



# City of Santa Barbara California

## STAFF HEARING OFFICER STAFF REPORT

**REPORT DATE:** October 7, 2015  
**AGENDA DATE:** October 14, 2015  
**PROJECT ADDRESS:** 411 E. Calle Laureles (MST2015-00419)  
**TO:** Susan Reardon, Senior Planner, Staff Hearing Officer  
**FROM:** Planning Division, (805) 564-5470  
 Danny Kato, Senior Planner *no-for-DK*  
 Kelly Brodison, (805) 564-5470, ext. 4531 *KAB*

### I. PROJECT DESCRIPTION

The 7,100 square-foot site is currently developed with a 1,929 square foot residence. The proposed project involves an addition of 187 square feet by enclosing an existing 121 square foot covered patio area and a 66 square foot covered laundry room.

The discretionary application required for this project is an Open Yard Modification to allow a reduction of the required open yard (SBMC §28.18.060 and §28.92.110).

Date Application Accepted: August 24, 2015      Date Action Required: November 22, 2015

### II. RECOMMENDATION

Staff recommends that the Staff Hearing Officer approve the project, subject to a condition.

### III. SITE INFORMATION AND PROJECT STATISTICS

#### A. SITE INFORMATION

Applicant:	Craig Shallanberger	Property Owner:	Sean and Kendra Johnson
Parcel Number:	055-193-015	Lot Area:	7,100 sq. ft.
General Plan:	Low Density Residential (Max 5 du/acre)	Zoning:	E-3
Existing Use:	Single Family Residential	Topography:	~16%

#### Adjacent Land Uses:

North - Residential (2-story)	East - E. Calle Laureles Residential
South - Foothill Road - Residential	West - Residential

**B. PROJECT STATISTICS**

	<b>Existing (net)</b>	<b>Proposed (net)</b>
Living Area	1,929 sq. ft.	187 sq. ft. (addition)
Garage	N/A	N/A

**C. PROPOSED LOT AREA COVERAGE**

Building: 1,890 sf 26.6%    Hardscape: 1,100 sf 15.5%    Landscape: 4,110 sf 57.9%

**D. FLOOR-AREA RATIO (FAR)**

Max. Allowed FAR: 2,975 sq. ft.    Proposed FAR: 2,116 sq. ft. = 72% of Max. Allowed FAR

**IV. DISCUSSION**

The 7,100 square foot lot is at the corner of Foothill Road and E. Calle Laureles and was previously addressed as 3086 Foothill Road. The original home was constructed sometime around 1949. Subsequently, in 1958 a 600 square foot addition was permitted on the north side of the carport. Most recently, in 2006 two modifications were approved for “as-built” additions to be located within the required open yard area at the rear of the house and to allow one uncovered parking space within the front yard off Calle Laureles. The previously existing carport had been enclosed without permits prior to 2006. Since the cumulative additions (including the current proposal) are less than 50% of the square footage that existed on-site in 1980, the applicants are not required to bring the parking up to current code at this time.

Open Yard Modification

In the E-3 zone, a minimum of 1,250 square feet of open yard with minimum dimensions of at least 20 feet long and 20 feet wide (SBMC §28.18.060) is required. The applicants are requesting an Open Yard Modification to reduce the size of the existing non-conforming open yard area to allow for additions to the existing house by enclosing an outdoor laundry room (66 square feet) and enclosing the covered patio (121 square feet) to extend the living room.

The site is a long narrow corner lot, somewhat constrained by two front yards. The proposal consists of enclosing two areas that are already covered by the existing roof line. There are limited options for improving the house that would not encroach into either the front setback or interior setbacks due to the layout of the home in relation to the street frontages. These minor additions totaling approximately 187 square feet, would still maintain one area with the minimum dimensions of 20’ x 20’. There is 1,640 square feet of contiguous useable open yard area that varies in width from 14’ and 21’. This provides a sufficient amount of useable space for the inhabitants of the home as intended by the ordinance.

Staff is in support of this open yard modification because it allows for a modest addition of 187 square feet, by enclosing covered patio areas. Although all of the open yard will not meet the required dimensions of 20’ x 20’ there is one area that will comply with these dimensions and there is still a significant amount of open yard area that is available for the purpose of outdoor recreation as intended by the ordinance. In addition, the open yard fulfills the intent of the

requirements and allows for a minor expansion of the small residence while maintaining the existing neighborhood character. It should be noted that there are several new walls in the front yards shown on the site plan that will be removed and are not proposed as part of this application.

**V. FINDINGS**

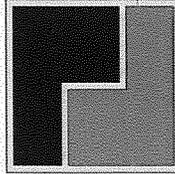
The Staff Hearing Officer finds that the Open Yard Modification is consistent with the purpose and intent of the Zoning Ordinance and is necessary to secure an appropriate improvement on the lot. The proposed additions are appropriate on the small corner lot with a single-family residence, because the proposed enclosure of the laundry area and patio area will meet the setback requirements and the resulting open yard area is useable by the residents, it fulfills the intent of the Open Yard requirements while maintaining the existing neighborhood character as discussed in Section IV of the Staff Report.

Said approval is subject to the condition that no new walls or fences within any front yard are approved as a part of this modification application.

Exhibits:

- A. Applicant's letter, dated August 24, 2015
- B. Site Plan (under separate cover)

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CITY OF SANTA BARBARA  
PLANNING DIVISION

August 24, 2015

**Staff Hearing Officer**  
City of Santa Barbara  
P.O. Box 1990 Santa Barbara, CA 93102-1990

**Re: Modification Request for 411 East Calle Laureles, APN 055-193-015, Land Use Zone E-3**

Dear Staff Hearing Officer:

There is an existing 2,014 sq. ft. house on the property, a corner lot at Foothill Road and East Calle Laureles. The house currently encroaches into the primary front yard setback five feet on the easterly side of the property. The encroachment was previously on the secondary front yard setback, but the property address was changed from Foothill Road to East Calle Laureles, thereby changing the primary & secondary locations. The proposal is to enclose a 7'-0"x18'-6" covered patio and a 8'-0"x9'-0" covered laundry area to the rear of the existing house on the westerly side of the property, resulting in a total 202 SF (Gross) / 187 SF (Net) addition. The proposal also includes replacing existing wood and plaster fences with freestanding CMU/Plaster fences, all conforming to height standards.

The modification being requested is to allow the open yard dimension to be reduced by 2'-6" (from 20'-0" to 17'-6") on the westerly yard. Even with the dimension reduction, the property would still enjoy a relatively large open yard (2,660 SF), as compared to the minimum open yard (1,250 SF).

The major benefit of reducing the required dimension of the open yard area is that it prevents the need to add a second story addition and eliminates privacy issues that may be associated with a second-story addition. Also, since the additions are actually infilling under covered roof spaces, there is no proposed change in the effective footprint and no effect on adjoining properties.

Sincerely,

Craig Shallanberger