



City of Santa Barbara California

STAFF HEARING OFFICER STAFF REPORT

REPORT DATE: September 24, 2015
AGENDA DATE: September 30, 2015
PROJECT ADDRESS: 611 Holmcrest Rd. (MST2015-00305)
TO: Susan Reardon, Senior Planner, Staff Hearing Officer
FROM: Planning Division, (805) 564-5470
 Danny Kato, Senior Planner *DJK*
 Joanna Kaufman, Planning Technician I

I. PROJECT DESCRIPTION

The 5,629 square-foot site is currently developed with a 1,131 square-foot, two-story single-family residence with an attached 185 square-foot one-car garage. The proposed project involves enclosures of existing upper and lower decks to become a total of 188 square feet of new habitable space. Additional exterior alterations include new and replaced windows and doors, new front yard bench and cable railing varying from 3.5 to four feet in height, and a 109 square-foot addition to the rear, lower-level deck. Violations outlined in Zoning Information Report (ZIR2014-00366) will be addressed as part of this project.

The discretionary applications required for this project are:

1. Front Setback Modification to allow additions and alterations to occur within the required 25-foot front setback (SBMC § 28.15.060 and SBMC § 28.92.110).
2. Interior Setback Modification to allow additions and alterations to occur within the required ten-foot eastern interior setback (SBMC § 28.15.060 and SBMC § 28.92.110);
3. Interior Setback Modification to allow additions and alterations to occur within the required ten-foot western interior setback (SBMC § 28.15.060 and SBMC § 28.92.110)

Date Application Accepted: August 31, 2015

Date Action Required: November 29, 2015

II. RECOMMENDATION

Staff recommends that the Staff Hearing Officer approve the project, subject to conditions.

III. SITE INFORMATION AND PROJECT STATISTICS

A. SITE INFORMATION

Applicant:	Jim Davis	Property Owner:	Brett Slatkin
Parcel Number:	019-331-012	Lot Area:	5,629 SF
General Plan:	Low Density Residential	Zoning:	E-1
Existing Use:	Single-Family Residential	Topography:	49%

B. PROJECT STATISTICS

	Existing	Proposed
Living Area	1,326 sq. ft.	1,514 sq. ft.
Garage	195 sq. ft.	195 sq. ft.

C. PROPOSED LOT AREA COVERAGE

Building: 752 sf 13% Hardscape: 435 sf 8% Landscape: 4442 sf 79%

D. FLOOR-AREA RATIO (FAR)

Max. Allowed FAR: 0.46 Proposed FAR: 0.27 = 59% of Max. Allowed FAR

IV. DISCUSSION

This residence was previously zoned E-3 with six foot interior and 20 foot front setbacks. In 1959, a Modification was approved to allow the residence to be constructed with a reduced front setback of ten feet. The parcel was rezoned to E-1 with 30 foot front and ten foot interior setbacks. Any proposed additions would be required to conform to the current setback of 25 feet (A five-foot front setback reduction was applied to the 30-foot, E-1 front setback because the average natural slope of the front half of the lot is more than one foot rise or fall in five feet horizontal). The residence is nonconforming to the eastern and western interior setbacks.

The proposed project involves enclosures of existing upper and lower decks to become a total of 188 square feet of new livable space. Additional exterior alterations include new and replaced windows and doors, and new front yard bench and cable railing varying from 3.5 to four feet in height. A 27 square-foot section of the existing front entry porch is proposed to be enclosed ten feet from the front property line. Existing windows are proposed to be relocated on to the addition on both the upper and lower floors, and a new operable window will be added to the front elevation on the upper floor.

This project was reviewed by the Single Family Design Board (SFDB) on July 13, 2015, and continued to the Staff Hearing Officer with comments (Exhibit C).

Front Setback Modification

The proposed project involves the enclosure of upper and lower-level decks to add a total of 188 square feet of additions to the existing 1,326 square foot residence. The existing residence

is located 10 feet from the front property line, as approved in 1959. An upper-level front entry porch and lower-level paved walk will be enclosed to create new livable space that encroaches into the front setback by 19'9". A portion of the proposed cable fence exceeds 42 inches within ten feet of the front setback. A condition has been included to obtain a Minor Exception for Fence Height to allow this segment of the fence. Staff supports the front setback modification for the proposed additions and alterations because they are in-line with the existing residence located on a site constrained by the existing parcel topography and size, and are not anticipated to adversely impact the adjacent neighbors or the visual openness of the street frontage.

In reviewing the most recent set of approved building plans, it was discovered that the existing closet adjacent to the paved walk had never received a building permit. Therefore, a condition has been added to obtain a permit for the "as-built" closet.

Western Interior Setback Modification

The existing non-conforming residence encroaches 1'10" into the required ten foot western interior setback. An existing window opening in the front and western interior setback will be increased two inches in height (4'x 4'). A window in the front and western interior setback will be removed. Two new windows (2'6" x 8 each) will be added in the western interior setback and outside of the front setback. The existing rear deck will be expanded by 109 square feet and encroach 1'10" into the western interior setback. Staff supports the interior setback modification for the proposed additions and alterations because they are in-line with the existing residence located on a site constrained by the existing parcel topography and size, and are not anticipated to adversely impact the adjacent neighbors, as the parcel to the west is currently vacant.

Eastern Interior Setback Modification

The existing non-conforming residence encroaches 2'6" into the required ten foot eastern interior setback. The enclosure of an 85 square foot portion of a rear deck to expand the living room is proposed which will encroach into the eastern interior setback by 2'6". There are no new windows proposed on this addition. Staff supports the interior setback modification for the proposed additions and alterations because they are in-line with the existing residence located on a site constrained by the existing parcel topography and size, and are not anticipated to adversely impact the adjacent neighbors.

V. FINDINGS AND CONDITIONS

1. The Staff Hearing Officer finds that the Front Setback Modification for the requested additions and alterations are consistent with the purposes and intent of the Zoning Ordinance, and are necessary to secure an appropriate improvement on the lot. The proposed additions and alterations are appropriate because they are in-line with the existing residence located on a site constrained by the existing parcel topography and size, and are not expected to result in adverse effects on the adjacent neighbors or the visual openness of the public street frontage as discussed in Section V of the staff report.

2. The Staff Hearing Officer finds that the Interior Setback Modification for requested additions and alterations on west side of the property are consistent with the purposes and intent of the Zoning Ordinance and is necessary to secure an appropriate improvement on the lot. The proposed additions and alterations are appropriate because they are in-line with the existing residence located on a site constrained by the existing parcel topography and size, and are not expected to result in adverse effects on the adjacent neighbors, as discussed in Section V of the staff report.
3. The Staff Hearing Officer finds that the Interior Setback Modification for the requested addition on the east side of the property is consistent with the purposes and intent of the Zoning Ordinance and is necessary to secure an appropriate improvement on the lot. The proposed additions are appropriate because they are in-line with the existing residence located on a site constrained by the existing parcel topography and size, and are not expected to result in adverse effects on the adjacent neighbors, as discussed in Section V of the staff report.

Said approval is subject to the following conditions:

1. Obtain a Minor Exception for a Fence Height for the portion of the cable fence over the maximum allowable height prior to Project Design Approval.
2. Obtain a building permit for the "as-built" lower-level closet.

Exhibits:

- A. Site Plan (under separate cover)
- B. Applicant's letter, dated July 30, 2015
- C. SFDB Minutes July 13, 2015

Contact/Case Planner: Joanna Kaufman, Planning Technician I
(jkaufman@SantaBarbaraCA.gov)
630 Garden Street, Santa Barbara, CA 93101
Phone: (805) 564-5470 x4472

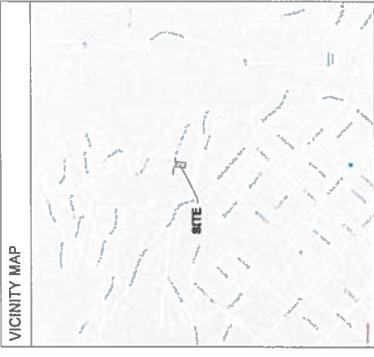
PHOTO: JAMES HARRIS, ARCHITECTURE
 COURTESY OF THE ARCHITECTS
 PHOTO: JAMES HARRIS, ARCHITECTURE
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 PHOTO: JAMES HARRIS, ARCHITECTURE
 COURTESY OF THE ARCHITECTS

DATE: 04/11/16
 DRAWN BY: J. DAVIS
 CHECKED BY: J. DAVIS
 SCALE: AS SHOWN
 SHEET NO.: A-0.0

PROJECT: SLATKIN ADDITION
 11011 WINDY HOLE
 SAN ANTONIO, TX 78204

DATE: 04/11/16
 DRAWN BY: J. DAVIS
 CHECKED BY: J. DAVIS
 SCALE: AS SHOWN
 SHEET NO.: A-0.0

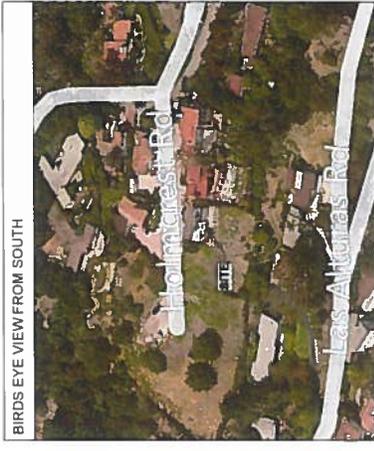
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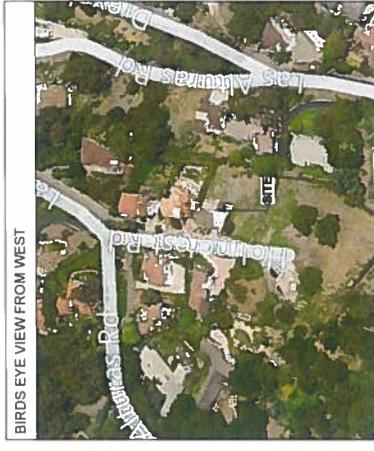
VICINITY MAP



AERIAL VIEW



BIRDS EYE VIEW FROM SOUTH



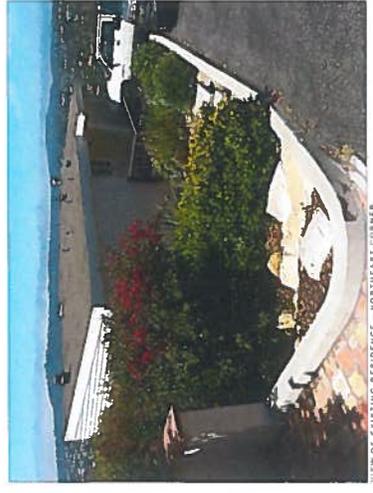
BIRDS EYE VIEW FROM WEST



VIEW OF EXISTING RESIDENCE - WEST ELEVATION



VIEW OF EXISTING RESIDENCE - NORTH ELEVATION



VIEW OF EXISTING RESIDENCE - NORTHEAST CORNER



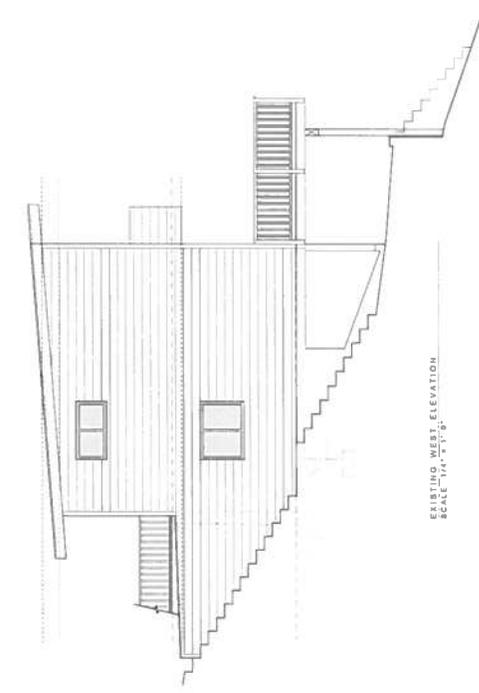
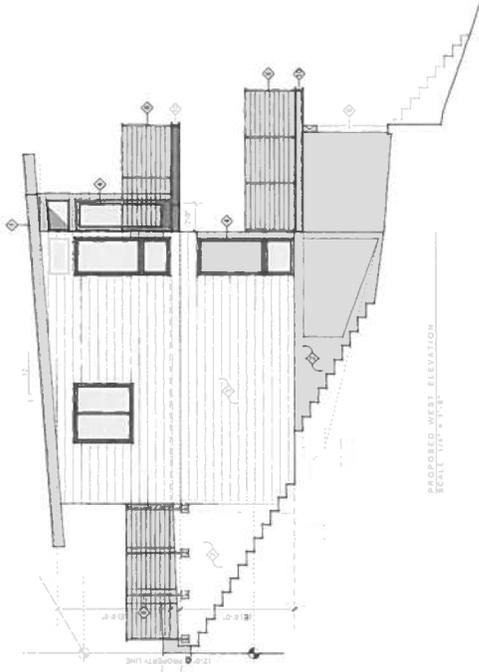
VIEW OF EXISTING RESIDENCE - SOUTH ELEVATION



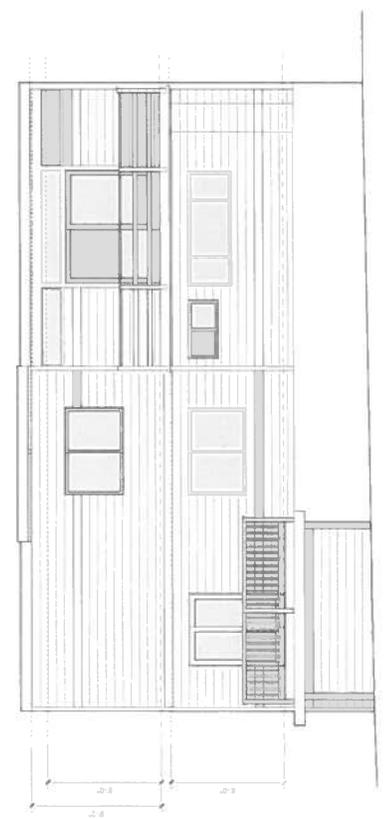
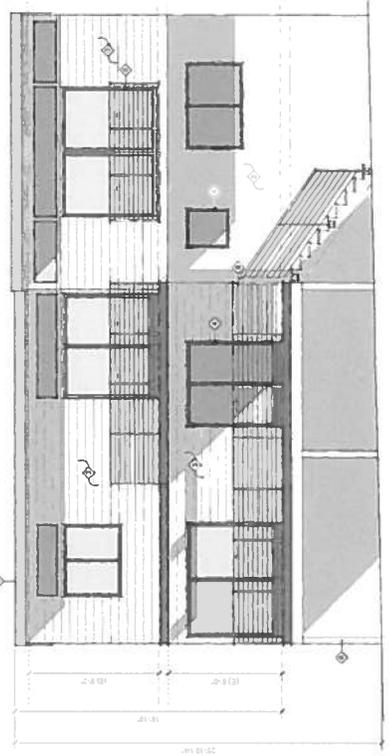
VIEW TOWARDS EAST OF EXISTING 2ND FLOOR DECK - SOUTH ELEVATION



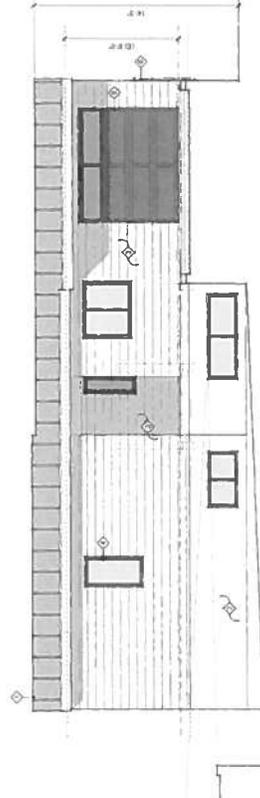
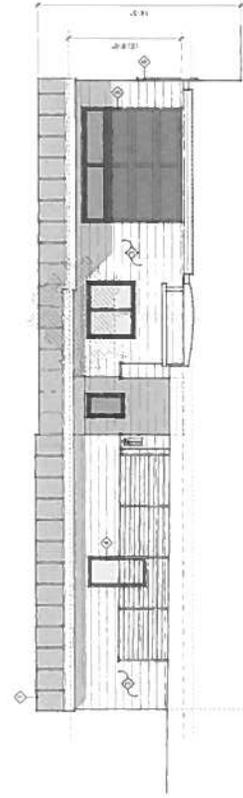
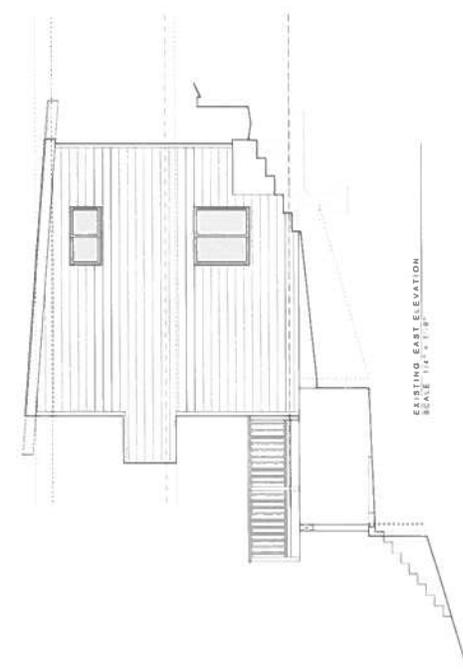
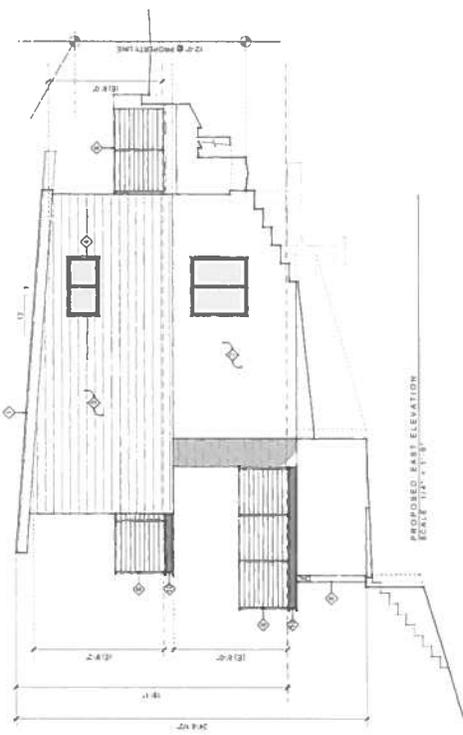
VIEW TOWARDS EAST OF EXISTING ACCESS ROAD/PRIVATE DRIVEWAY



- MATERIALS LEGEND:**
1. CLAD AT FINE FACED BRICK WITH BRICK POINT FINISH
 2. CLAD AT FINE FACED BRICK WITH BRICK POINT FINISH
 3. CLAD AT FINE FACED BRICK WITH BRICK POINT FINISH
 4. CLAD AT FINE FACED BRICK WITH BRICK POINT FINISH
 5. CLAD AT FINE FACED BRICK WITH BRICK POINT FINISH
 6. CLAD AT FINE FACED BRICK WITH BRICK POINT FINISH
 7. CLAD AT FINE FACED BRICK WITH BRICK POINT FINISH
 8. CLAD AT FINE FACED BRICK WITH BRICK POINT FINISH
 9. CLAD AT FINE FACED BRICK WITH BRICK POINT FINISH
 10. CLAD AT FINE FACED BRICK WITH BRICK POINT FINISH



This drawing, when taken in conjunction with the project description, shall constitute the entire contract for the project. It is understood that the architect is not responsible for the accuracy of the information provided by the client. The architect shall not be held liable for any errors or omissions in this drawing, or for any consequences arising therefrom, whether or not such errors or omissions are caused in whole or in part by the negligence of the architect.



- MATERIALS LEGEND**
- 1 CLAD: 1/2" PREPARED PINE TRUSSING BEAM ROOFING MEMBRANE
 - 2 EXTERIOR PLASTER, 1/2" THICK UNARMED COAT EXTERIOR INTEGRAL COLOR FINISH
 - 3 WOOD BRIDGE OR ONE LAYER OF 5/8" EXTREM GRIPPING STRIPPED FRAMING (REFER TO STRUCTURAL DRAWINGS) COLOR TO BE DETERMINED
 - 4 PAINTED METAL SHEET PILING
 - 5 PAINTED METAL SHEET PILING
 - 6 PAINTED METAL SHEET PILING
 - 7 PAINTED 2" OZ. GRANT FABRIC COLOR TO BE DETERMINED
 - 8 PAINTED METAL SHEET PILING
 - 9 PAINTED METAL SHEET PILING
 - 10 PAINTED METAL SHEET PILING

EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED NORTH ELEVATION

July 30, 2015

Staff Hearing Officer
City of Santa Barbara
P.O. Box 1990
Santa Barbara, CA 93102-1990

RECEIVED

JUL 30 2015

CITY OF SANTA BARBARA
PLANNING DIVISION

Re: Modification Request for 611 Holmcrest Road; APN 019-331-012; Zone E-1

Dear Staff Hearing Officer:

There is an existing 1,160 square foot two-story, single-family residence, with a 195 square foot attached one-car garage on the property at 611 Holmcrest Road. The residence currently encroaches as much as 20'-0" into the required 30' front setback or 15'-0" into the required 25'-0" front setback with sloping lot setback reduction along the north property line; the residence also encroaches 1'-10" into the required 10'-0" west interior yard setback & 2'-5" into the required 10'-0" east interior yard setback. The existing building has been permitted with city building permits according to the City building files and a modification was granted on May 12, 1959 to allow the dwelling to be located 10'-0" from the front property line rather than the required 15'-0". We are proposing an addition (164 square feet net/174 square feet gross) to the north and south of the existing residence; one new window on the north of the existing upper/main floor; removal of one window and two new windows on the westerly side of the property.

The modifications to the north front yard setback being requested are:

- Enclosure of an existing covered deck at the lower floor to become new a hallway (47 square feet net, 50 square feet gross) that will encroach 19'-9" into the required thirty-foot or twenty-five foot reduced front yard setback. The encroachment will allow the hallway addition to keep in line with the existing house without having to do major structural changes to the existing structure. The proposed hallway addition is needed, as the existing bedroom is currently undersized.
- Enclosure of a portion of an existing upper floor covered entry porch to become kitchen area (27 square feet net, 32 square feet gross) that will encroach 19'-9" into the required thirty-foot or twenty-five foot reduced front yard setback. The encroachment will allow kitchen addition to keep in line with the existing house without having to do major structural changes to the existing structure. The proposed kitchen addition is needed, as the existing living space at the upper floor is limited in size?
- Demolition of an existing (remaining portion) 66 square feet uncovered porch & build a new uncovered porch 70 square feet that will encroach 19'-9" into the required thirty-foot or twenty-five foot reduced front yard setback. The encroachment will allow the new deck to provide access to the entrance of the house Holmcrest Road. The proposed deck is needed, as access to the entry would otherwise not be possible.
- Addition of one new window at the upper floor north elevation (two feet wide by four feet high), which encroaches 19' -9" into the required thirty-foot or twenty-five foot, reduced front yard setback. The new window will allow light, and cross ventilation to the existing upper floor living area. The proposed small window will allow northerly light and ventilation, while also maintaining privacy.

The modification to the west interior yard setback being requested is to allow:

- Addition of one new window at the upper floor (two feet six inches wide by eight feet high), enlarge one existing window (four feet by two feet) to (four feet by four feet) & one new window at the lower floor (two feet six inches wide by six feet eight inches high) to encroach 1'-10" into the required fifteen-foot interior setback. The windows are being requested as one existing window is being removed at the lower floor and it is questionable as to whether the lot to the west can be developed, thus privacy is not a factor.

EXHIBIT B

The modification to the west interior yard setback being requested is to allow:

- 8 square feet portion of upper floor addition at east elevation (total area = 85 square feet net, 91 square feet gross) to encroach 2'-6" into the required fifteen-foot interior setback. The modification will allow the new addition to keep in line with the existing structure without having to step the wall and roof structure, and simplify the connection between the proposed and existing structures.

The major benefits of having the proposed items listed above encroach into the required setback are:

1. It will allow additional habitable area on a constrained hillside lot that would otherwise require extensive foundation work if the addition were to occur outside of the existing setbacks.
2. It will allow for a simpler construction of the residence, resulting in less complicated and less costly framing and construction.
3. The proposed lower and upper floor additions on the north side will not encroach further than the existing structure and will not increase the massing or bulk of the existing structure.
4. The removal and replacement of the existing deck will maintain the primary access to the upper/main level of the residence.
5. The window additions at the upper floor living area as well as along the west elevation will enhance both elevations and the overall character of the residence and in turn the neighborhood.

We hope that you will take the benefits listed above into consideration for the approval of the modification items we are requesting. Please feel free to contact us with any questions about the project.

Sincerely,

Jim Davis Architect

CONCEPT REVIEW - NEW ITEM: PUBLIC HEARING**RECEIVED**

JUL 3 2015

E-1 Zone

CITY OF SANTA BARBARA
PLANNING DIVISION**3. 611 HOLMCREST RD****(4:00)**

Assessor's Parcel Number: 019-331-012
 Application Number: MST2015-00305
 Owner: Brett Slatkin
 Agent: Wade Davis Design

(Proposal to enclose a covered deck at the lower floor to become 47 square feet of habitable area and to enclose a portion of a covered deck on the upper floor to become 27 square feet of habitable area. The project includes an 85 square foot upper floor addition. The additions and alterations will result in a total of 164 square feet of new additions to the existing 1,355 square foot, two-level residence with an attached one-car garage. The project also includes replacing an existing uncovered porch with a new 131 square foot porch, new lower and upper floor deck extensions of 109 and 167 square feet, respectively, and new windows. The proposed total of 1,235 square feet on a 5,629 square foot lot in the Hillside Design District is 70% of the required maximum floor-to-lot area ratio (FAR). This project includes Staff Hearing Officer review for additions and alterations in the front and interior setbacks.)

(Comments only; project requires Environmental Assessment and Staff Hearing Officer review for requested zoning modifications.)

Actual time: 3:54 p.m.

Present: Jim Davis, Architect.

Public comment opened at 4:03 p.m.

- 1) Jim Glass, neighbor at 237 Las Alturas Road, expressed concerns regarding the impact of the project to his ocean view and the illumination from the proposed skylights.

A letter of expressed concerns from Jim and Claudia Glass were acknowledged.

Public comment closed at 4:06 p.m.

Motion: Continued indefinitely to Staff Hearing Officer to return to Full Board with comments:

- 1) The Board finds that the proposed materials are an improvement to the existing property.
- 2) Provide samples of the standing seam PVC roof.
- 3) Provide a partial landscape plan to soften the south side of the deck and the lower south side of the house, and provide a way to update and balance the north side planter area.
- 4) Provide an exterior lighting plan.
- 5) The three requested modifications are acceptable in relation to the size, bulk and scale of the building.

Action: Pierce/Miller, 7/0/0. Motion carried.