



# City of Santa Barbara California

## PLANNING COMMISSION STAFF REPORT

**REPORT DATE:** August 2, 2012  
**AGENDA DATE:** August 9, 2012  
**PROJECT ADDRESS:** 909 Calle Cortita (MST2011-00353)

**TO:** Planning Commission  
**FROM:** Planning Division, (805) 564-5470  
 Danny Kato, Senior Planner *AKD for DYK*  
 Michelle Bedard, Planning Technician II *MB*

### I. PROJECT DESCRIPTION

The project consists of 999 square feet of one- and two-story additions to an existing 2,080 square foot two-story single-family residence with an attached 418 square foot two-car garage. The project site is located on a 9,727 square foot lot in the Hillside Design District and has an average slope of 33%. A total of 290 cubic yards of grading is proposed and will be balanced on site. This project will result in a three-story, 3,497 square foot single-family residence, and is 99% of the maximum floor-to-lot area ratio (FAR).

### II. REQUIRED APPLICATIONS

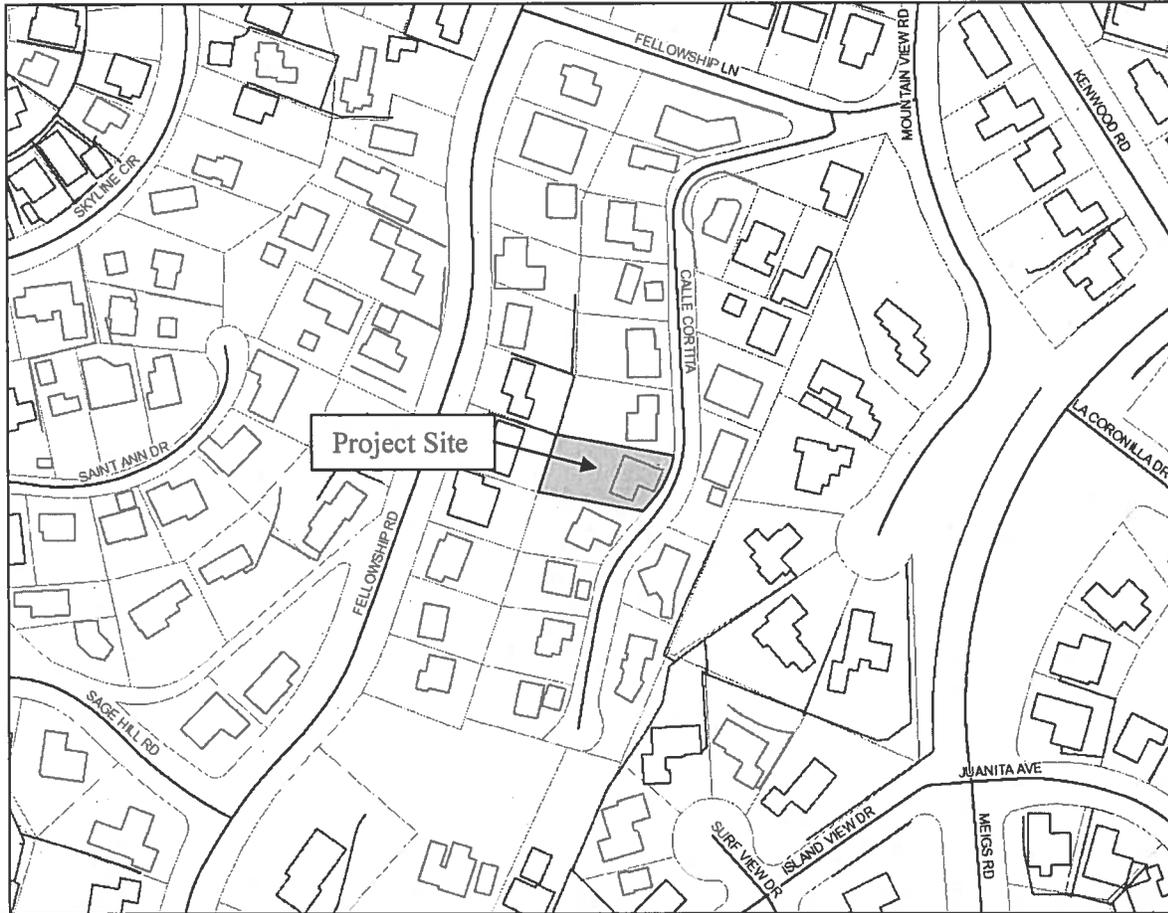
The discretionary application required for this project is a Modification to allow the net floor area of the proposed residence to exceed 85% of the maximum allowable net floor area on a lot or building site that has an average slope in excess of 30% and where the existing and proposed building height exceeds 25 feet (SBMC §28.92.110.A.6).

**APPLICATION DEEMED COMPLETE:** July 2, 2012

**DATE ACTION REQUIRED:** August 9, 2012

### III. RECOMMENDATION

Staff finds that the proposed FAR modification can be supported because the addition is consistent with the Single Family Residential Design Guidelines, and there is sufficient justification to make the required findings for the height and size of the proposed residence. Planning Staff recommends approval of the FAR modification to allow the proposed residence to exceed 85% of the maximum allowable net floor area for the lot, making the findings outlined in Section IX of this report, and subject to the conditions of approval in Exhibit A.



Vicinity Map for 909 Calle Cortita

#### IV. BACKGROUND

The initial project application, reviewed by the Single Family Design Board (SFDB) on December 5, 2011, conformed to the required maximum 85% floor-to-lot area ratio (FAR) threshold (SBMC §28.15.083.D.2). This proposal involved a 566 square foot addition to the existing lower level floor area (floor two). However, in order to accommodate such an addition, the proposal resulted in a 10-14 foot tall understory below the proposed new addition. At the initial review, the SFDB recommended utilizing the resulting new understory area as additional floor area and gave architectural guidance that would help finesse the architecture of the proposed new west elevation.

At the second concept review, on February 13, 2012, and based on the prior direction by the SFDB, the applicant presented a revised proposal to include the understory as a new ground-level third floor, resulting in a proposed total of 999 square feet of additions and 99% of the required maximum FAR. The project, as revised, requires approval of a floor area modification (refer to Section VI below) to allow the project to exceed the required maximum 85% FAR.

At the third concept review, on February 27, 2012, the applicant presented the revised application making architectural refinements to the proposed elevations. At this time the

project received unanimous support from the SFDB, who found the proposed design to be acceptable and consistent with the surrounding neighborhood in terms of mass, bulk and scale, and appropriate for the neighborhood given the physical conditions and constraints of the parcel.

**V. SITE INFORMATION AND PROJECT STATISTICS**

**A. SITE INFORMATION**

<b>Applicant/Owner:</b>	George and Deanna Gregg		
<b>Site Information</b>			
<b>Parcel Number:</b>	041-176-015	<b>Lot Area:</b>	9,727 gross s.f. / 9,375 net s.f.
<b>General Plan:</b>	Low-Density Residential (3 units/acre)	<b>Zoning:</b>	E-1, Single-Family Residential Zone
<b>Existing Use:</b>	Single-Family Residential	<b>Topography:</b>	33% average slope
<b>Adjacent Land Uses</b>			
	<b>North</b> - Single-Family Residential		<b>East</b> - Single-Family Residential
	<b>South</b> - Single-Family Residential		<b>West</b> - Single-Family Residential

**B. PROJECT STATISTICS**

	<b>Existing</b>	<b>Proposed</b>
<b>Living Area</b>	<b>2,080 s.f.</b>	<b>3,079 s.f.</b>
1 <sup>st</sup> level - street level	1,063 s.f.	1,063 s.f.
2 <sup>nd</sup> level - mid-floor	1,017 s.f.	1,536 s.f.
3 <sup>rd</sup> level - new grade level	N/A	480 s.f.
<b>Garage</b>	<b>418 s.f.</b>	<b>418 s.f.</b>
<b>Accessory Space</b>	<b>0</b>	<b>0</b>
<b>Total</b>	<b>2,498</b>	<b>3,497</b>
<b>FAR</b>	<b>0.27</b>	<b>0.37</b>

**VI. POLICY AND ZONING CONSISTENCY ANALYSIS**

**A. ZONING ORDINANCE CONSISTENCY**

Standard	Requirement/ Allowance	Existing		Proposed	
<b>Setbacks</b>					
-Front	30'	10'		No change	
-Interior (north)	10'	6'		No change	
-Interior (south)	10'	10'		No change	
-Rear	10'	85'		75'	
<b>Building Height</b>	30'	27'3"		29'	
<b>Parking</b>	2 covered	2 covered		2 covered	
<b>Open Yard</b>	1,250 s.f.	8,093 s.f.		7,549 s.f.	
<b>Maximum Net Floor Area (SBMC §28.15.083.C)</b>	85% of maximum	71% of maximum		99% of maximum*	
<b>Lot Coverage</b>					
-Building	N/A	1,465 s.f.	15%	2,008 s.f.	21%
-Paving/Driveway	N/A	170 s.f.	2%	170 s.f.	2%
-Landscaping	N/A	8,093 s.f.	83%	7,549 s.f.	78%

\*Modification requested

In 1972, the Planning Commission approved modifications to allow the residence to encroach into the required front and interior (north) setback. Additional zoning modifications were approved in 1995, by the Modification Hearing Officer, to allow alterations and additions to the residence.

The proposed project would meet the requirements of the E-1 zone related to building height, solar access, open yard and parking. The proposed addition would conform to the required setbacks.

With the approval of the FAR Modification described below, the project would meet the requirements of the Zoning Ordinance.

**FAR MODIFICATION**

As part of the Neighborhood Preservation Ordinance (NPO), Floor-to-Lot Area Ratio (FAR) regulations were established to regulate the size of homes in single-family zoned residential areas. The FAR regulations operate as zoning standards for the size of single-family homes on lots less than 15,000 square feet. The standards apply when the existing or proposed building height is either two or more stories or one-story with a building height of 17-feet or greater.

Restrictions in SBMC §22.15.083D, "Precluded Development," limit the size of two-story and tall one-story (17-feet or greater) development proposals if either of the following is true regarding the project:

- 1) The net floor area on the lot will exceed the maximum allowable net floor area (100%) for the lot, or

- 2) The net floor area on the lot will exceed 85% of the maximum net floor area of the lot and any of the following conditions apply to the lot:
  - a) The average slope of the lot or the building site is 30% or greater; or
  - b) The building height of any new or existing building or structure on the lot is in excess of 25 feet; or
  - c) The lot is located in the Hillside Design District and the application proposes 500 or more cubic yards of grading outside the footprint of the main building.

In summary, specific provisions were adopted that would mandate lower height development proposals when the 85% FAR threshold number is being exceeded. Applicants seeking developments that do not comply with the combined size, height, or grading limits must seek an FAR modification approval from the Planning Commission. The subject lot has an average slope of more than 30% and the building height exceeds 25 feet; therefore the property is subject to the 85% of the maximum net floor area limitation.

Given the lot size of 9,375 net square feet, the maximum FAR would be 0.37, which equates to a maximum floor area of 3,543 square feet; 85% of the maximum FAR equates to 3,012 square feet of floor area. The proposed project would result in a residence of 3,497 square feet of floor area, which represents 99% of the maximum FAR. Because the lot is subject to the additional standards identified above, a modification is required. In order to approve this type of FAR modification the Planning Commission must make the findings as outlined in Section IX below.

## **B. NEIGHBORHOOD COMPATIBILITY**

The existing 2,498 square foot residence is located on a 9,735 square foot parcel, with a 33% average slope, and has an existing maximum height of 27-feet, 3-inches. The maximum height of the proposed addition varies between 20-29 feet, depending at what point of grade the height is measured from. Due to the existing site topography, the height of the proposed new addition will be below the roof line of the existing residence.

The size and massing of the project are consistent with the surrounding neighborhood. The east side of the street consists primarily of publicly visible, large two-story homes. The west side of the street, on which the subject property is located, has a primarily one-story street presence with the two-story elements following the natural topography and therefore generally not visible from the street. The proposed addition will follow the downhill slope, and allow the existing one-story street presence to remain unaltered. Based on the FAR analysis of the 20-closets homes (Exhibit E), the proposed residence falls within a reasonable comparison of the surrounding residences and is exceeded by four homes when ranked by both lot size and FAR. Planning Staff is of the opinion that the size and height of the proposed addition will not contribute to any additional visual mass and is an appropriate addition for the existing single-family residence.

## **VII. DESIGN REVIEW**

The project was reviewed by the Single Family Design Board (SFDB) on three separate occasions (Exhibit D), as noted in Section IV above.

Although the initial project would have conformed to the required maximum 85% FAR threshold, the Board found that this proposal was not the best development solution for this project site. In order to achieve the desired addition at the existing bedroom level (floor two), given the existing development and site topography, and maintain the 85% FAR threshold, the proposal resulted in a 10-14 foot tall understory of unusable area. The Board found that this understory area lacked architectural interest and that infilling the understory would allow an opportunity for architectural embellishments that would enhance the overall architectural style.

As discussed in Section IV above, the applicant revised the project based on the Board's direction and incorporated the resulting 480 square feet of understory as a new ground level addition. This alteration allowed for the architectural enhancements to the proposed elevations to provide a design that would soften the mass and integrate into the existing architectural style.

Based on the design alterations and the existing site topography, the Board found the proposed design to be an appropriate addition for the site and voted unanimously to support the project, understanding that the project would exceed the maximum 85% FAR and require a zoning modification.

#### **VIII. ENVIRONMENTAL REVIEW**

The Environmental Analyst has determined that the project is exempt from further environmental review pursuant to the California Environmental Quality Guidelines Section 15301 (Existing Facilities).

#### **IX. FINDINGS**

The Planning Commission finds the following:

##### **FAR MODIFICATION FINDINGS (SBMC §28.92.110.A.6)**

1. Not less than five (5) members of the Single Family Design Board have voted in support of the modification following a concept review of the project.

*On February 27, 2012, the Single Family Design Board voted 6-0 to support the FAR modification.*

2. The subject lot has a physical condition (such as location, surroundings, topography, or the size of the lot relative to other lots in the neighborhood) that does not generally exist in other lots in the neighborhood.

*The subject parcel and the surrounding neighborhood are within the E-1 single-family residential zone, and located within the Hillside Design District with average slopes of greater than 30%. The current requirement for E-1 zoned parcels is a minimum 15,000 square foot lot, and lots with a slope over 30% require a minimum of 45,000 square feet; however, this parcel has a gross lot area of 9,727 square feet. For the purposes of the FAR calculation, the net lot area is used. Therefore, in this case the public right-of-way easement is deducted from the gross lot area, which results in a further reduced apparent lot area and therefore a slightly greater FAR. In this instance, the proposed development would not exceed the 100% FAR ordinance requirement, which would allow for a maximum house size of 3,554 square feet. Although the building height*

*exceeds 25-feet, when viewed from east (street view from Calle Cortita) the residence appears as one-story, and when viewed from the west the proposed addition will be screened from public view by the existing trees and site vegetation.*

3. The physical condition of the lot allow for the project to be compatible with existing development within the neighborhood that complies with the net floor area standard.

*As described in Section V of the Staff Report, the project is consistent with the General Plan and, with the prior approved modifications, is consistent with the Zoning Ordinance setbacks and maintains the single-family residential density of the neighborhood. The project is consistent with the Single Family Residential Design Guidelines because it follows the natural topography of the site with only minimal site grading to occur under the proposed building footprint. The proposed development will not contribute to any additional visual mass and remains consistent with the one-story street presence similar to adjacent homes. Additionally the existing mature trees and vegetation will remain to provide vegetative screening from adjacent properties.*

Exhibits:

- A. Conditions of Approval
- B. Reduced Site Plan and elevations
- C. Applicant's letter, dated June 5, 2012
- D. Single Family Design Board Minutes
- E. Applicant's 20 Closest Home FAR Analysis
- F. FAR Calculator
- G. Photograph

**PLANNING COMMISSION CONDITIONS OF APPROVAL**

909 CALLE CORTITA (MST2011-00353)  
FAR MODIFICATION  
AUGUST 9, 2012

- I. In consideration of the project approval granted by the Planning Commission and for the benefit of the owners and occupants of the Real Property, the owners and occupants of adjacent real property and the public generally, the following terms and conditions are imposed on the use, possession, and enjoyment of the Real Property:
- A. **Order of Development.** In order to accomplish the proposed development, the following steps shall occur in the order identified:
1. Obtain all required design review approvals.
  2. Submit an application for and obtain a Building Permit (BLD) for construction of approved development.
- B. **Recorded Conditions Agreement.** The Owner shall execute a *written instrument*, which shall be prepared by Planning staff, reviewed as to form and content by the City Attorney, Community Development Director and Public Works Director, recorded in the Office of the County Recorder, and shall include the following:
1. **Approved Development.** The development of the Real Property approved by the Planning Commission on August 9, 2012, is limited to approximately 1,000 square feet of additional building area to the existing 2,080 square foot single-family dwelling located on a 9,727 square foot lot, resulting in a three-story, 3,497 square foot, single-family residence, and the improvements shown on the plans signed by the chairman of the Planning Commission on said date and on file at the City of Santa Barbara.
  2. **Recreational Vehicle Storage Prohibition.** No recreational vehicles, boats, or trailers shall be stored on the Real Property unless enclosed or concealed from view as approved by the Single Family Design Board (SFDB).
  3. **Landscape Plan Compliance.** The Owner shall comply with the Landscape Plan approved by the SFDB. Such plan shall not be modified unless prior written approval is obtained from the SFDB. The landscaping on the Real Property shall be provided and maintained in accordance with said landscape plan, including any tree protection measures. If said landscaping is removed for any reason without approval by the SFDB, the owner is responsible for its immediate replacement.
  4. **Storm Water Pollution Control and Drainage Systems Maintenance.** Owner shall maintain the drainage system and storm water pollution control devices intended to intercept siltation and other potential pollutants (including but not limited to, hydrocarbons, fecal bacteria, herbicides, fertilizers, etc) in a functioning state (and in accordance with the Operations and Maintenance Procedure Plan approved by the Building Official). Should any of the project's surface or subsurface drainage structures or storm water pollution control methods fail to capture, infiltrate, and/or treat water, or result in increased erosion, the Owner shall

be responsible for any necessary repairs to the system and restoration of the eroded area. Should repairs or restoration become necessary, prior to the commencement of such repair or restoration work, the applicant shall submit a repair and restoration plan to the Community Development Director to determine if an amendment or a new Building Permit is required to authorize such work. The Owner is responsible for the adequacy of any project-related drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health, or damage to the Real Property or any adjoining property.

C. **Design Review.** The project, including public improvements, is subject to the review and approval of the Single Family Design Board (SFDB). The SFDB shall not grant project design approval until the following Planning Commission land use conditions have been satisfied.

1. **Tree Protection Measures.** The landscape plan and grading plan shall include the following tree protection measures:

a. **Tree Protection.** All trees not indicated for removal on the approved site plan / landscape plan shall be preserved, protected, and maintained, in accordance with any related Conditions of Approval. Specifically the two (2) Monterey Pine trees, and one (1) Cypress tree along the western property line, and the six (6) Coast Live Oak trees along the northern property line, shall be protected.

b. **Landscaping Under Trees.** Landscaping under the trees shall be compatible with the preservation of the trees, as determined by the SFDB.

c. **Oak Trees.** The following additional provisions shall apply to existing oak trees on site:

(1) No irrigation system shall be installed within three feet of the dripline of any oak tree.

(2) Oak trees greater than four inches (4") in diameter at four feet (4') above grade removed as a result of the project shall be replaced at a five to one (5:1) ratio, at a minimum five (5) gallon size, from South Coastal Santa Barbara County Stock.

(3) The use of herbicides or fertilizer shall be prohibited within the drip line of any oak tree.

(4) No storage of heavy equipment or materials, or parking shall take place within five (5) feet of the dripline of any oak tree.

D. **Requirements Prior to Permit Issuance.** The Owner shall submit the following, or evidence of completion of the following, for review and approval by the Department listed below prior to the issuance of any permit for the project. Please note that these conditions are in addition to the standard submittal requirements for each department.

1. **Public Works Department:**

a. **Drainage and Water Quality.** The project is required to comply with Tier 3 of the Storm Water Management Plan for treatment, rate and volume. The Owner shall submit drainage calculations and/or worksheets from the Storm Water BMP Guidance Manual for Post Construction Practices,

prepared by a registered civil engineer or licensed architect demonstrating that the new development will comply with the City's Storm Water Management Plan. Project plans for grading, drainage, storm water facilities and treatment methods, and project development, shall be subject to review and approval by the City Building Division and Public Works Department. Sufficient engineered design and adequate measures shall be employed to ensure that no significant construction-related or long-term effects from increased runoff, erosion and sedimentation, urban water pollutants (including, but not limited to trash, hydrocarbons, fertilizers, bacteria, etc.), or groundwater pollutants would result from the project.

2. **Community Development Department:**

- a. **Recordation of Agreements.** The Owner shall provide evidence of recordation of the written instrument that includes all of the Recorded Conditions identified in condition B "Recorded Conditions Agreement" to the Community Development Department prior to issuance of any building permits.
- b. **Design Review Requirements.** Plans shall show all design, landscape and tree protection elements, as approved by the appropriate design review board and as outlined in Section C "Design Review," and all elements/specifications shall be implemented on-site.
- c. **Conditions on Plans/Signatures.** The final Resolution shall be provided on a full size drawing sheet as part of the drawing sets. A statement shall also be placed on the sheet as follows: The undersigned have read and understand the required conditions, and agree to abide by any and all conditions which are their usual and customary responsibility to perform, and which are within their authority to perform.

Signed:

		Date
Contractor	Date	License No.
Architect	Date	License No.
Engineer	Date	License No.

E. **Prior to Certificate of Occupancy.** Prior to issuance of the Certificate of Occupancy, the Owner of the Real Property shall complete the following:

- 1. **Repair Damaged Public Improvements.** Repair any public improvements (curbs, gutters, sidewalks, roadways, etc.) or property damaged by construction subject to the review and approval of the Public Works Department per SBMC §22.60. Where tree roots are the cause of the damage, the roots shall be pruned under the direction of a qualified arborist.

F. **General Conditions.**

1. **Prior Conditions.** These conditions are in addition to the conditions identified in the 1972 Planning Commission approval and the 1995 Modification Hearing Officer approval.
2. **Compliance with Requirements.** All requirements of the city of Santa Barbara and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met. This includes, but is not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.), the 1979 Air Quality Attainment Plan, and the California Code of Regulations.
3. **Approval Limitations.**
  - a. The conditions of this approval supersede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.
  - b. All buildings, roadways, parking areas and other features shall be located substantially as shown on the plans approved by the Planning Commission.
  - c. Any deviations from the project description, approved plans or conditions must be reviewed and approved by the City, in accordance with the Planning Commission Guidelines. Deviations may require changes to the permit and/or further environmental review. Deviations without the above-described approval will constitute a violation of permit approval.

II. **NOTICE OF MODIFICATION APPROVAL TIME LIMITS:**

The Planning Commission action approving the Modification shall terminate two (2) years from the date of the approval, per Santa Barbara Municipal Code §28.87.360, unless:

1. An extension is granted by the Community Development Director prior to the expiration of the approval; or
2. A Building permit for the use authorized by the approval is issued and the construction authorized by the permit is being diligently pursued to completion and issuance of a Certificate of Occupancy.

# GREGG RESIDENCE

**F.A.R. Calculator**

Item	Value	Notes
1. Gross Area of Lot	13,000 SF	
2. Area of Existing Buildings	2,000 SF	
3. Area of Proposed Buildings	10,000 SF	
4. Total Building Area	12,000 SF	
5. Maximum Allowable Building Area (MABA)	12,000 SF	
6. Remaining Building Area	0 SF	
7. Floor Area Ratio (FAR)	0.92	
8. Maximum Allowable FAR	0.92	
9. Compliance	Yes	

**RECEIVED**  
 JUL 23 2012  
 CITY OF SANTA BARBARA  
 PLANNING DIVISION

**PROJECT DESCRIPTION**  
 ATTACHED EXPANSION OF EXISTING HOME. ADDITION TO INCLUDE: AN OUTDOOR DECK, AND A BEDROOM, SITTING ROOM, BATH, AND LAUNDRY ROOM, AND AN OUTDOOR WORKOUT ROOM, GYMNASIUM, AND AN OUTDOOR LOWER LEVEL.

**PROJECT DATA**  
 997 CALLE CORTITA  
 SANTA BARBARA, CA 93109  
 GEORGE & DEANNA GREGG

**PROPERTY OWNERS**  
 A.P.N. 041-176-15-03  
 E-1

**GENERAL PLAN NEIGHBORHOOD**  
 ALTA MESA HILLSIDE DESIGN DISTRICT

**GROSS LOT SIZE:** 9727 SF  
**NET LOT SIZE:** 9153 SF  
**USE:** SINGLE FAMILY RESIDENCE  
**AVERAGE SLOPE:** 31%

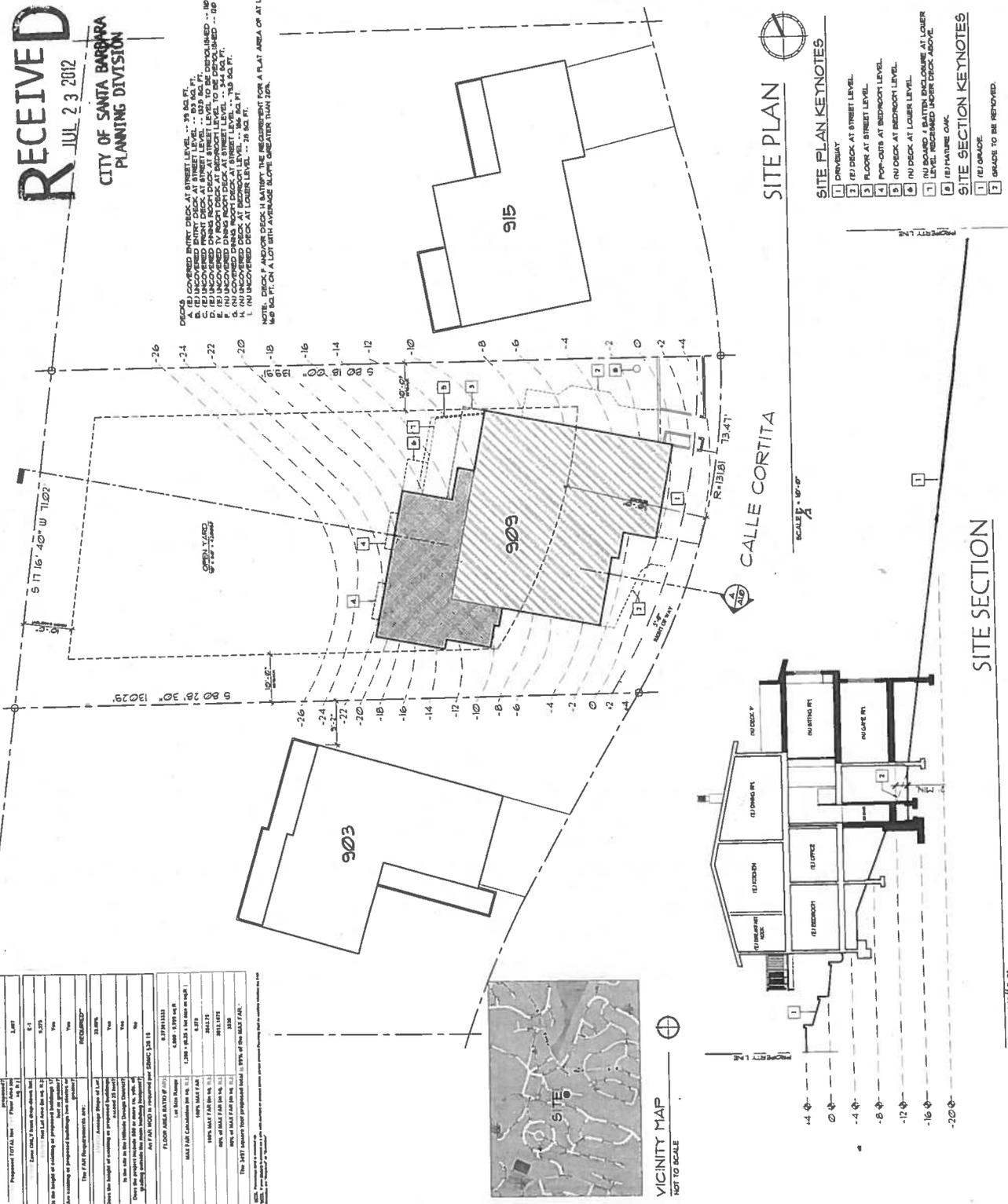
**BUILDING HEIGHT:** 30'-0"  
**MAXIMUM ALLOWED (ORDNANCE):** 37'-3"  
**PROPOSED:** 21'-3"  
**MAXIMUM HEIGHT OF PROPOSED ADDITION:** 20'-0"

**FLOOR AREA:** NET 2060 SF  
 GROSS 2115 SF  
 GARAGE 443 SF  
 NEW ADDITION 1970 SF  
**TOTAL:** 3970 SF

**LOT COVERAGE:** EXISTING 13.5%  
 PROPOSED 23.2%  
**TOTAL LOT AREA:** 9221 SF 100%

- A. (R) UNCOVERED DECK AT STREET LEVEL -- 14.50 SQ. FT.
- B. (R) UNCOVERED DECK AT STREET LEVEL -- 83.50 SQ. FT.
- C. (R) UNCOVERED DECK AT STREET LEVEL TO BE DELETED -- 16.50 SQ. FT.
- D. (R) UNCOVERED TV ROOM DECK AT BEDROOM LEVEL TO BE DELETED -- 16.50 SQ. FT.
- E. (R) UNCOVERED DECK AT BEDROOM LEVEL -- 78.50 SQ. FT.
- F. (R) UNCOVERED DECK AT BEDROOM LEVEL -- 78.50 SQ. FT.
- G. (R) UNCOVERED DECK AT BEDROOM LEVEL -- 78.50 SQ. FT.
- H. (R) UNCOVERED DECK AT BEDROOM LEVEL -- 78.50 SQ. FT.
- I. (R) UNCOVERED DECK AT BEDROOM LEVEL -- 78.50 SQ. FT.
- J. (R) UNCOVERED DECK AT BEDROOM LEVEL -- 78.50 SQ. FT.

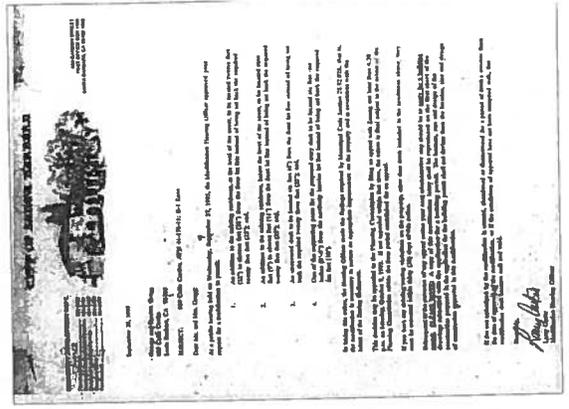
NOTE: THE PROPOSED DECK IS A MINIMUM 10' CLEARANCE FROM A PLANT AREA OF AT LEAST 10' TO BE IN COMPLIANCE WITH THE REQUIREMENT FOR A PLANT AREA OF AT LEAST 10' PER LOT WITH AN AVERAGE BLOOMING GREATER THAN 20%.



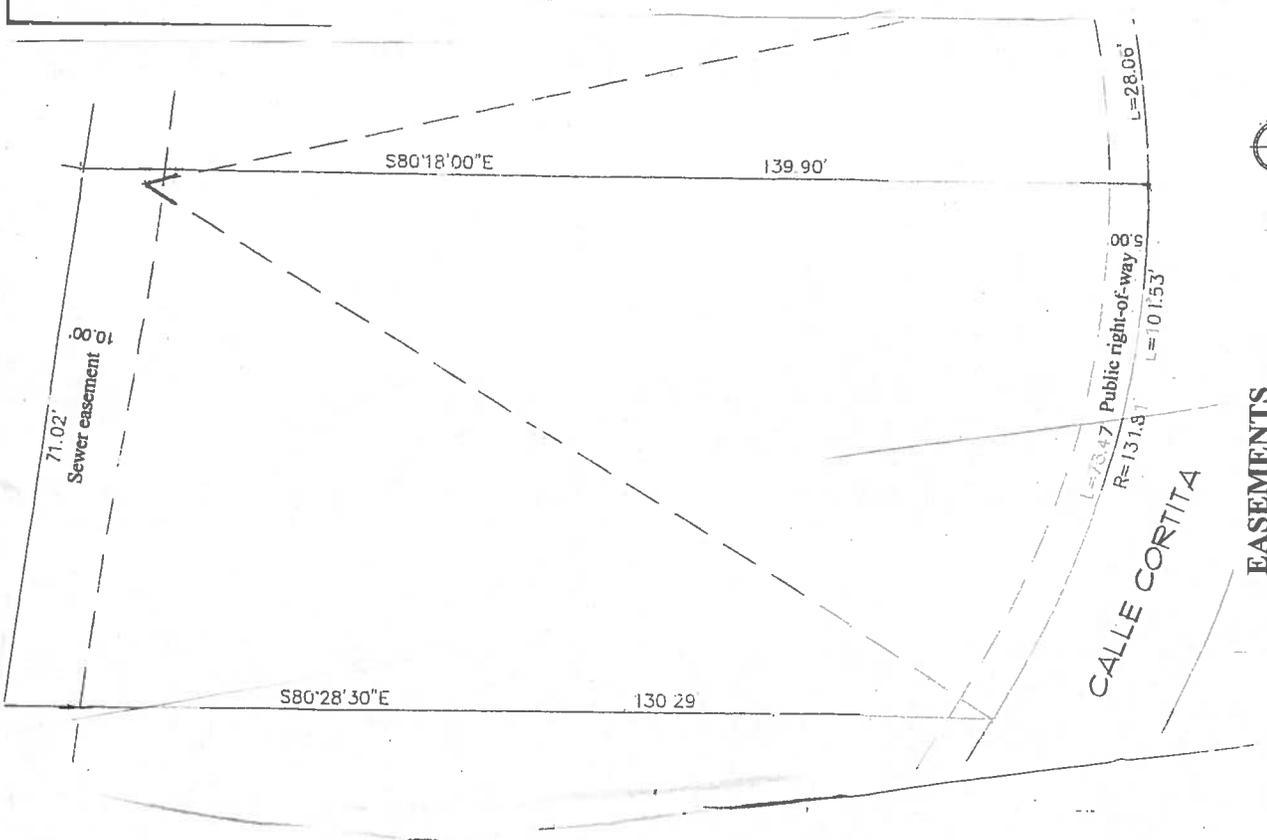
**SITE PLAN**  
 SCALE: 1/8" = 1'-0"

- SITE PLAN KEYNOTES**
1. DRIVEWAY
  2. (R) DECK AT STREET LEVEL
  3. FLOOR AT STREET LEVEL
  4. POOP-OUTS AT BEDROOM LEVEL
  5. (R) DECK AT BEDROOM LEVEL
  6. (R) DECK AT LOWER LEVEL
  7. (R) UNCOVERED DECK ABOVE
  8. (R) UNCOVERED DECK ABOVE
  9. (R) UNCOVERED DECK ABOVE
  10. (R) UNCOVERED DECK ABOVE
  11. (R) UNCOVERED DECK ABOVE
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  18. (R) UNCOVERED DECK ABOVE
  19. (R) UNCOVERED DECK ABOVE
  20. (R) UNCOVERED DECK ABOVE

**SITE SECTION**  
 SCALE: 1/8" = 1'-0"



# GREGG RESIDENCE



11350  
 EASEMENT  
 (FROM ROAD)

THE UNDERSIGNED, REGISTRAR OF DEEDS, COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, do hereby certify that the foregoing is a true and correct copy of the original as recorded in the office of the Registrar of Deeds, County of Santa Barbara, State of California, on the 11th day of August, 1959.

11350  
 REGISTRAR OF DEEDS  
 COUNTY OF SANTA BARBARA, CALIFORNIA

11350  
 EASEMENT  
 (FROM ROAD)

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 EASEMENT  
 (FROM ROAD)

THE UNDERSIGNED, REGISTRAR OF DEEDS, COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, do hereby certify that the foregoing is a true and correct copy of the original as recorded in the office of the Registrar of Deeds, County of Santa Barbara, State of California, on the 11th day of August, 1959.

11350  
 REGISTRAR OF DEEDS  
 COUNTY OF SANTA BARBARA, CALIFORNIA

11350  
 EASEMENT  
 (FROM ROAD)

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11350  
 REGISTRAR OF DEEDS  
 COUNTY OF SANTA BARBARA, CALIFORNIA



Scale 1/8" = 1' Horizontal  
 GREGG RESIDENCE: 909 CALLE CORTITA, SANTA BARBARA, CA 95509

## EASEMENTS

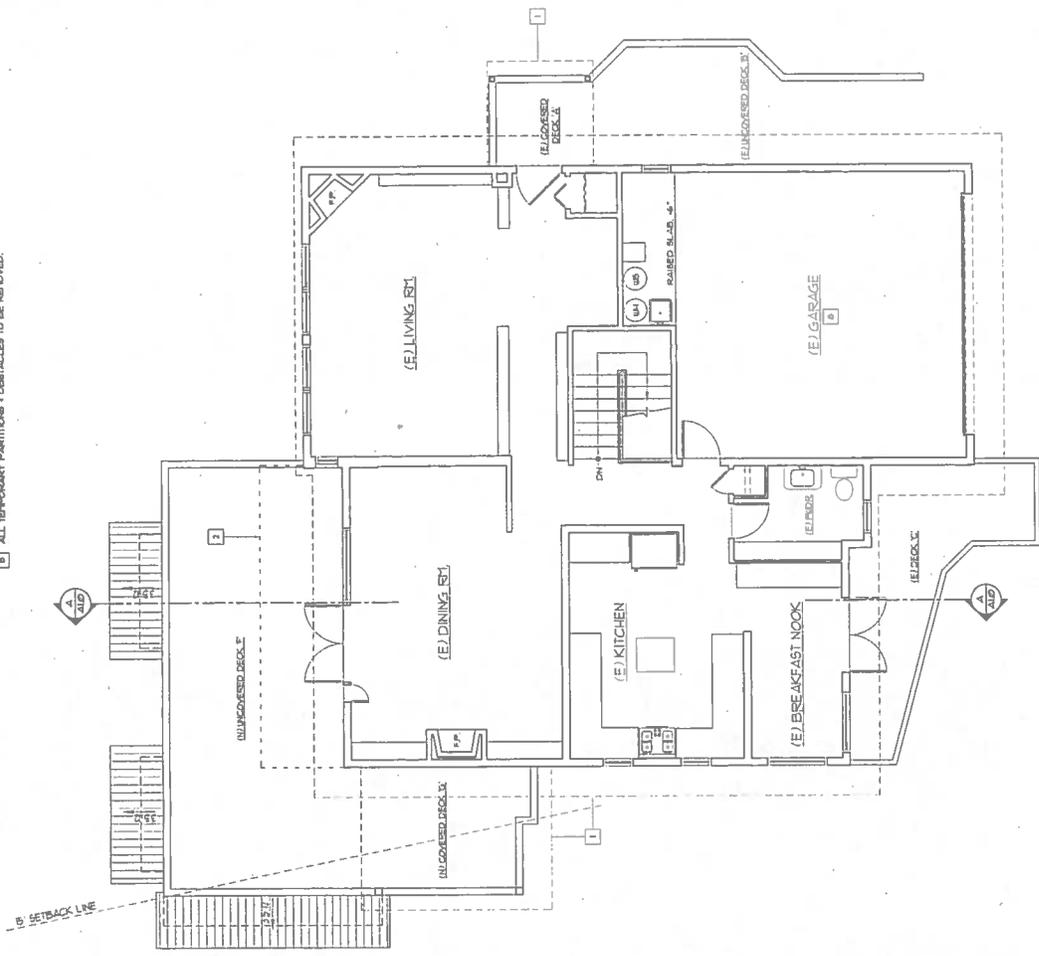
**FLOOR PLAN KEYNOTES**

- 1 ROOF LINE ABOVE
- 2 (E) DECK 'D' TO BE REMOVED.
- 3 (E) DECK 'E' TO BE REMOVED.
- 4 (E) WALL TO BE REMOVED.
- 5 TV WALL WITH 37" HIGH CORNER CABINET BELOW SEE OWNERS FOR DETAILS.
- 6 ANGLED STEPS, 13" RISE & 4" RUN, THREAD @ THE NARROW END & 18" RUN, THREAD @ FRONT THE NARROW END.
- 7 ALL TEMPORARY PARTITIONS & OBSTACLES TO BE REMOVED.

- 1 LINE OF FLOOR ABOVE
- 2 R/W/P
- 3 BOARD & BATTEN ENCLOSURE UNDER DECK 'H'.

**WALL LEGEND**

- (E) WALL
- (N) 2x4 PRATED WALL
- (N) 2x4 PRATED WALL

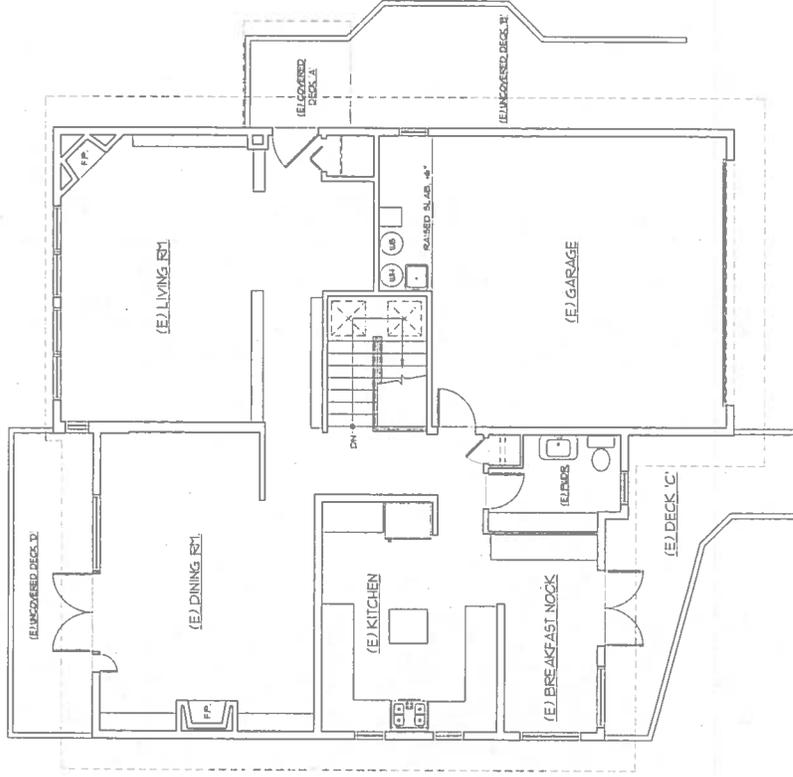


**STREET LEVEL FLOOR PLAN**



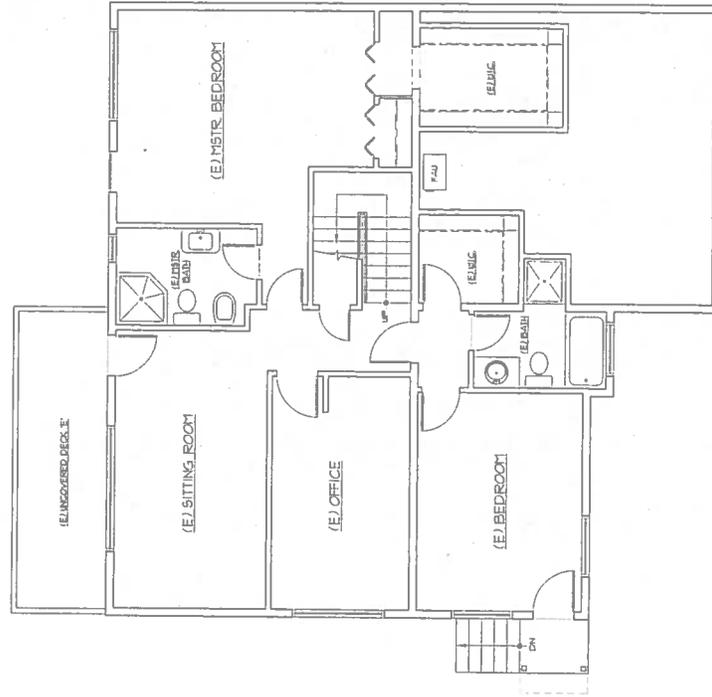
SCALE 1/8" = 1'-0"





EXISTING STREET LEVEL FLOOR PLAN

SCALE 1/8" = 1'-0"

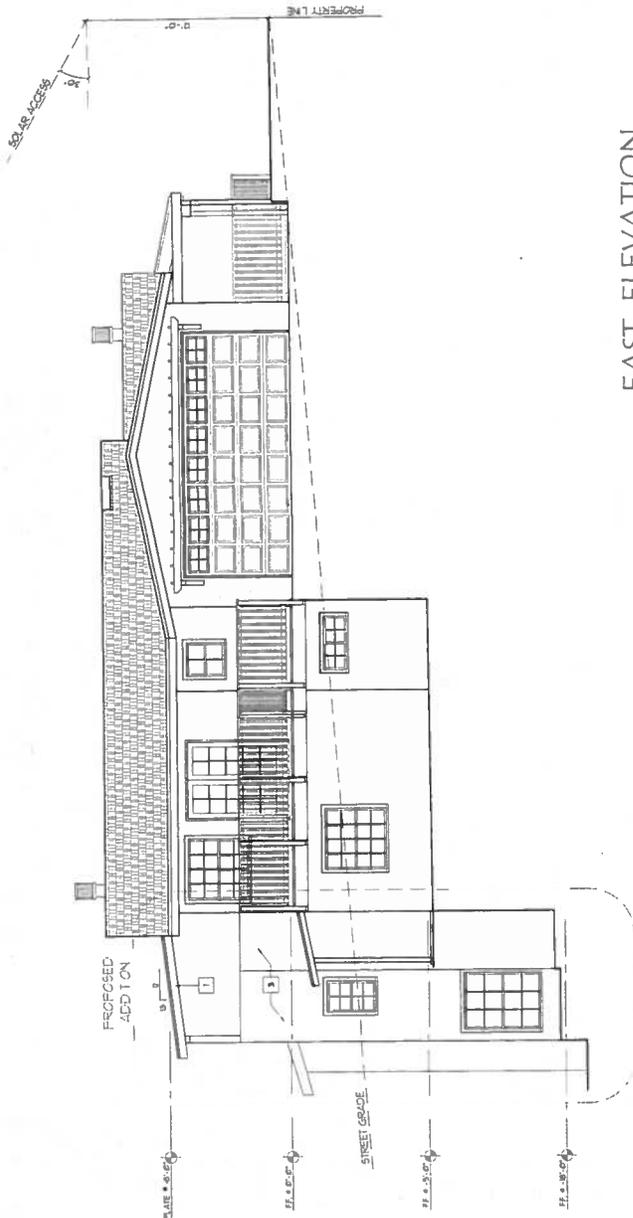


EXISTING BEDROOM LEVEL FLOOR PLAN

SCALE 1/8" = 1'-0"

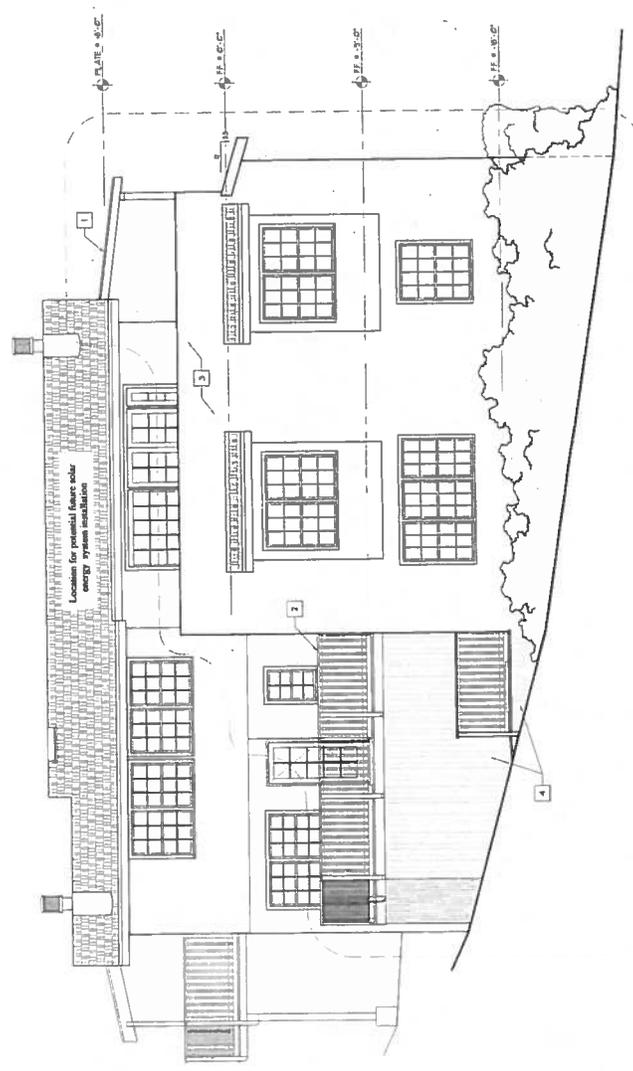






EAST ELEVATION

SCALE 1/8" = 1'-0"



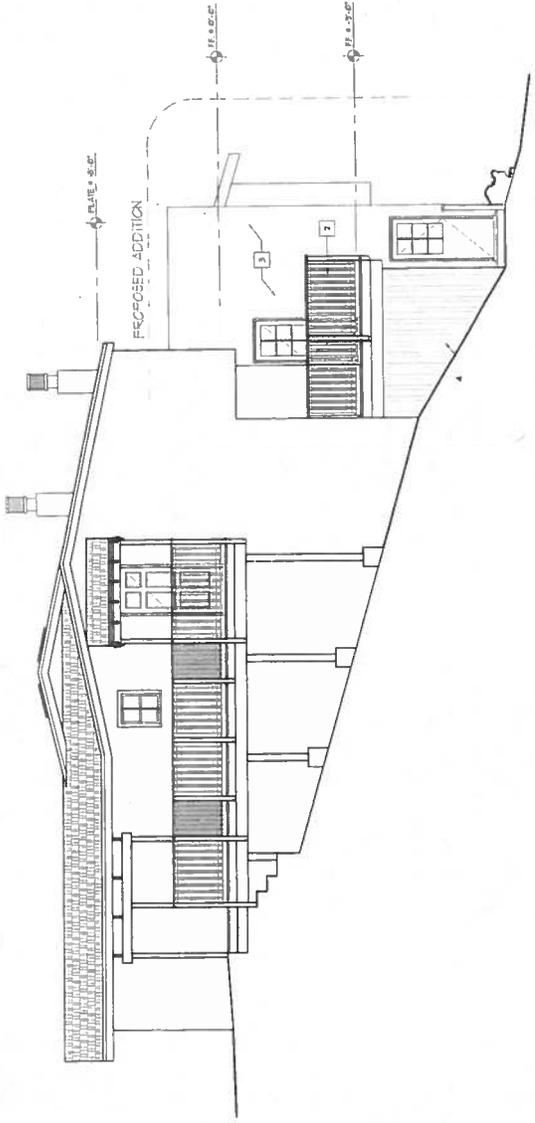
WEST ELEVATION

PROPOSED ADDITION

SCALE 1/8" = 1'-0"

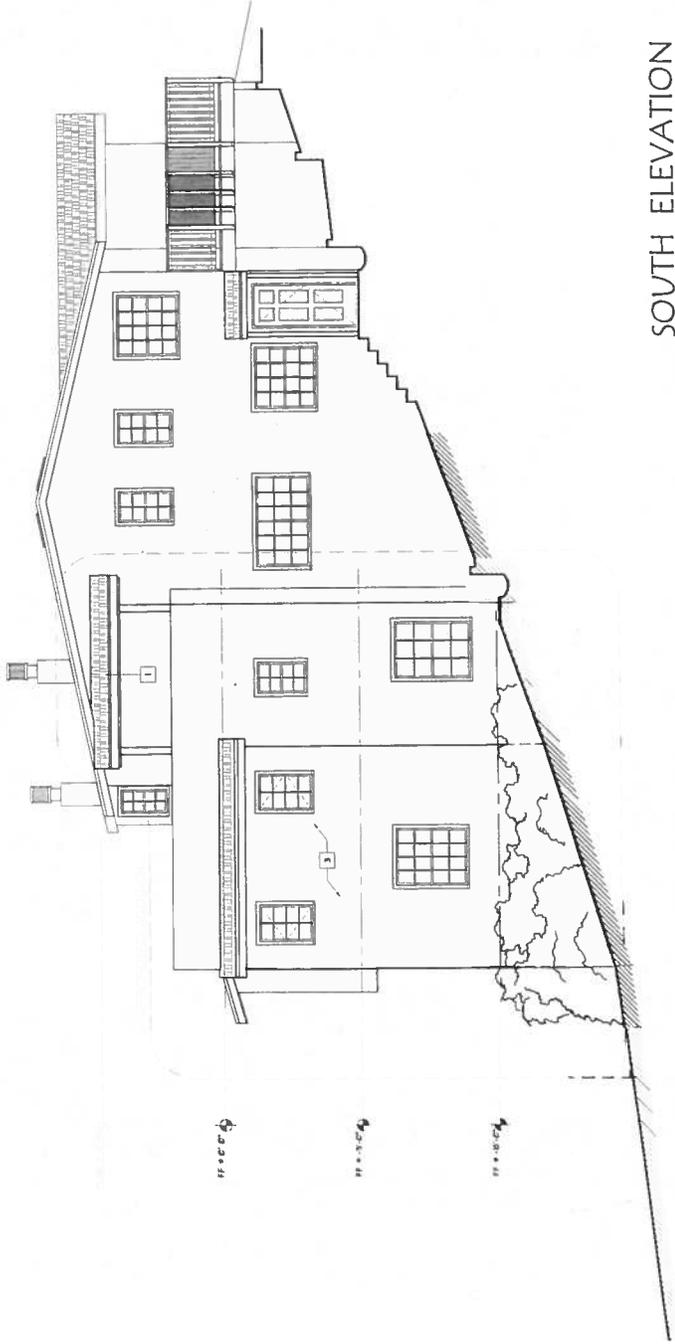
ELEVATION KEYNOTES

- 1 RO APPLIED SINGLE ROOF CERTAINTED DRAPING GARWOOD COLOR TO MATCH EXISTING
- 2 RO DECK GUARDRAIL MATCH EXISTING
- 3 BRICK STUCCO FINISH MATCH EXISTING
- 4 BOARD & BATTEN FINISH



NORTH ELEVATION

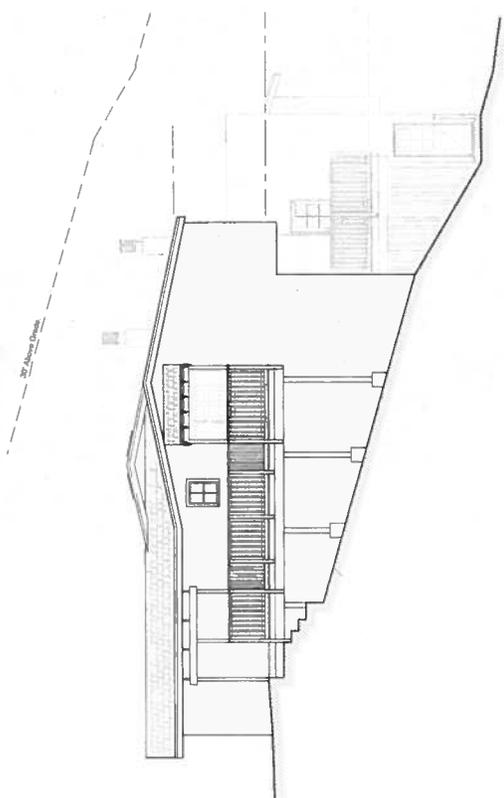
SCALE 1/8" = 1'-0"



SOUTH ELEVATION

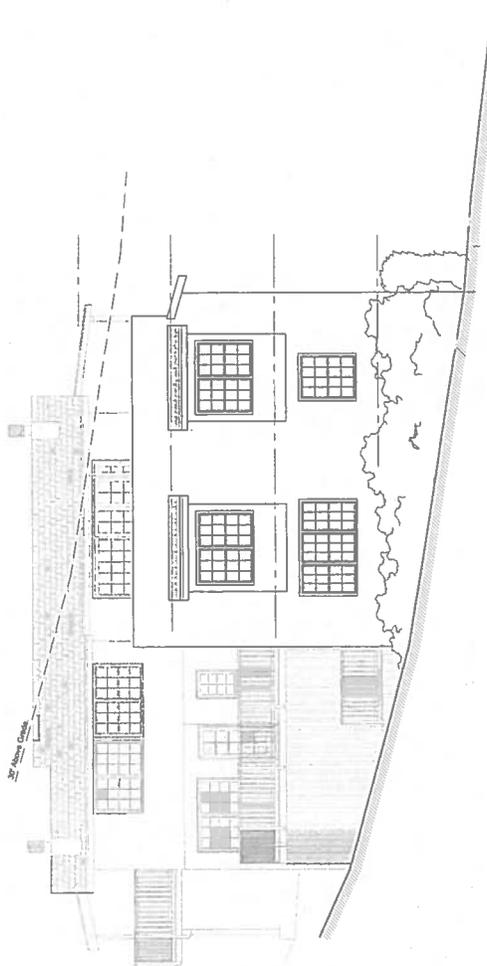
ELEVATION KEYNOTES

- 1. UNPAINTED SINGLE ROOF CERTAINTED BRAND GUMBOOD COLOR MATCH EXTERIOR
- 2. RU BRICK CLAUSTRAL MATCH EXTERIOR
- 3. BROWN STUCCO FINISH MATCH EXTERIOR
- 4. BOARD & BATTEN FINISH



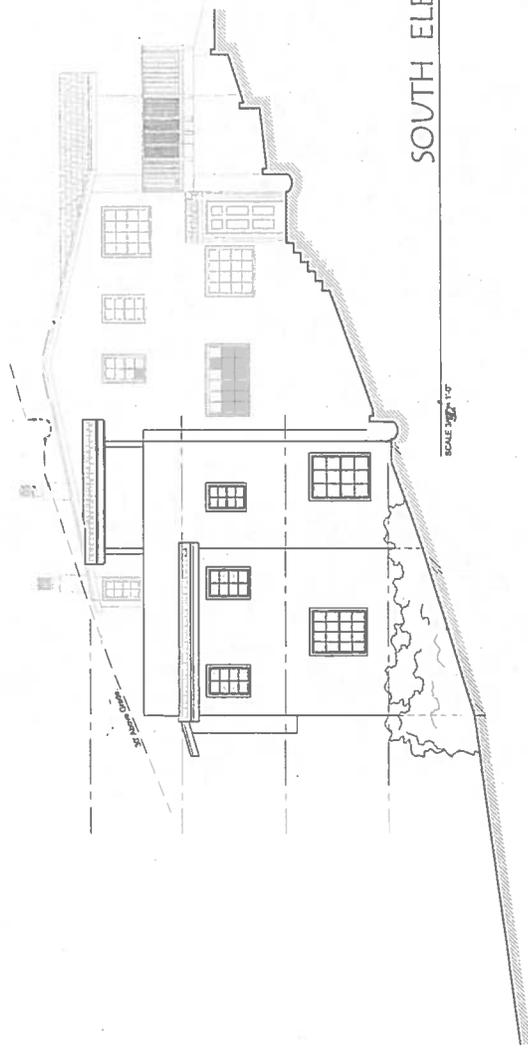
NORTH ELEVATION

SCALE 3/8" = 1'-0"



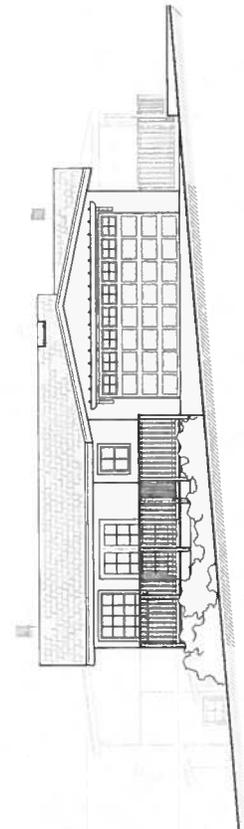
WEST ELEVATION

SCALE 3/8" = 1'-0"



SOUTH ELEVATION

SCALE 3/8" = 1'-0"



EAST ELEVATION

SCALE 3/8" = 1'-0"

TRILEY VIEW





June 5, 2012

To: The Santa Barbara Planning Commission  
From: George and Deanna Gregg  
909 Calle Cortita

We are requesting approval of an FAR modification for our project to add a third bedroom to our modest two-bedroom house. We purchased our house as a fixer-upper in 1991. It needed lots of work, which we have been doing steadily over the years as we could afford it. Our efforts have been complicated by the fact that our house is on a challenging steep lot, but we have succeeded in upgrading and improving most of the house. Only the west elevation remains in its original condition. This is the opposite side of the house from the street. We wish to improve the west elevation by adding a small bedroom and bathroom to replace a deck that dates from the original 1973 construction and is quite rotten, and we also wish to fit in a small laundry room. This addition will also strengthen our house by buttressing the long west wall which was built with a foundation that is barely adequate and is vulnerable in case of earthquake.

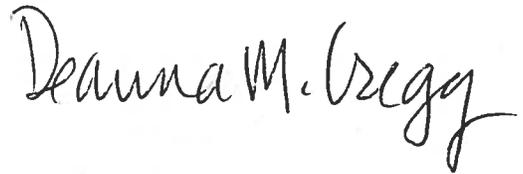
We developed a plan for this addition which put the house at 85% of maximum FAR. When we presented this plan to the Single Family Design Board (on Dec. 5, 2011), the Board found that the aesthetics of the west elevation would be greatly improved by making use of what would otherwise be an under-floor crawl space between 10 and 14 feet in height. The Board suggested that we redesign the addition to make use of this space by putting in a floor, adding windows, and turning this under-floor area into a new lower level of habitable space. The Board indicated that they would approve the resulting increase in FAR because of the special circumstances and the challenges of the topology of our lot. The Board noted that using this space will leave the footprint unchanged but will serve to improve the appearance of our proposed addition.

We followed the recommendation of the Board by redesigning the project to include the lower level as habitable space (specifically, a workout room plus a play room for our grandchildren when they visit), and we returned for a further concept review with these new plans. The members of the Board responded favorably to these new plans at their meeting on Feb. 27, 2012. However, it turns out that the Single Family Design Board cannot by themselves approve the resultant increase in FAR for our property because of clause 28.15.083-D in the Municipal Code that specifies that if any part of the existing or proposed building is in excess of 25 feet above grade, then an FAR modification from the Planning Commission is required for proposed projects between 85% and 100% of maximum FAR. Unfortunately, because of the topology of our lot, the peak of our existing roof is a bit more than 27 feet above grade, so we must request an FAR modification from the Planning Commission. The Single Family Review Board voted unanimously at their meeting on Feb. 27, 2012, to support our application for an FAR modification.

The appearance of our house after completion of the addition will be similar in mass to the majority of our neighbors, but the addition will be essentially invisible because it is completely screened by trees. Our proposal is entirely compatible with the evolving character of our neighborhood, where a number of houses on our street have been extensively remodeled and expanded in the past few years, including the house directly across the street from us and the house next to it, which are at 95% and 83% of maximum FAR respectively.

We respectfully request the Planning Commission to give favorable consideration to our request for an FAR modification.

Thank you.



George and Deanna Gregg

## **Addendum A**

Supplemental information keyed to the submittal requirements document:

- 1) The use of the structure is our single family residence.
- 2) The existing house is 2498 net square feet (including the attached garage). The proposed addition will add 999 net square feet for a total of 3497 net square feet, which is 99% of maximum FAR.
- 3) There will be no demolition of any structures.
- 4) The size of the lot is 9727 gross square feet, which reduces to 9375 net square feet after subtracting the 5' public right of way easement across the front of the property (see attached Addendum C for net lot size calculations).
- 5) No trees nor any significant vegetation will be removed.
- 6) An updated drainage plan is included with the submitted plans.
- 7) An updated landscape plan is included. Off- street parking for two vehicles is provided by our existing garage.
- 8) Grading of approximately 290 cubic feet will be accommodated on site.
- 9) Zoning is E-1 for hundreds of yards in every direction.
- 10) The project does not include added exterior lighting, will not involve the creation of smoke or odors, and will not create new noise sources. No geotechnical studies have been needed for this project, nor have any resource or constraint studies. There are no existing or proposed recreational trails or easements traversing the project site, and there are no nearby creeks or water courses. Sewer services and the household water supply are provided by the City of Santa Barbara.
- 11) The duration of construction activity is expected to be between three and five months, with no more than five or six workers at a time on the construction site. The only significant equipment will be a small excavator for digging the foundation at the beginning of the project. The staging area for construction materials will be the flat area immediately north of our garage.
- 12) The project will not involve use or disposal of hazardous materials.

## **Addendum B**

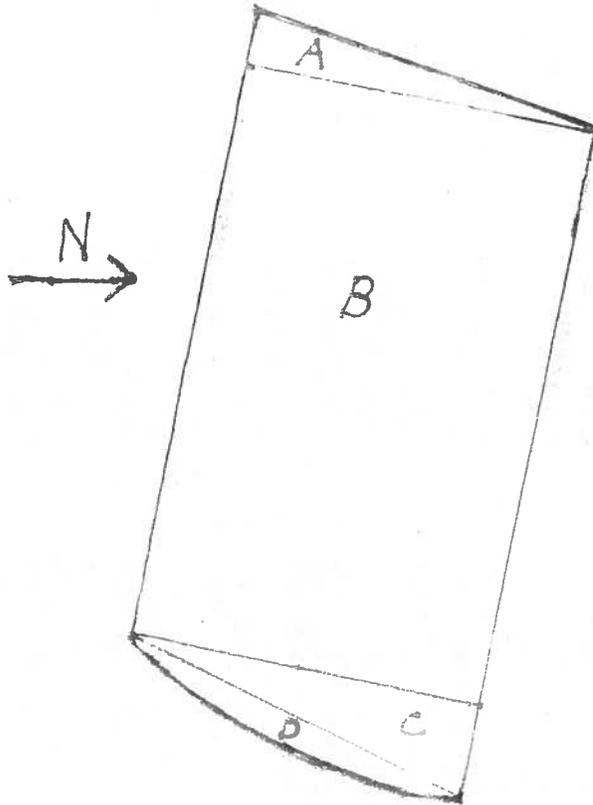
Additional information required for application completeness as listed in Part V of the Development Application Review Team comments dated April 6, 2012

1. Project Data – Lot Coverage statistics are now displayed on Sheet No. A1.0 of the submitted plans.
2. The 20 Closest Lots FAR Analysis was submitted on April 17, 2012, and a copy is attached.
3. There is a public right-of-way easement in favor of the City of Santa Barbara comprising the eastern-most 5 feet of the property recorded with the Santa Barbara County Recorder's Office as Instrument No. 11350 in Book 1731, Page 531 of Official Records. In addition, there is a sewer line easement in favor of the city of Santa Barbara comprising the western-most 10 feet of the property recorded with the Santa Barbara County Recorder's Office as Instrument No. 39818 in Book 1690, Page 189 of Official Records. Plots of these two easements are presented on the new Sheet No. A1.1 of the submitted plans, which also contains copies of these two easements from the County Recorder's Office.
4. The new Sheet No. A4.2 of the submitted plans shows the 30-foot height line on the elevations, measured from the lower of natural or finished grade.
5. A revised Landscape Plan is Sheet No. A5.0 of the submitted plans, using a scale of 1/8 inch = 1 foot, showing species and trunk diameter of existing trees as well as existing and proposed hedges and other landscape features. In addition, photographs are attached showing the property from various directions to document the proposed project with respect to visibility concerns.
6. A Drainage Plan is Sheet No. A5.1 of the submitted plans which demonstrates compliance with Tier 3 SWMP requirements using passive/natural capture and filtration design to retain and percolate on-site the runoff from the entire project site for a 1-inch, 24-hour storm.
7. A site stability letter is attached from Tim Dolan, soils engineer with Coast Valley Testing. (Note: in addition to confirming the stability of the site, Mr. Dolan in his letter also offers some recommendations regarding drainage strategies, but a more appropriate drainage strategy for the site has been devised in consultation with the Creeks Division and is presented on Sheet No. A5.1 of the submitted plans.)
8. A copy of the Development Application Review Team letter dated April 6, 2012, is attached.
9. This resubmission contains no significant changes to the proposed project.

## Addendum C – Net Square Footage of Site

The gross square footage of the property was calculated to be 9727 sq. ft. by licensed surveyor Archie Macomber, who surveyed the property in 1997. This is documented in the attached letter from him.

The shape of the property is such that it is comprised of two triangles, a rectangle, and the area above the chord of a circle. Referring to the diagram below, it follows that the areas of right triangle A, rectangle B, right triangle C, and area D add up to 9727 sq. ft.



In order to subtract the area of the 5 ft. easement along the east boundary of the property, there will be no change to the shape of the property. The only change is that area D and triangle C will be moved west five feet, reducing the east-west dimension of rectangle B by five feet.

In order to compute the reduction in area, it is necessary to compute the north-south width of rectangle B. Measuring the angles of triangle A yields 90 degrees, 82 degrees, and 8 degrees. The surveyor's report documents that the length of the western boundary of the property is 71.02 feet. Therefore, the north-south width of rectangle B is 71.02 times the sine of 82 degrees. The sine of 82 degrees is .9903. Therefore, the width of rectangle B is 70.33 feet. Multiplying this by 5 feet yields 351.65 sq. ft. Subtracting this from 9727 sq. ft. and rounding yields 9375 sq. ft. for the net area of the property.

This results in an FAR ratio of 99% for the proposed addition of 999 sq. ft.

**CONCEPT REVIEW - NEW ITEM: PUBLIC HEARING****4. 909 CALLE CORTITA****E-1 Zone**

Assessor's Parcel Number: 041-176-015

Application Number: MST2011-00353

Owner: George and Deanna Gregg, Living Trust

(Proposal for a 566 square foot, two-story addition to an existing 2,515 two-story single-family residence. There will be no alterations to the existing 435 square foot attached garage. Grading under the building footprint of 29 cubic yards will be balanced on site. This project will result in a third story at the ground level, and the total development on site of 3,081 square feet will result in 85% floor-to-lot area ratio (FAR).)

**(Action may be taken if sufficient information is provided. Project requires Hillside Design District and Neighborhood Preservation Ordinance Findings and compliance with Tier 3 Storm Water Management Program (prior to granting Final Approval.)**

(5:02)

Present: George and Deanna Gregg, Owners.

Public comment opened at 5:08 p.m. As no one wished to speak, public comment was closed.

An email expressing expressed concerns from John and Carolyn Strahler was acknowledged.

**Motion: Continued indefinitely to the Full Board with the following comments:**

- 1) The Board is overall supportive of the size of the proposed addition given that is generally not publicly visible.
- 2) Revise plans to accurately account for the proposed FAR, including the exposed under story. The addition of the understory as additional floor area may be acceptable with the increase of the FAR if the architectural design can be successfully integrated into the existing architectural style and lot.
- 3) Study refinements to the architecture including articulation and fenestration elements for methods to soften the mass and bulk of the addition and to add architectural interest, suggestions discussed include:
  - a. Study stepping down the addition to integrate the addition into the hillside; and
  - b. Consider recessing the balcony into the footprint of the proposed addition.
- 4) Provide a color and materials board.
- 5) Provide a landscape plan, specifically to indicate existing and proposed landscaping around the area of the new addition.
- 6) Show the property lines and setbacks on the floor plans to clearly indicate the distance of the new decks from the property line and study methods to comply with the recommended 15-foot setback guideline.

Action: Zimmerman/Woolery, 6/0/0. Motion carried.

**\*\* MEETING ADJOURNED AT 5:35 P.M. \*\***

**SFDB-CONCEPT REVIEW (CONT.)****5. 909 CALLE CORTITA****E-1 Zone**

Assessor's Parcel Number: 041-176-015

Application Number: MST2011-00353

Owner: George and Deanna Gregg, Living Trust

(Revised proposal for 999 square feet of one- and two-story additions to an existing 2,080 square foot two-story single-family residence, with an attached 418 square foot two-car garage, located on a 9,727 square foot lot in the Hillside Design District. The original proposal included a 519 square foot addition at the rear which resulted in an uninhabitable understory area below the addition. This revised proposal now includes the understory as an additional 480 square feet of habitable square footage, thus resulting in the total proposed 999 square feet of one- and two-story additions. A total of 29 cubic yards of grading will be balanced on site. This project will result in a three-story, 3,497 square foot single-family residence, and is 97% of the maximum floor-to-lot area ratio (FAR) guideline. The project includes Planning Commission review for a requested floor area modification.)

**(Second Concept Review. Comments only; project requires Planning Commission review for a floor area modification. The project was last reviewed by the SFDB on December 5, 2011.)**

(5:17)

Present: George Gregg, Owner.

**Discussion held.**

**A majority of the Board found the proposed floor-to-lot area ratio generally acceptable with further design articulation.**

**CONCEPT REVIEW - NEW ITEM: PUBLIC HEARING****6. 1291 W MOUNTAIN DR****A-1 Zone**

Assessor's Parcel Number: 021-050-037

Application Number: MST2012-00030

Owner: Donald L. McCorkell Jr.

Architect: Blackbird Architects

(Proposal to construct a new 2,499 square foot, one-story, single-family residence and an attached 635 square foot two-car garage located on a 3-acre lot in the Hillside Design District. The proposal includes 642 cubic yards of cut and 633 cubic yards of fill. Construction of a detached 500 square foot accessory workshop structure and a 390 square foot open barn is also proposed. The proposed total of 4,024 square feet is 66% of the maximum floor-to-lot area ratio (FAR) guideline.)

**(Concept Review. Action may be taken if sufficient information is provided. Project requires compliance with Tier 3 SWMP prior to Final Approval.)**

(5:46)

Present: Adam Sharkey, Architect; and Joe McCorkell, Owner.

Public comment opened at 5:50 p.m. As no one wished to speak, public comment was closed.

A letter from Paula Westbury with expressed concerns was acknowledged.

**CONCEPT REVIEW - NEW ITEM: PUBLIC HEARING****5. 909 CALLE CORTITA****E-1 Zone**

Assessor's Parcel Number: 041-176-015

Application Number: MST2011-00353

Owner: George and Deanna Gregg Living Trust

(Revised proposal for 999 square feet of one- and two-story additions to an existing 2,080 square foot two-story single-family residence, with an attached 418 square foot two-car garage, located on a 9,727 square foot lot in the Hillside Design District. The original proposal included a 519 square foot addition at the rear which resulted in an uninhabitable understory area below the addition. This revised proposal now includes the understory as an additional 480 square feet of habitable square footage, thus resulting in the total proposed 999 square feet of one- and two-story additions. A total of 29 cubic yards of grading will be balanced on site. This project will result in a three-story, 3,497 square foot single-family residence, and is 97% of the maximum floor-to-lot area ratio (FAR) guideline. The project includes Planning Commission review for a requested floor area modification.)

**(Second Concept Review. Comments only; project requires Planning Commission review for a floor area modification. The project was last reviewed on February 13, 2012.)**

(5:15)

Present: George and Deanna Gregg, Owners.

Public comment opened at 5:25 p.m. As no one wished to speak, public comment was closed.

A letter of concern from Paula Westbury was acknowledged.

**Motion: Continued indefinitely to Planning Commission and return to Full Board with the following comments.**

- 1) The Board finds the proposed floor-to-lot area modification is aesthetically appropriate and the proposed modification does not pose consistency issues with the Single Family Residence Design Guidelines.
- 2) The Board is supportive of design "Option B" and finds the proposed project acceptable and consistent in mass, bulk, and scale, and is appropriate for the neighborhood given the physical conditions and constraints of the parcel, including the site topography; the existing architectural style of the neighborhood; the proposed addition is not visible from the street view; the proposed addition follows the existing contours of the lot and with minimal new ground disturbance; maintaining the view corridor from across and below the site; and maintaining the existing tree canopy and vegetation.
- 3) The Board appreciates the proposed landscaping and compliance methods of the required Tier 3 Storm Water Management Program (SWMP) and looks forward to further refined landscape plan (minimum 18' by 24" sheet size).
- 4) Provide all final approval details and a colors and materials board.

Action: Sweeney/Bernstein, 6/0/0. Motion carried unanimously.

**\* THE BOARD RECESSED AT 5:40 P.M., AND RECOVERED AT 6:18 P.M. \***

To Sort, press all at same time: CTRL+SHIFT+S

## 20 Closest Lots Data Ranked by FAR 909 Calle Cortita

Address (Optional)	Data Source (Ex: Co. Assessor's Office)	APN	Lot Size in net sq. ft.	Floors	House	Garage /Carport	Total	FAR	FAR Rank
902 Calle Cortita	MST Project - Approved	041-177-005	6969.6	3	2380	400	2,780	0.40	1 Largest
925 Calle Cortita	MST Project - Approved	041-157-010	6534	3	2160	433	2,593	0.40	2
<b>909 Calle Cortita</b>	<b>MST Project - Pending/P</b>	<b>041-176-015</b>	<b>9375</b>	<b>3</b>	<b>3079</b>	<b>418</b>	<b>3,497</b>	<b>0.37</b>	<b>3</b>
853 Calle Cortita	MST Project - Approved	041-176-020	6098.4	3	1798	387	2,185	0.36	4
848 Calle Cortita	MST Project - Approved	041-177-007	9147.6	3	2413	495	2,908	0.32	5
922 Fellowship Rd	Co. Assessor's Office	041-157-006	6534	2	1662	400	2,062	0.32	6
919 Calle Cortita	Co. Assessor's Office	041-176-018	7840.8	3	2006	378	2,384	0.30	7
902 Fellowship Rd	MST Project - Approved	041-176-025	7405.2	2	1845	370	2,215	0.30	8
903 Calle Cortita	Co. Assessor's Office	041-176-016	7405.2	3	1709	455	2,164	0.29	9
924 Calle Cortita	Co. Assessor's Office	041-158-009	8276.4	3	1998	400	2,398	0.29	10
918 Calle Cortita	Co. Assessor's Office	041-177-001	7405.2	2	1456	672	2,128	0.29	11
849 Calle Cortita	Co. Assessor's Office	041-176-017	7840.8	3	1763	450	2,213	0.28	12
908 Fellowship Rd	Co. Assessor's Office	041-176-021	7405.2	1	1573	420	1,993	0.27	13
918 Fellowship Rd	MST Project - Approved	041-176-024	7405.2	3	1422	560	1,982	0.27	14
915 Calle Cortita	Co. Assessor's Office	041-176-022	9147.6	3	2060	378	2,438	0.27	15
1408 Mountain View	MST Project - Approved	035-071-004	14810.4	2	3327	576	3,903	0.26	16
1420 Mountain View	MST Project - Approved	035-071-006	16117.2	2	3089	585	3,674	0.23	17
912 Calle Cortita	Co. Assessor's Office	041-177-006	7840.8	1	1336	360	1,696	0.22	18
1414 Mountain View	Co. Assessor's Office	035-071-005	14810.4	2	2471	441	2,912	0.20	19
854 Fellowship Rd	Co. Assessor's Office	041-176-027	6969.6	1	1160	190	1,350	0.19	20
912 Fellowship Rd	Co. Assessor's Office	041-176-023	7405.2	1	960	400	1,360	0.18	21 Smallest

Average/Mean Total of House + Garage Size (including project proposal):	2,421
Average/Mean FAR (including project proposal):	0.29

**20 Closest Lots Data Ranked by Size**  
**909 Calle Cortita**

Address (Optional)	Data Source (Ex: Co. Assessor's Office)	APN	Lot		Floors	House	Garage /Carport	Total	Rank
			Size	Rank					
1408 Mountain View	MST Project - Approved	035-071-004	14,810	1	2	3,327	576	3,903	1 Largest
1420 Mountain View	MST Project - Approved	035-071-006	16,117	2	2	3,089	585	3,674	2
<b>909 Calle Cortita</b>	<b>MST Project - Pending/P</b>	<b>041-176-015</b>	<b>9,375</b>	<b>3</b>	<b>3</b>	<b>3,079</b>	<b>418</b>	<b>3,497</b>	<b>3</b>
1414 Mountain View	Co. Assessor's Office	035-071-005	14,810	4	2	2,471	441	2,912	4
848 Calle Cortita	MST Project - Approved	041-177-007	9,148	5	3	2,413	495	2,908	5
902 Calle Cortita	MST Project - Approved	041-177-005	6,970	6	3	2,380	400	2,780	6
925 Calle Cortita	MST Project - Approved	041-157-010	6,534	7	3	2,160	433	2,593	7
915 Calle Cortita	Co. Assessor's Office	041-176-022	9,148	8	3	2,060	378	2,438	8
924 Calle Cortita	Co. Assessor's Office	041-158-009	8,276	9	3	1,998	400	2,398	9
919 Calle Cortita	Co. Assessor's Office	041-176-018	7,841	10	3	2,006	378	2,384	10
902 Fellowship Rd	MST Project - Approved	041-176-025	7,405	11	2	1,845	370	2,215	11
849 Calle Cortita	Co. Assessor's Office	041-176-017	7,841	12	3	1,763	450	2,213	12
853 Calle Cortita	MST Project - Approved	041-176-020	6,098	13	3	1,798	387	2,185	13
903 Calle Cortita	Co. Assessor's Office	041-176-016	7,405	14	3	1,709	455	2,164	14
918 Calle Cortita	Co. Assessor's Office	041-177-001	7,405	15	2	1,456	672	2,128	15
922 Fellowship Rd	Co. Assessor's Office	041-157-006	6,534	16	2	1,662	400	2,062	16
908 Fellowship Rd	Co. Assessor's Office	041-176-021	7,405	17	1	1,573	420	1,993	17
918 Fellowship Rd	MST Project - Approved	041-176-024	7,405	18	3	1,422	560	1,982	18
912 Calle Cortita	Co. Assessor's Office	041-177-006	7,841	19	1	1,336	360	1,696	19
912 Fellowship Rd	Co. Assessor's Office	041-176-023	7,405	20	1	960	400	1,360	20
854 Fellowship Rd	Co. Assessor's Office	041-176-027	6,970	21 Smallest	1	1,160	190	1,350	21

Average/Mean House Size (including project proposal): **2,421**

# F.A.R. Calculator

**Instructions:** Enter the information in the white boxes below. The spreadsheet will calculate the proposed FAR (floor area ratio), the 100% max FAR (per the Zoning Ordinance), and the 85% max FAR (per the Zoning Ordinance). Additionally it will determine whether a FAR Modification is required.

The Net Lot Area does not include any Public Road Easements or Public Road Right-of-Way areas. The proposed TOTAL Net FAR Floor Area shall include the net floor area of all stories of all building, but may or may not include basement/cellar floor area. For further clarification on these definitions please refer to SBMC §28.15.083.

ENTER Project Address:	909 Calle Cortita
Is there a basement or cellar existing or proposed?	No
ENTER Proposed TOTAL Net FAR Floor Area (in sq. ft.):	3,497

ENTER Zone ONLY from drop-down list:	E-1
ENTER Net Lot Area (in sq. ft.):	9,375
Is the height of existing or proposed buildings 17 feet or greater?	Yes
Are existing or proposed buildings two stories or greater?	Yes
The FAR Requirements are:	REQUIRED**

ENTER Average Slope of Lot:	33.00%
Does the height of existing or proposed buildings exceed 25 feet?	Yes
Is the site in the Hillside Design District?	Yes
Does the project include 500 or more cu. yds. of grading outside the main building footprint?	No
An FAR MOD is required per SBMC §28.15	

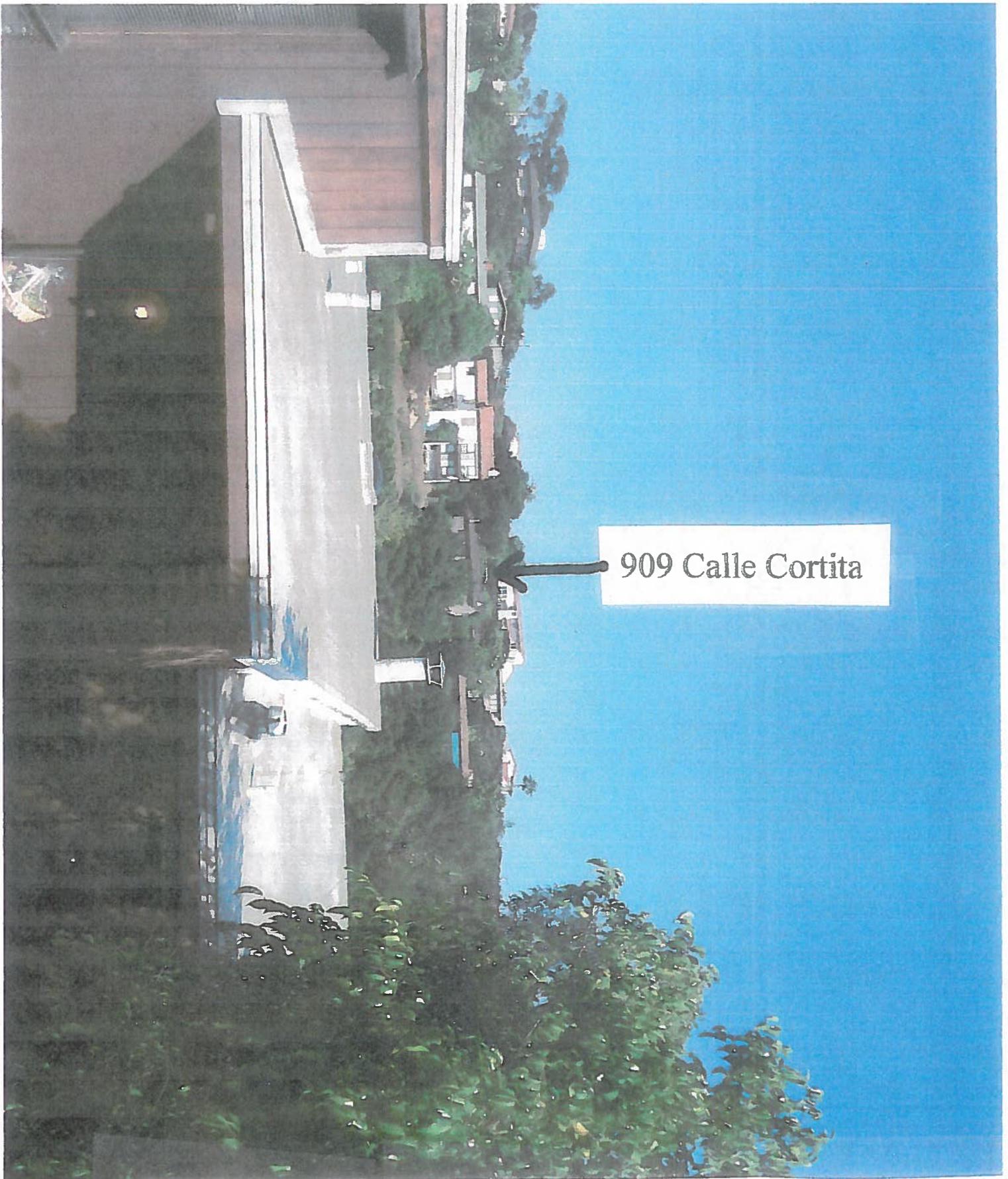
FLOOR AREA RATIO (FAR):	0.373013333
Lot Size Range:	4,000 - 9,999 sq.ft.
MAX FAR Calculation (in sq. ft.):	1,200 + (0.25 x lot size in sq.ft.)
100% MAX FAR:	0.378
100% MAX FAR (in sq. ft.):	3543.75
85% of MAX FAR (in sq. ft.):	3012.1875
80% of MAX FAR (in sq. ft.):	2835
The 3497 square foot proposed total is 99% of the MAX FAR.*	

\* NOTE: Percentage total is rounded up.

\*\*NOTE: If your project is located on a site with multiple or overlay zones, please contact Planning Staff to confirm whether the FAR limitations are "Required" or "Guideline".

## Acreage Conversion Calculator

ENTER Acreage to Convert to square footage:	1.00
Net Lot Area (in sq. ft.):	43560



909 Calle Cortita

View from Saint Ann Drive  
(directly across Fellowship Canyon)