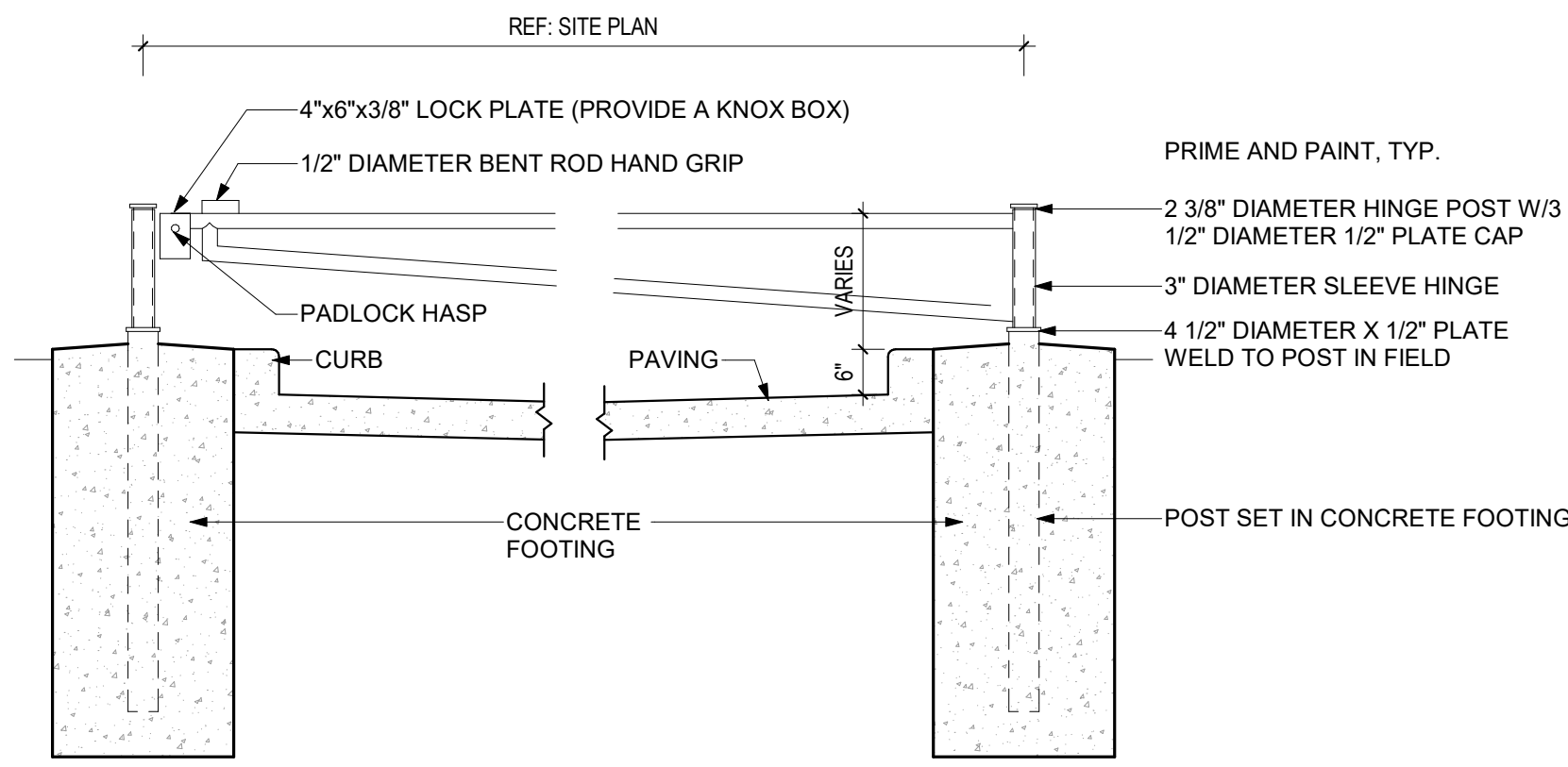
LEXUS OF SANTA BARBARA IMAGE UPGRADE

350 HITCHCOCK WAY, SANTA BARBARA, CA 93105

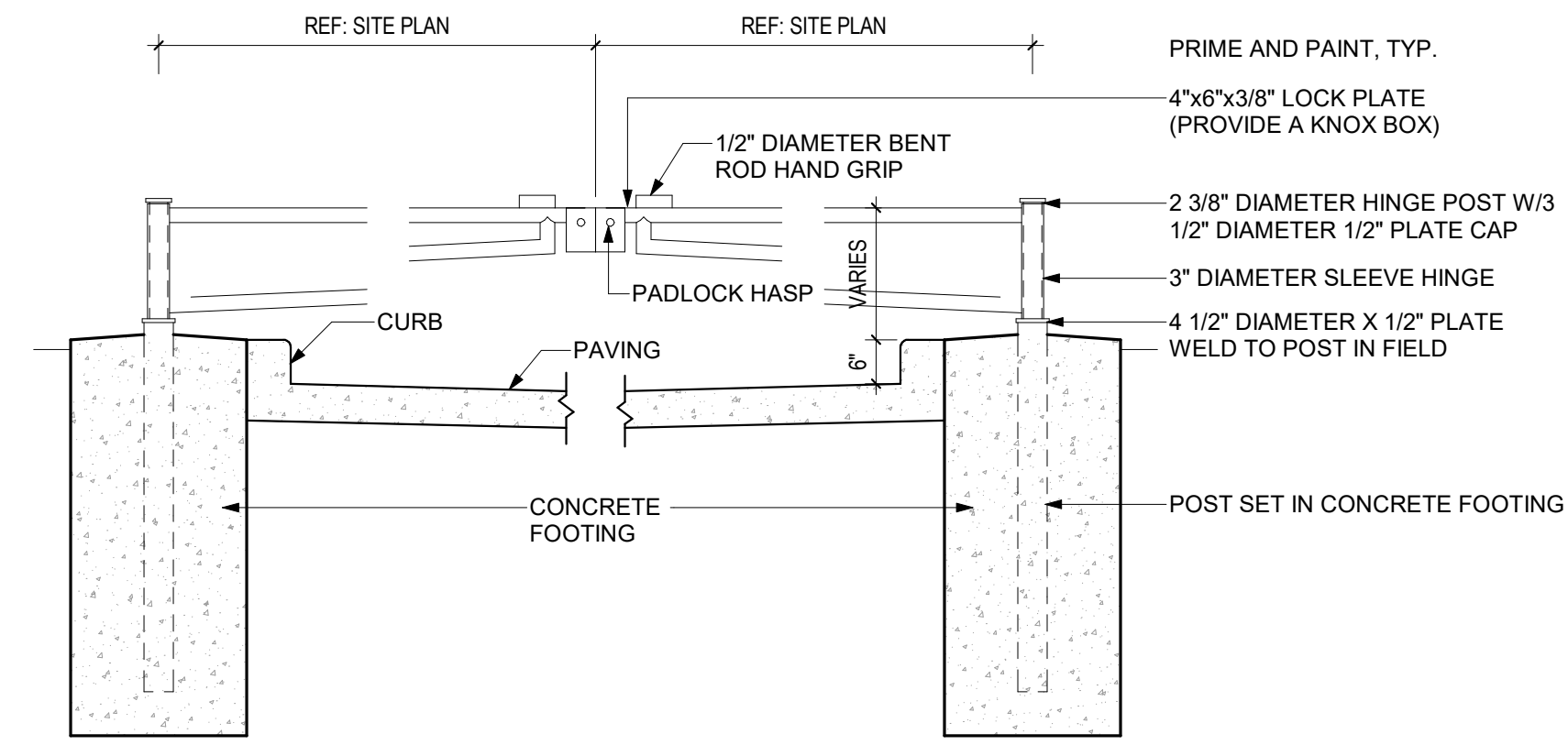
DEMO SITE PLAN

03/14/2024

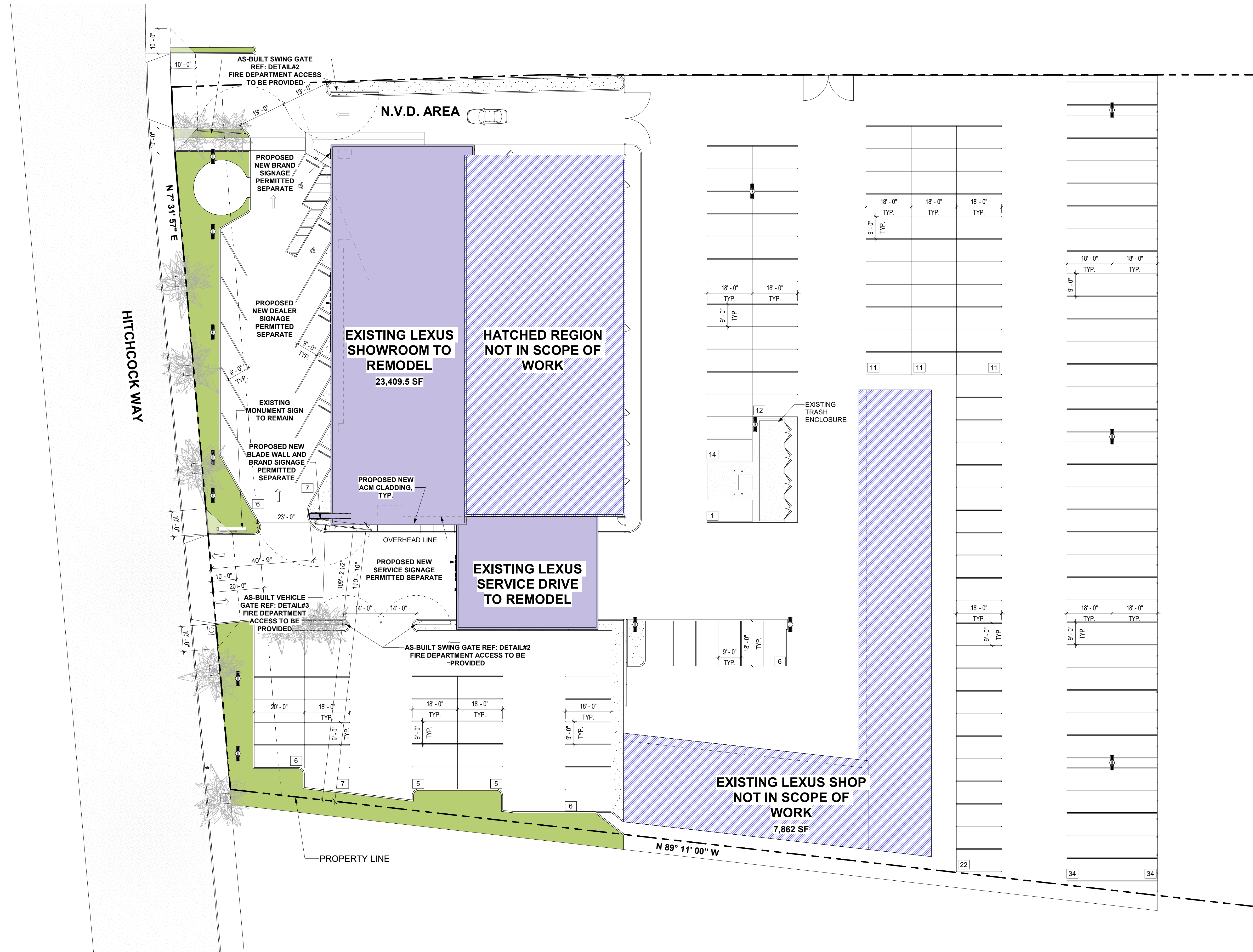
THIS DRAWING AND THE BIM/CAD FILE FROM WHICH IT HAS BEEN GENERATED ARE PROVIDED AS AN INSTRUMENT OF SERVICE FOR THIS PROJECT. THESE DOCUMENTS ARE THE SOLE PROPERTY OF GOREE ARCHITECTS, INC. ANY USE OF THESE DOCUMENTS, DATA AND DESIGNS FOR PURPOSES OTHER THAN THOSE ASSOCIATED WITH THIS PROJECT WITHOUT THE EXPRESSED, WRITTEN PERMISSION OF GOREE ARCHITECTS, INC. IS PROHIBITED.



3 SINGLE SWING GATE DETAIL
1/2" = 1'-0"



2 DOUBLE SWING GATE DETAIL
1/2" = 1'-0"



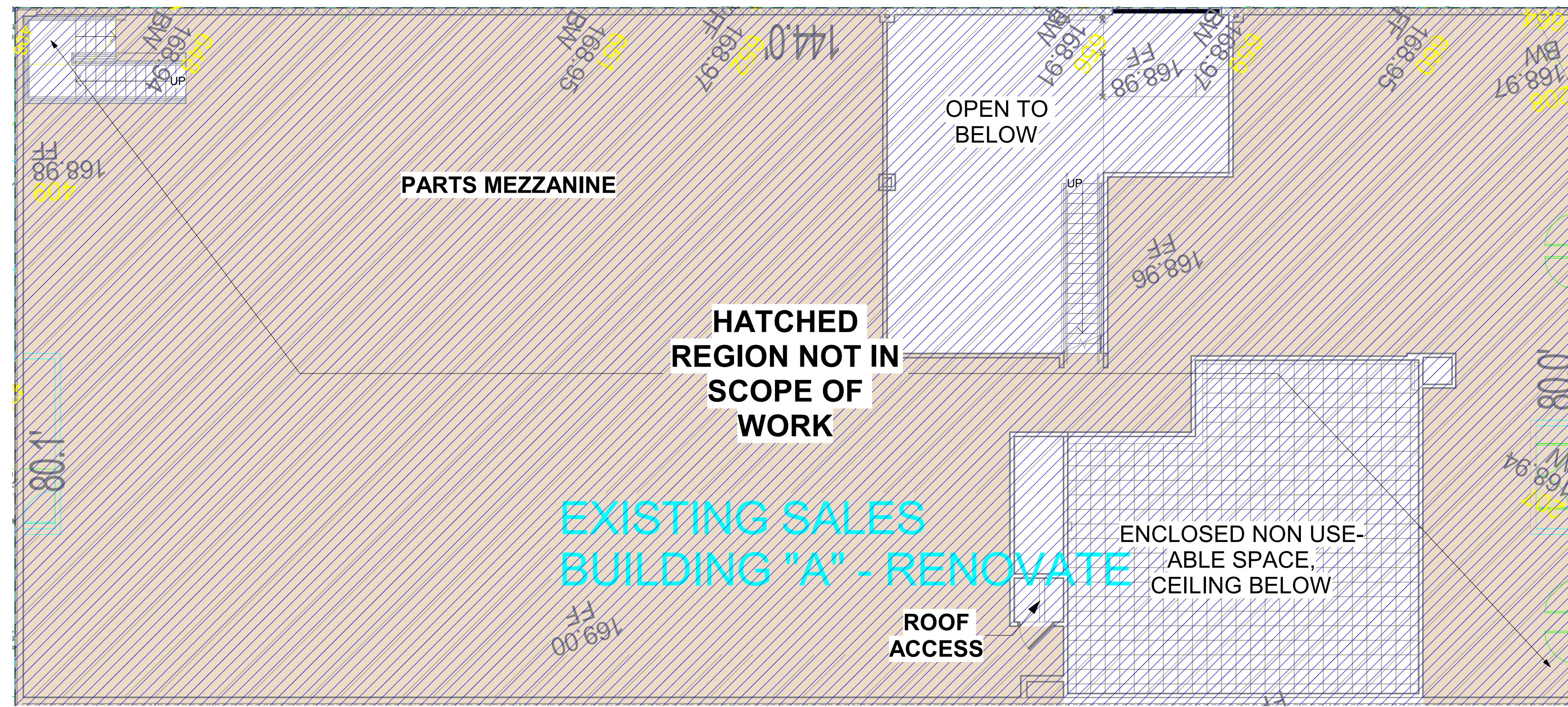
1 PROPOSED - SITE
1" = 20'-0"

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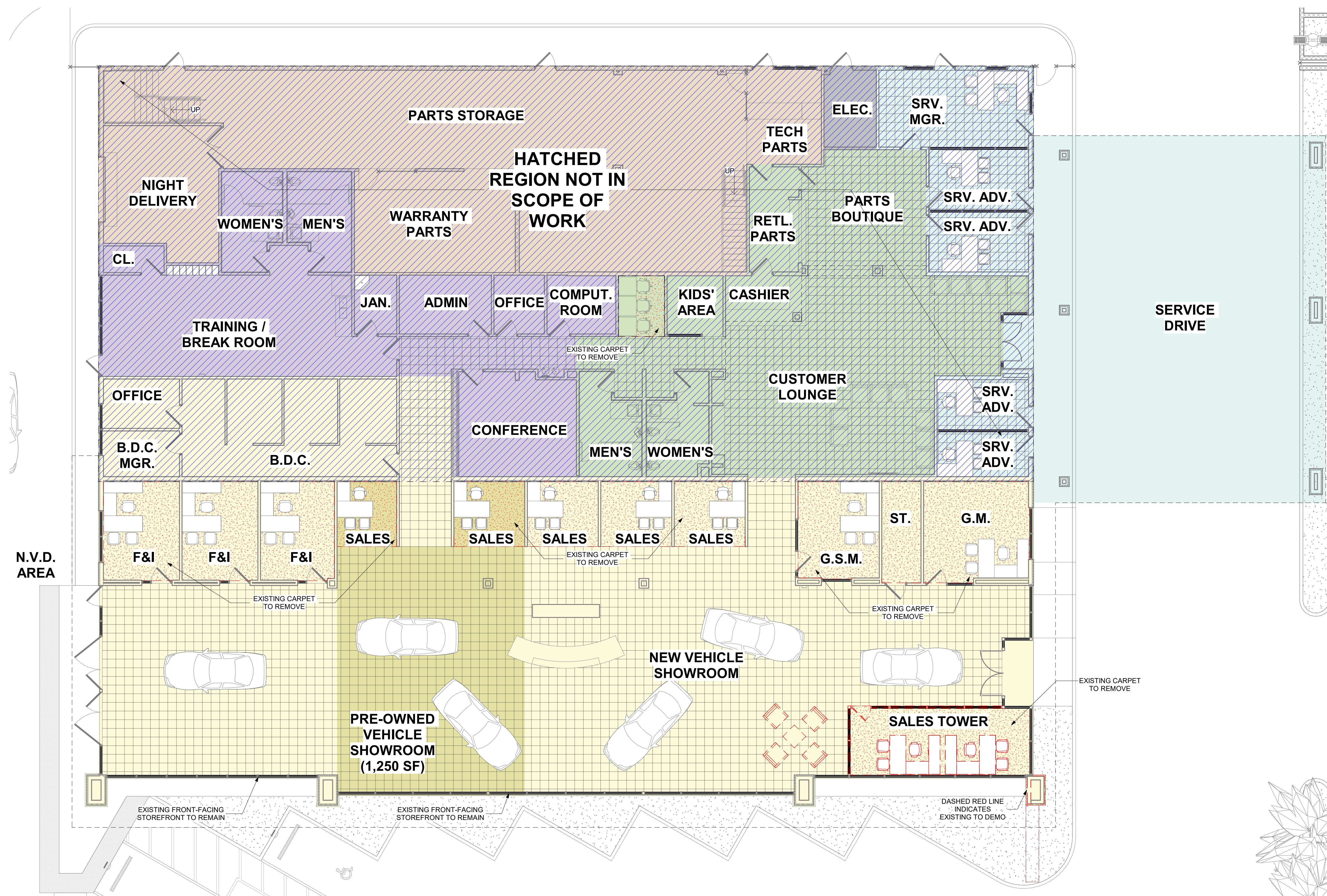
NO SITE WORK WILL BE PART OF THIS PERMIT. NO PARKING CONFIGURATION CHANGES PER LAST APPROVED PARKING CONFIGURATION.

PARKING ANALYSIS			
CITY OF SANTA BARBARA PARKING REQUIREMENT			
SANTA BARBARA, COASTAL TITLE 23, CHAPTER 20.91 - SEC. 20.91.100 - PARKING REQUIREMENTS			
USE CLASSIFICATION	MIN. OFF-STREET PARKING REQ.	G.F.A	PARKING REQUIRED
OFFICE, COMMERCIAL, AND INDUSTRIAL USES	OFFICE OR ADMINISTRATIVE ACTIVITY: 1 SPACES PER 250 SF	23,409.5 SF	94
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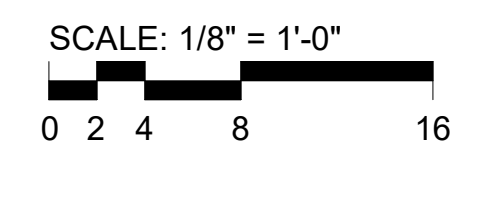
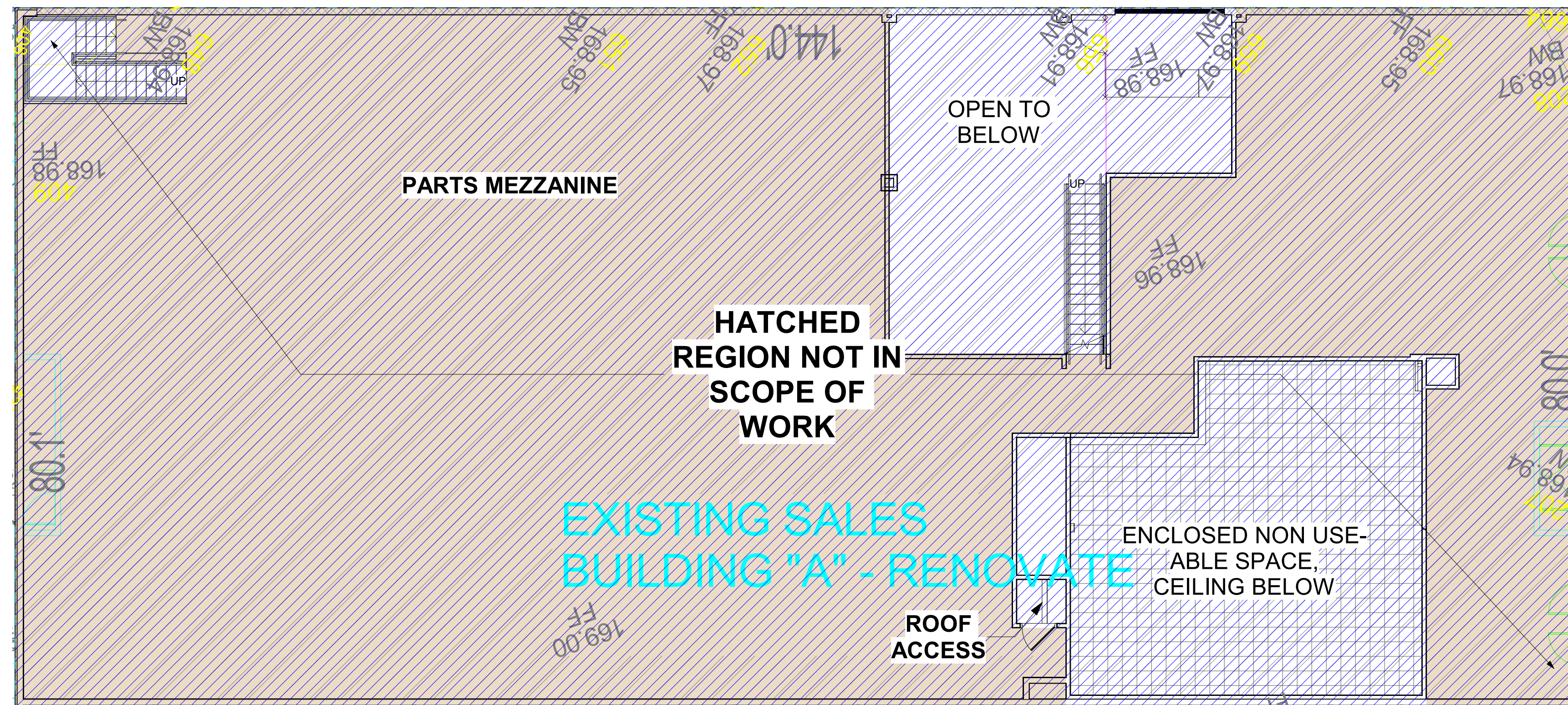
2 DEMO - MEZZANINE
1/8" = 1'-0"

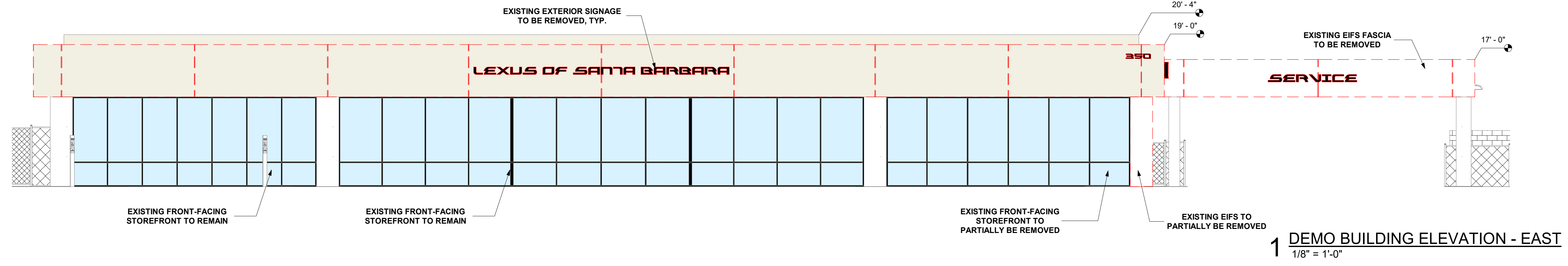


1 DEMO - SHOWROOM
1/8" = 1'-0"

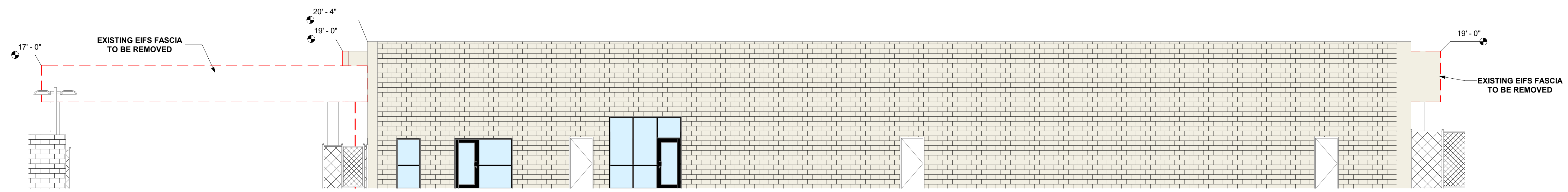
SCALE: 1/8" = 1'-0"
0 2 4 8 16



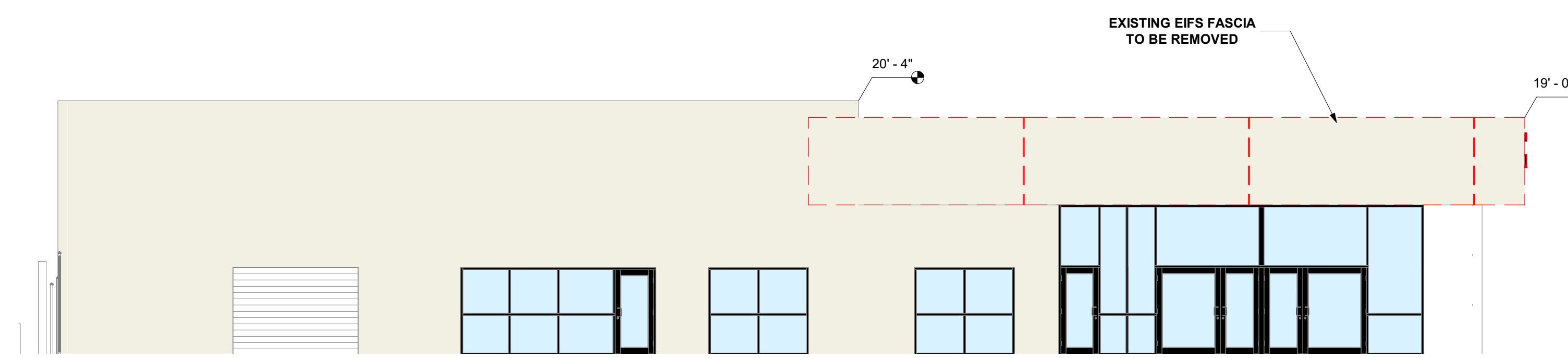




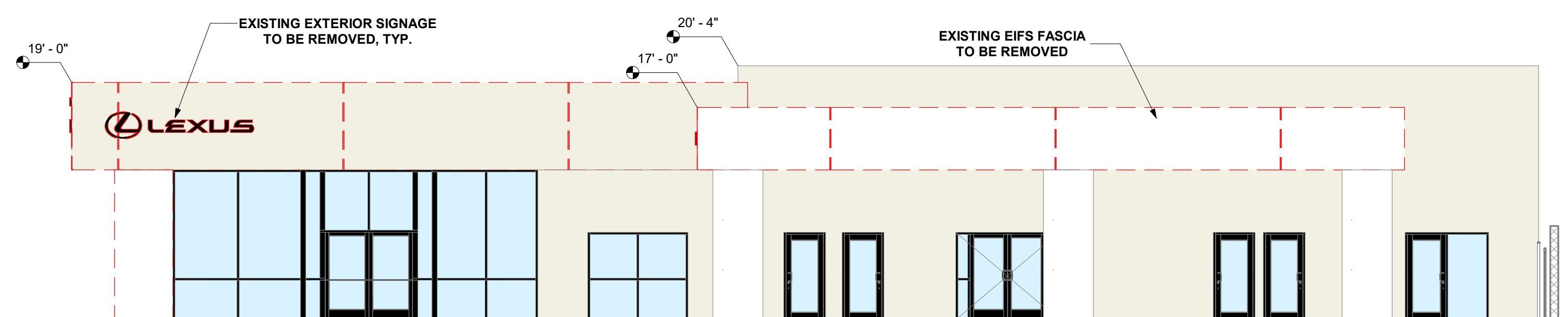
1 DEMO BUILDING ELEVATION - EAST
1/8" = 1'-0"



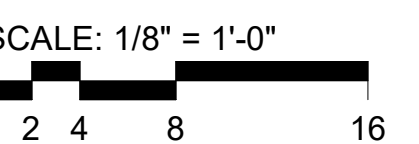
2 DEMO BUILDING ELEVATION - WEST
1/8" = 1'-0"

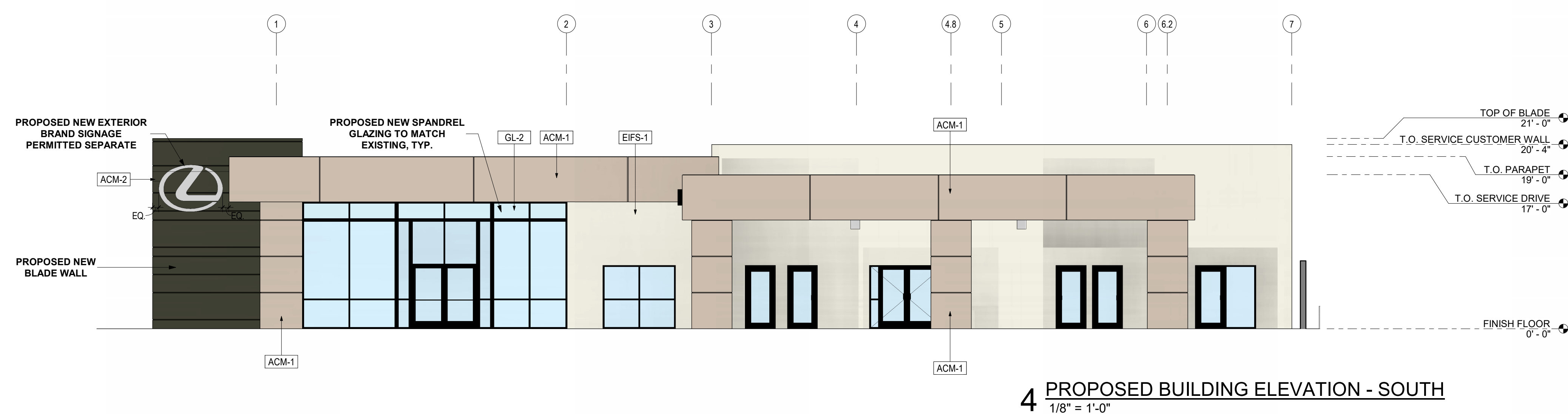
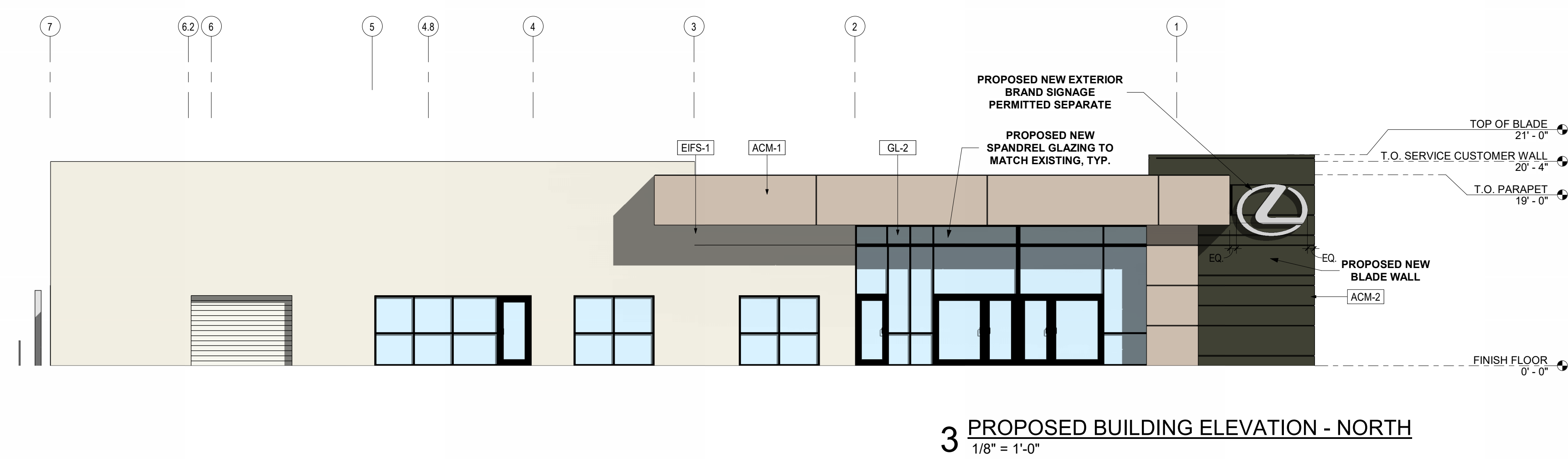
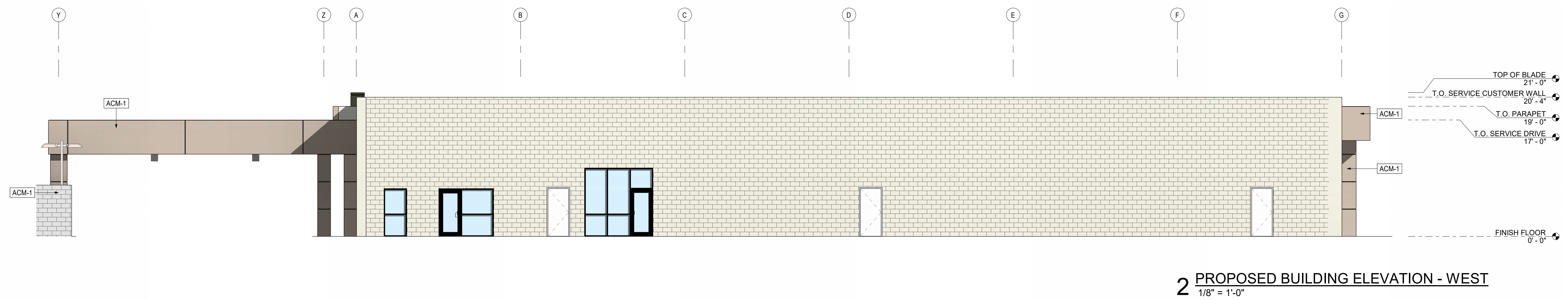
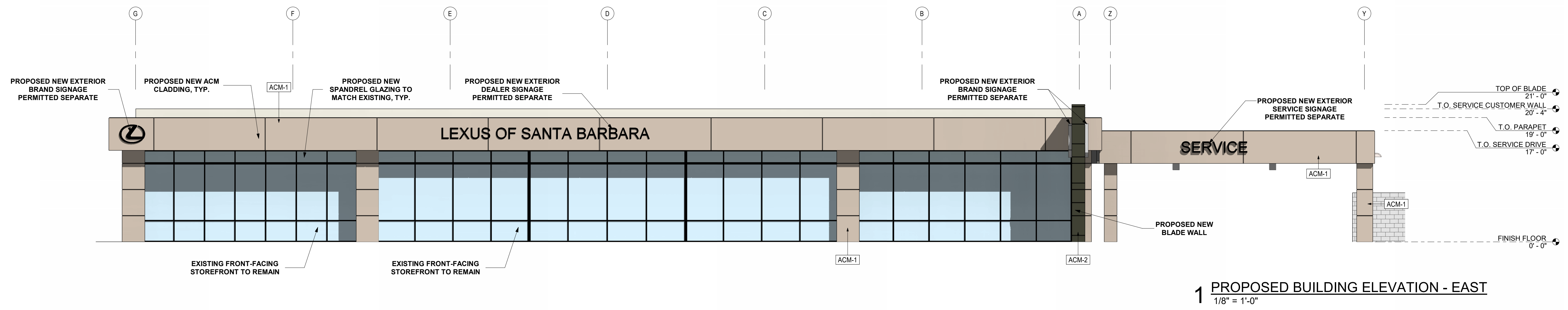


3 DEMO BUILDING ELEVATION - NORTH
1/8" = 1'-0"



4 DEMO BUILDING ELEVATION - SOUTH
1/8" = 1'-0"





EXTERIOR MATERIAL LEGEND	
ACM-1 ACM-1 (ALPOLIC) MCU MICA CHAMPAGNE	
ACM-2 ACM-2 (ALPOLIC) SBR BRONZE STOCK	
GL-1 GL-1 SPANDREL GLASS	
EIFS-1 PAINTED TO MATCH EXISTING EXTERIOR EIFS	

