

COMMERCIAL LEASE SPACE

1224 COAST VILLAGE CIRCLE

SANTA BARBARA, CA

NEW VEHICULAR GATE WITH MAN DOOR AND ALTERATION TO (E) WROUGHT IRON BARRIER

S H E R R Y & A S S O C I A T E S
 ARCHITECTS
 608 ANACAPA STREET, SUITE B
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GENERAL REQUIREMENTS

All work shall be performed in a professional workmanlike manner by a licensed contractor and shall comply with the following:

- These General notes unless otherwise noted on plans or specifications.
- This project shall comply with:
 The California Building Code, 2022 Edition
 The California Residential Code, 2022 Edition
 The California Plumbing Code, 2022 Edition
 The California Electrical Code, 2022 Edition
 The California Mechanical Code, 2022 Edition
 The California Fire Code, 2022 Edition
 The California Energy Code, 2022 Edition
 The California Green Building Standards Code, 2022 Edition
 All Amendments as adopted in Santa Barbara City Ordinance 5919 City of Santa Barbara Zoning Ordinance Title 30
- All applicable Local, State and Federal Codes, Ordinances, Laws, Regulations and Protective Covenants governing the site of work.
- Standard Specifications of ASTM.
- In case of conflicts, the more stringent requirements shall govern.
- "Or Equal": The Contractor shall submit for the Designer's and Builder's approval all materials or equipment which is considered "or equal" to that specified.

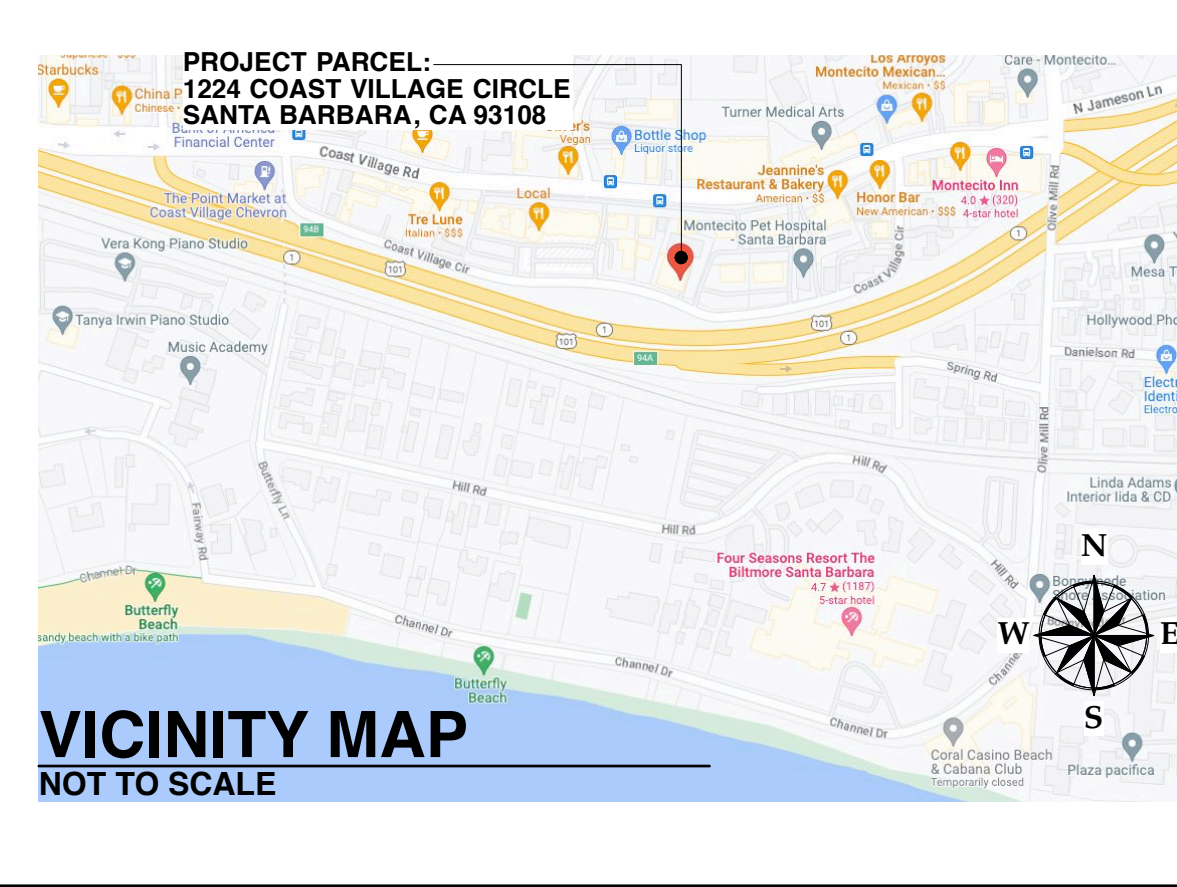
On Site Verification of all dimensions and conditions shall be the responsibility of the Contractor and Sub-contractors. Noted dimensions to take precedence over scale. Each Contractor and Subcontractor shall report to designer and Project Superintendent all Conditions which prevent the proper execution of their work. Client's Architect and Project Superintendent to be notified immediately by Contractor and Sub-Contractor should any discrepancy, error, omission, addition, or other question arise pertaining to the working drawings and/or specifications. The Contractor shall be held responsible for the results of any errors, discrepancies, or omissions which the Contractor failed to notify the Architect of before construction and/or fabrication of the work.
 Sub-contractor shall: Insure that all work is done in a professional workmanlike manner by skilled mechanics and shall replace any materials or items damaged by Sub-contractor performance. Sub-contractors and suppliers are hereby notified that they are to confer and cooperate fully with each other during the course of construction to determine the exact extent and overlap of each other's work and to successfully complete the execution of the work. All Sub-contractor workmanship will be of quality to pass inspections by local authorities, lending institutions, Architect or Builder. Any one or all of the above mentioned inspectors may inspect workmanship at any time, and any corrections needed to enhance the quality of building will be done immediately. The Contractor shall, at all times, provide protection against weather, rain, wind, storms, frost, heat or breakage so as to maintain all work, materials, apparatus, and fixtures free from injury or damage. The Contractor shall at all times keep the premises free from all accumulations of waste material or rubbish caused by his employees, and at the completion of the work shall remove all rubbish, debris, equipment and surplus materials belonging to him from in and about the building and leave work site "Broom Clean". At the end of the day's work, all work likely to be damaged shall be covered. Any work damaged due to failure of protection as defined above shall be removed and replaced with new work at the Contractor's expense. Each Sub-contractor, unless specifically exempted by the terms of his sub-contract agreement, shall be responsible for cleaning up and removing from the job site all trash and debris not left by other Sub-contractors. Builder will determine how soon after Sub-contractor completes each phase of his work that trash and debris will be removed from the site.
 Workmanship: Compliance with drawings and/or specifications with regard to materials and methods of assembly will not, in itself, assure acceptance of the work. Of equal importance is good workmanship, the lack of which will be sufficient cause to refuse acceptance of the work.

PUBLIC WORKS

FOR ANY CONSTRUCTION WORK IN THE PUBLIC RIGHT-OF-WAY (PROW) OR IN THE CITY SEWER EASEMENT, A PUBLIC WORKS PERMIT IS REQUIRED AND SHALL BE PROVIDED UNDER A SEPARATE PERMIT.

ABBREVIATIONS

& @ CL	Center-line Diameter	FDN.	Foundation	PL	Plate
f (E)	Existing	FIN.	Finish	PLYWD.	Plywood
(N)	New	FLASH.	Flashing	PRCSST.	Pre-cast
#	Pound or Number	F.O.F.	Face of Finish	P.T.	Pressure-treated
A.B.	Anchor Bolt	F.O.M.	Face of Masonry	Q.T.	Quarry Tile
A.D.	Area Drain	F.S.	Full size	R.	Riser
ADJ.	Adjustable	FT.	Foot or Feet	RAD.	Radius
AGGR.	Aggregate	FURR.	Furring	R.D.	Roof Drain
ALUM.	Aluminum	GALV.	Galvanized	REF.	Reference
APPROX.	Approximate	GL.	Glued Laminated	REFR.	Refrigerator
ARCH.	Architectural	G.L.B.	Glued Laminated Beam	REINF.	Reinforced
ASPH.	Asphalt	GND.	Ground	REQ'D.	Required
BD.	Board	GR.	Grade	RESIL.	Resilient
BLDG.	Building	GYP.	Gypsum	RM.	Room
BLKG.	Blocking	H.B.	Hose Bid	RWD.	Redwood
B.O.	Bottom of	H.D.	Hold Down	R.W.L.	Rain Water Leader
CAB.	Cabinet	HDR.	Header	S.	South
CER.	Ceramic	HORIZ.	Horizontal	SCHED.	Schedule
C.I.	Cast Iron	HR.	Hour	SECT.	Section
CLG.	Control Joint	H.T.	Height	S.F.	Square Feet
CALKG.	Calking	I.D.	Inside Diameter	SHWR.	Shower
CLD.	Closet	INSUL.	Insulation	SHT.	Sheet
CLR.	Clear	INT.	Interior	SIM.	Similar
C.C.	Clearcut	JT.	Joint	SPEC.	Specification
COL.	Column	LAM.	Laminate	SQA.	Square
CONC.	Concrete	LAV.	Lavatory	STD.	Standard
CONN.	Construction	LT.	Light	STL.	Steel
CONSTR.	Construction	L.V.L.	Laminated Veneer	STOR.	Storage
CONT.	Continuous	MAX.	Maximum	STRUC.	Structural
C.M.U.	Concrete Masonry Unit	M.B.	Machine Bolt	S.W.	South West
CNTR.	Center	M.C.	Medicine Cabinet	SYM.	Symmetrical
CTR.	Center	MECH.	Mechanical	TRD.	Tread
d	Diameter	MTL.	Metal	T.C.	Top of Curb
DBL.	Double	MFR.	Manufacturer	TEL.	Telephone
DEPT.	Department	MIN.	Minimum	T & G	Tongue and Groove
DIA.	Diameter	MIR.	Mirror	T.V.	Television
DIM.	Dimension	MISC.	Miscellaneous	T.S.	Tube Steel
DN.	Down	N.	North	THK.	Thick
DR.	Door	N.I.C.	Not in Contract	TYP.	Typical
DS.	Downspout	NO./#	Number	W.	West
DWG.	Drawing	N.O.M.	Not to Scale	WI.	Water Closet
E.	East	N.T.S.	Not to Scale	W.C.	Water Closet
E.A.	Expansion Joint	O.A.	Overall	WD.	Wood
E.L.	Elevation	O.C.	On Center	WP.	Waterproof
ELEC.	Electrical	O.D.	Outside Diameter	W.R.	Water Resistant
EL.	Elevation	OPNG.	Opening	WT.	Weight
ELEV.	Elevation	OPP.	Opposite		
ENCL.	Enclosure				
EQ.	Equipment				
EXP.	Expansion				
EXT.	Exterior				



PROJECT STATISTICS

OWNER:	MAC REAL ESTATE PARTNERS, LLC 289 S BEVERLY DR 930 BEVERLY HILLS, CA 90212
PROJECT ADDRESS:	1224 COAST VILLAGE CIRCLE SANTA BARBARA, CA 93108
APN:	009-291-013
ZONE DISTRICT:	C-1/ S-D-3
GP OR LCP LAND USE DESIGNATION:	COMMERCIAL/ MEDIUM HIGH DENSITY
COASTAL ZONE JURISDICTION:	NON-APPEAL JURISDICTION
LOT SIZE:	± 31,727 SF / 0.74 ACRES
AVERAGE SLOPE:	± 13%
SPECIAL DESIGN DISTRICT:	NO
HIGH FIRE AREA:	NO
EXISTING LAND USE:	OFFICE BUILDINGS/ MULTI-STORY
BUILDING TYPE:	V-B
FEMA FLOOD ZONE:	X

PROFESSIONALS

ARCHITECT:	SHERRY AND ASSOCIATES, ARCHITECTS 608 ANACAPA STREET, SUITE B SANTA BARBARA, CA 93101 PH: (805) 963-0986 FAX: (805) 963-0178
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AGENCY CONTACT

CITY OF SANTA BARBARA:	COMMUNITY DEVELOPMENT 630 GARDEN STREET, SANTA BARBARA, CA 93101 BUILDING DEPT: 564-5485 PLANNING DEPT: 564-5470
ELECTRICAL AGENCY:	SOUTHERN CALIFORNIA EDISON 333 LOVE PLACE, SANTA BARBARA, CA 93117 (805) 683-5252
GAS AGENCY:	SOUTHERN CALIFORNIA GAS 1615 W. BEVERLY BLVD., SANTA BARBARA, CA 93106-6466 (805) 681-8060
SEWER AGENCY:	CITY OF SANTA BARBARA PUBLIC WORKS DEPT. 630 GARDEN STREET, SANTA BARBARA, CA 93101 (805) 564-5377
WATER AGENCY:	CITY OF SANTA BARBARA PUBLIC WORKS DEPT. 630 GARDEN STREET, SANTA BARBARA, CA 93101 (805) 564-5377

CONSTRUCTION SITE BEST MANAGEMENT PRACTICES

THE FOLLOWING BMPs MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES IN THE CITY TO PROTECT STORM DRAINS AND MINIMIZE POLLUTION

The City of Santa Barbara Building & Safety Division Erosion/Sedimentation Control Program and SBMAC 16.15.010 prohibit pollutant discharges at work sites from flowing into storm drains and polluting local creeks, water courses and the ocean. To stay in compliance and keep your project on schedule, make sure BMPs are in place and functioning. Sites must be checked and maintained daily.

PAINT AND STUCCO: All paint and stucco materials must be stored in a secure area. The liquid of any spill must be contained and cleaned. To help prevent paint or stucco from entering the storm drain system, use a spill kit to clean up any spill immediately. Do not allow paint or stucco to enter the storm drain system. Clean up any spill immediately. Do not allow paint or stucco to enter the storm drain system. Clean up any spill immediately.

PERIMETER CONTROLS: Silt fences, straw wattles, and other perimeter controls must be installed and maintained. They must be checked and maintained daily. They must be checked and maintained daily. They must be checked and maintained daily.

BUILDING MATERIALS/STAGING AREAS: All construction materials must be stored in a secure area. They must be stored in a secure area. They must be stored in a secure area.

EARTHMOVING EQUIPMENT: All earthmoving equipment must be used in a secure area. They must be used in a secure area. They must be used in a secure area.

TRAFFIC CONTROL PERMITS: All construction sites must have traffic control permits. They must have traffic control permits. They must have traffic control permits.

DUMPSTERS: All dumpsters must be used in a secure area. They must be used in a secure area. They must be used in a secure area.

Protecting water resources improves and preserves Santa Barbara's quality of life for our children and future generations.
 Questions? Contact your Building Inspector or call Building & Safety at (805) 564-5485

SCOPE OF WORK

- EXTERIOR ALTERATION TO AN (E) NON-RESIDENTIAL BUILDING. SCOPE OF WORK INCLUDES:**
- NEW VEHICULAR SLIDING GATE WITH MAN DOOR, ACCESSIBLE FROM COAST VILLAGE CIRCLE.
 - ALTERATION TO THE EXISTING WROUGHT IRON BARRIER AT 1224 COAST VILLAGE CIRCLE.

SHEET INDEX

T 1.0	TITLE SHEET/ GENERAL NOTES/ PROJECT STATISTICS/ MATERIAL SPECS
T 2.0	SITE PLAN
A 1.1	VEHICULAR GATE PLAN/ GATE ELEVATION
A 1.2	ALTERED WROUGHT IRON ELEVATION

4 SHEETS TOTAL

NEW VEHICULAR GATE W/ MAN DOOR AND ALTERATION TO (E) WROUGHT IRON BARRIER

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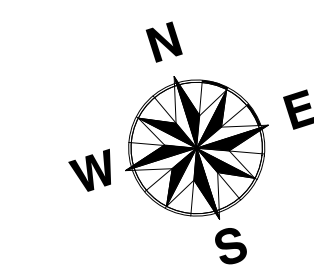
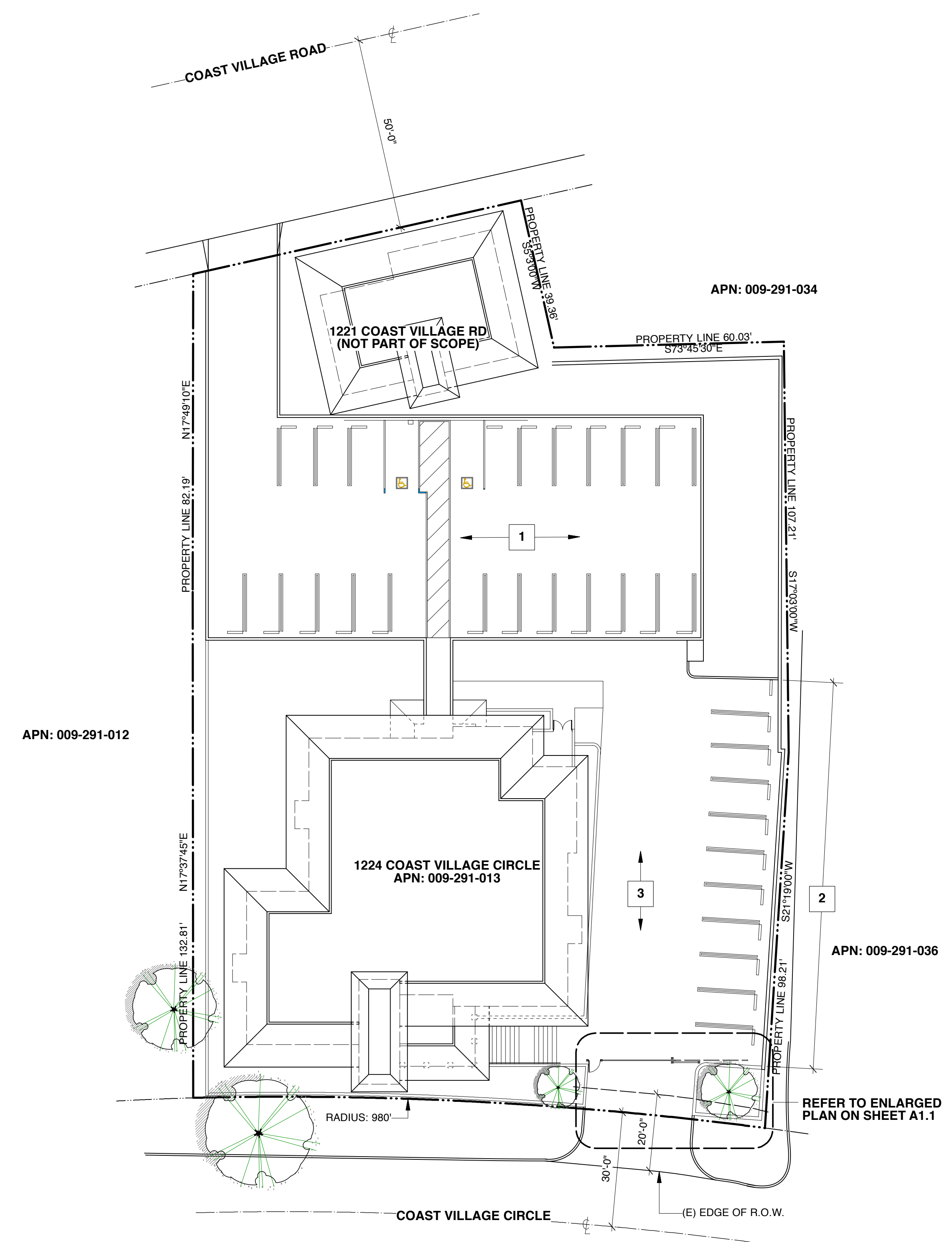
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T 1.0

TITLE SHEET

SITE PLAN KEYNOTES

- 1 (E) PARKING STRUCTURE TO REMAIN
- 2 (E) PARKING SPACES TO BE RE-STRIPED
- 3 (E) ASPHALT PAVING TO REMAIN



(E) SITE PLAN
SCALE: 1" = 20'-0"

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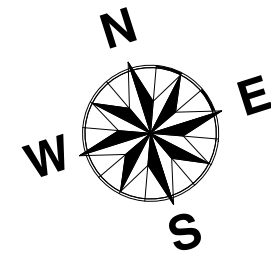
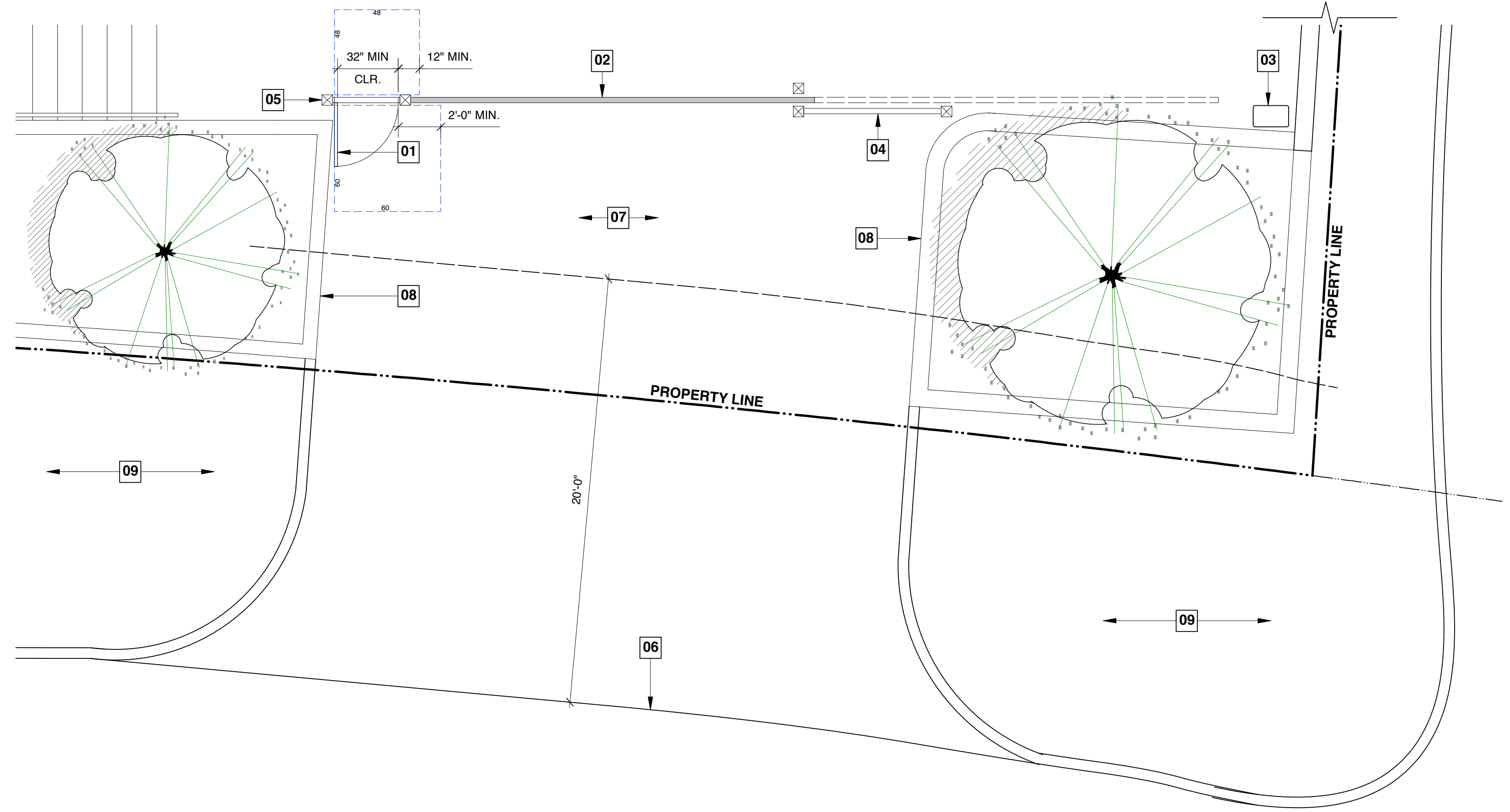
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T 2.0
SITE PLAN

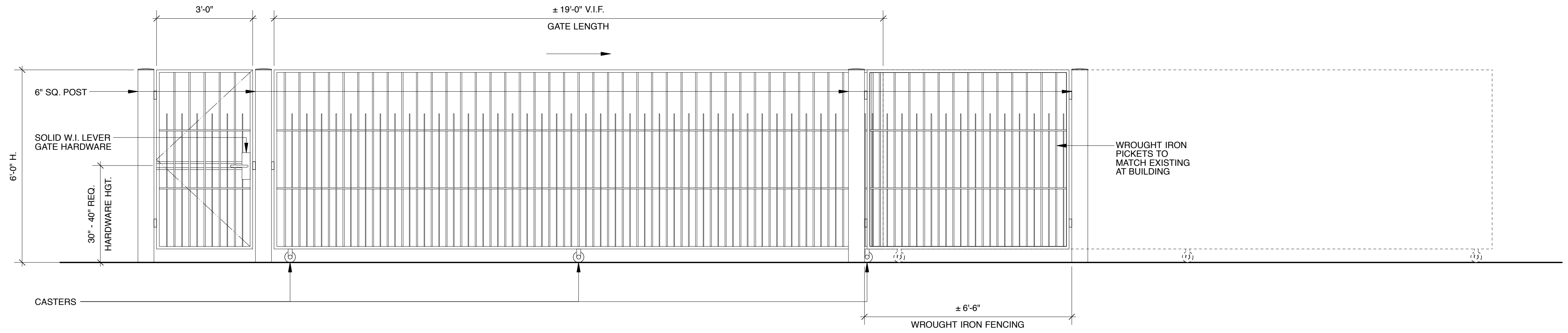
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REFERENCE NOTES:

- 01 (N) 6' H. PEDESTRIAN GATE WITH INTERCOM AND REMOTE ACCESS
- 02 (N) 6' H. ROLLING GATE WITH INTERCOM AND REMOTE ACCESS
- 03 (N) ROLLING GATE MOTOR/CONTROL UNIT
- 04 (N) 6' H. PROTECTIVE FENCE TO ISOLATE MOVING GATE
- 05 (N) STEEL POST
- 06 EDGE OF RIGHT OF WAY
- 07 (E) ASPHALT DRIVEWAY
- 08 (E) SITE WALL TO REMAIN
- 09 (E) LANDSCAPING TO REMAIN



ENLARGED WROUGHT IRON GATE PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



(N) W. I. GATE ELEVATION - PROPOSED
SCALE: 1/2" = 1'-0"

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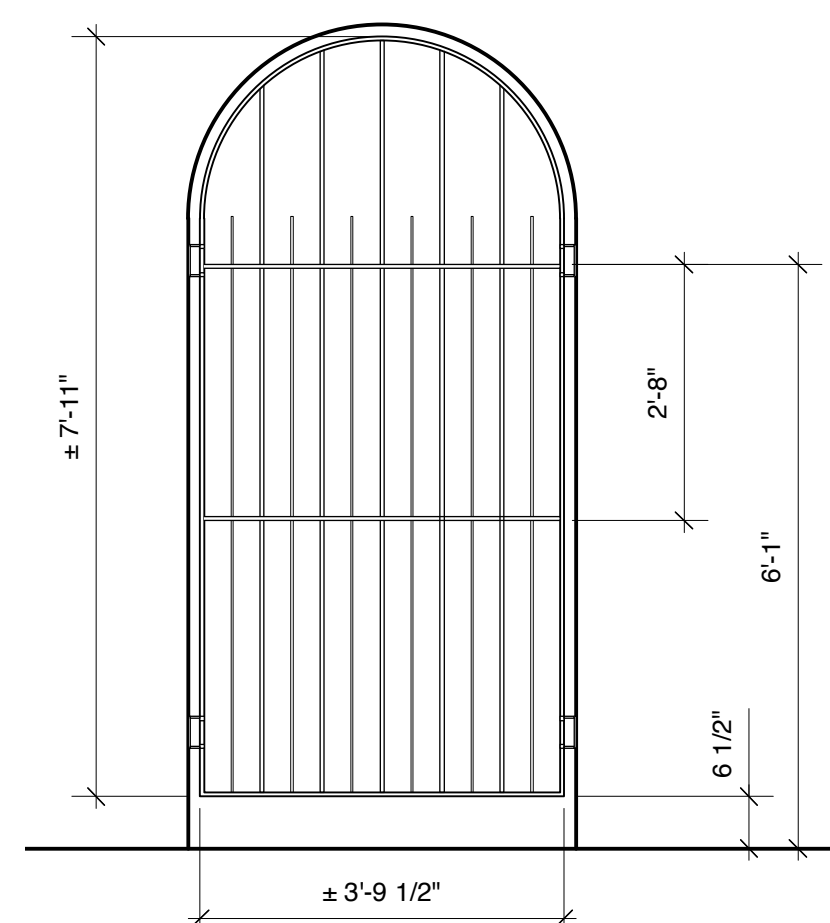
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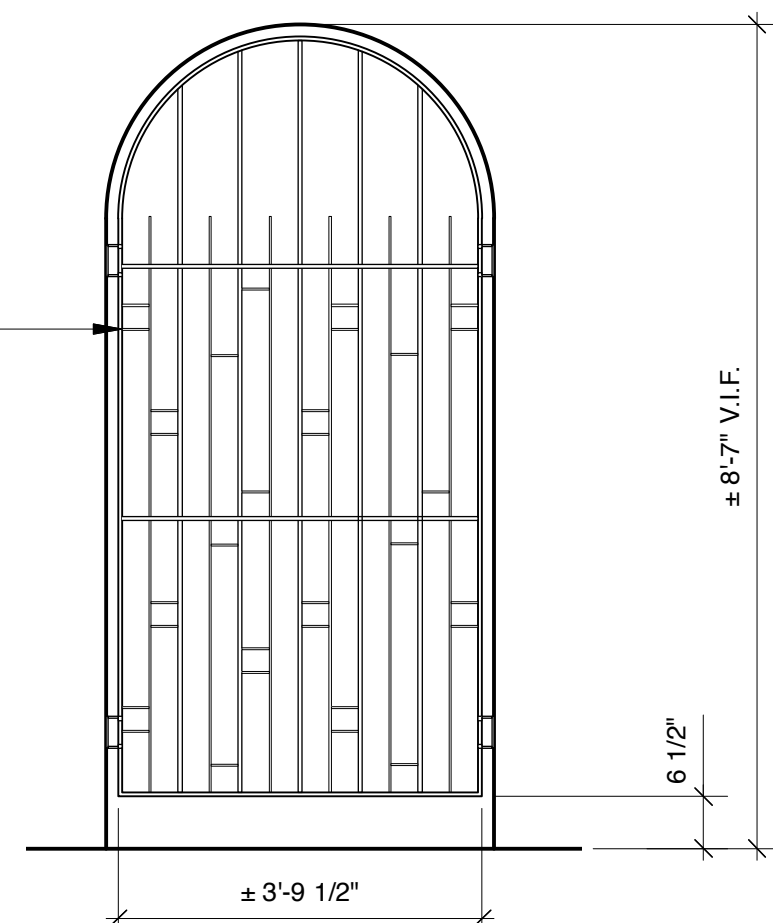
ENLARGED GATE PLAN/ GATE ELEVATION

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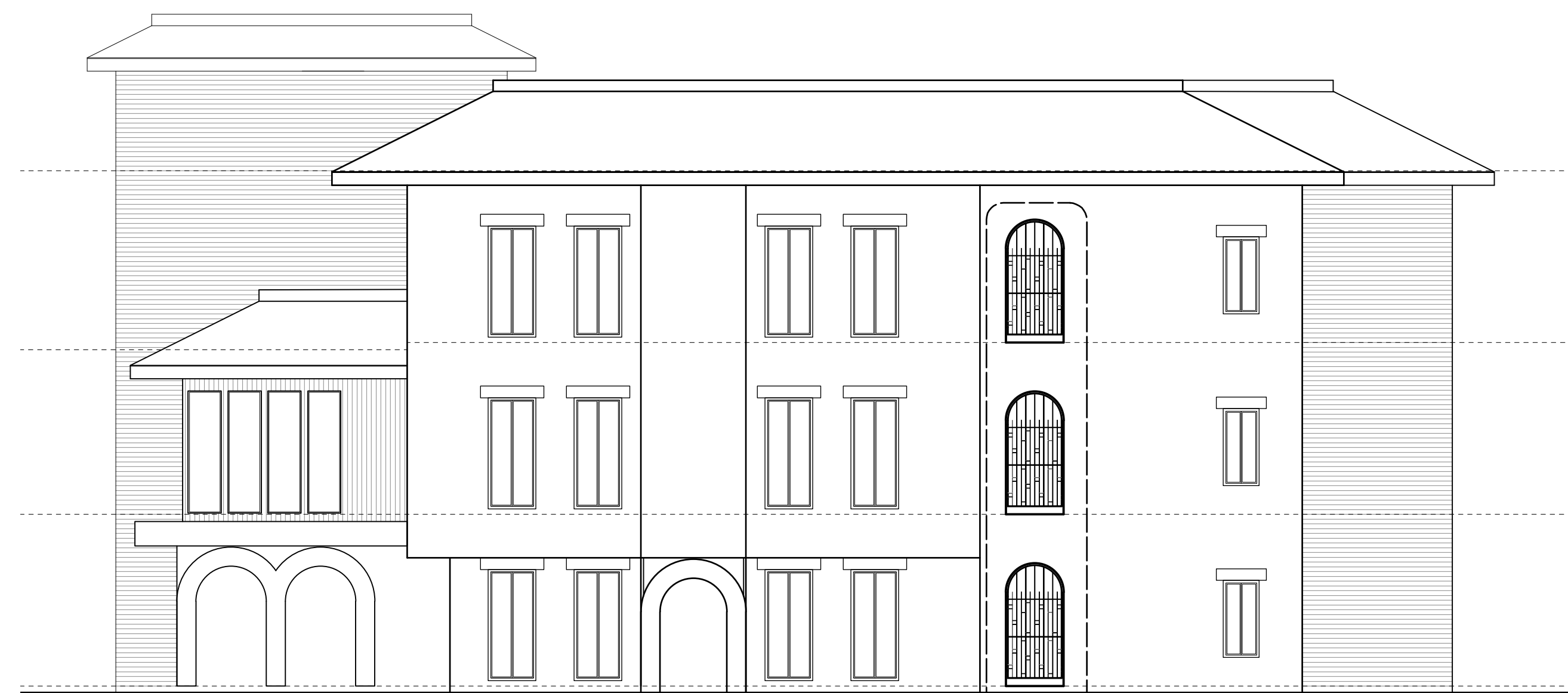


W.I. BARRIER - EXISTING
SCALE: 1/2" = 1'-0"

(N) INTERMEDIATE HORIZONTAL BARS, AS SHOWN.



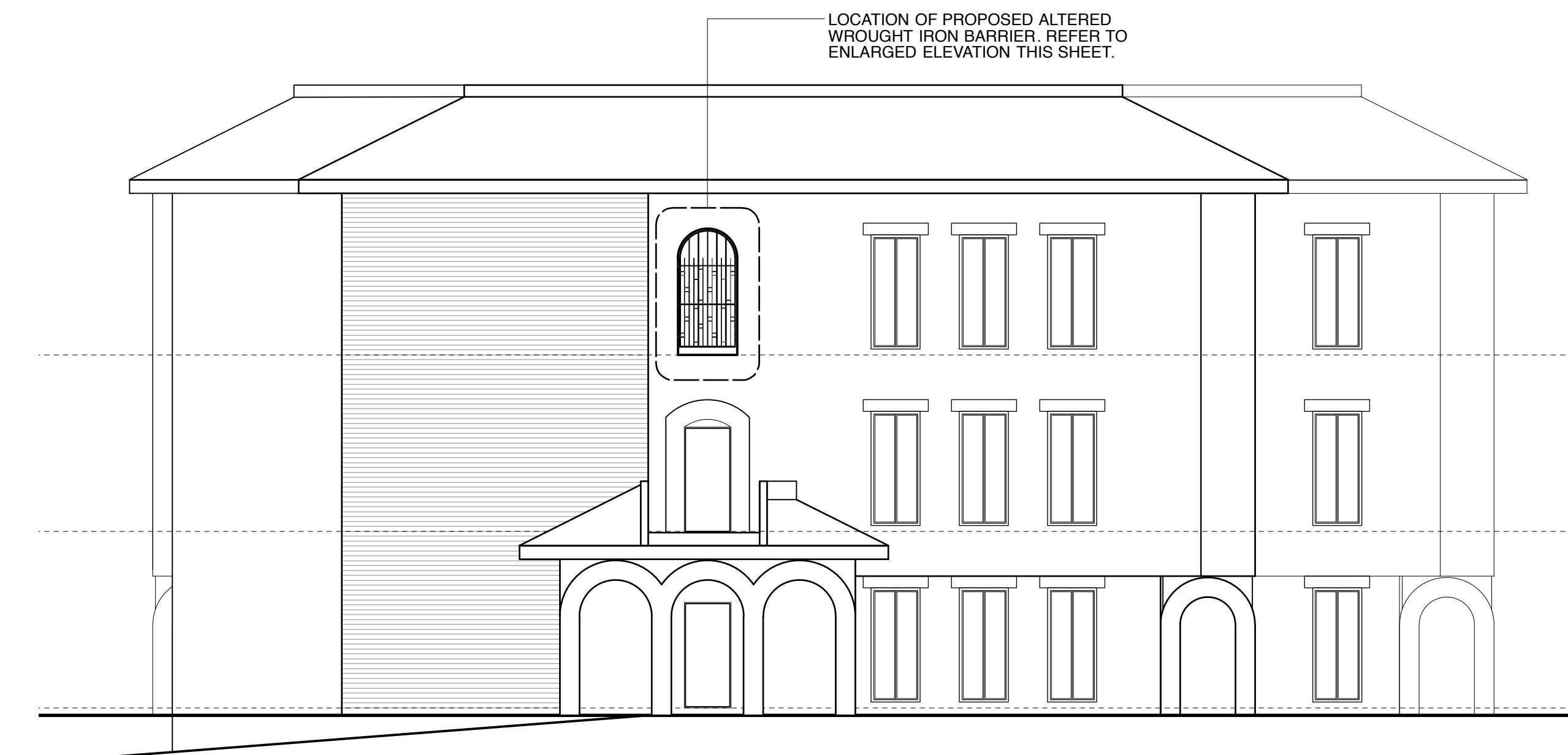
W.I. BARRIER - ALTERED
SCALE: 1/2" = 1'-0"



EAST ELEVATION - EXISTING/ PROPOSED

SCALE: 1/8" = 1'-0"

LOCATION OF PROPOSED ALTERED WROUGHT IRON BARRIER. REFER TO ENLARGED ELEVATION THIS SHEET.



NORTH ELEVATION - EXISTING/ PROPOSED

SCALE: 1/8" = 1'-0"

LOCATION OF PROPOSED ALTERED WROUGHT IRON BARRIER. REFER TO ENLARGED ELEVATION THIS SHEET.

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A 1.2

WROUGHT IRON ELEVATION