



City of Santa Barbara California

PLANNING COMMISSION STAFF REPORT

REPORT DATE: August 4, 2011
AGENDA DATE: August 11, 2011
PROJECT ADDRESS: 602 Anacapa Street (MST2011-00145)
 Antioch University
TO: Planning Commission
FROM: Planning Division, (805) 564-5470
 Danny Kato, Senior Planner *DK*
 Suzanne Riegle, Assistant Planner *SR*

I. PROJECT DESCRIPTION

The project consists of a proposal to construct a 3,626 square foot (sf) addition, completely within the existing first floor volume of an existing mixed-use building, to create classrooms and offices for Antioch University. In order to meet Antioch's deadline for classes in September 2011, the project was split into three phases, to allow for construction of improvements as soon as building permits could be issued. Phase 1 is being processed under BLD2011-00501 for an interior tenant improvement that does not require discretionary review. Phase 2 is being processed under MST2011-00105, and includes the demolition of a 1,691 square foot mezzanine, and construction of a 2,646 sf new second floor completely within the existing ground floor volume. Phase 2 will use the remaining 955 sf balance from the Small Addition category and requires Development Plan Approval (DPA) by the Architectural Board of Review. Phase 3 includes an additional 980 sf of second floor area, and retains the 1,691 square foot mezzanine. Phase 3 would require DPA by the Planning Commission (PC) for cumulative non-residential additions exceeding 3,000 sf. The City Council approved a preliminary Community Priority allocation of 2,671 sf on May 17, 2011. If the timing allows, the applicant will eliminate the second phase, and proceed directly to PC for DPA for 3,626 sf of floor area (2,671 sf Community Priority + 955 sf Small Addition = 3,626 sf) prior to ABR approval of the architectural changes.

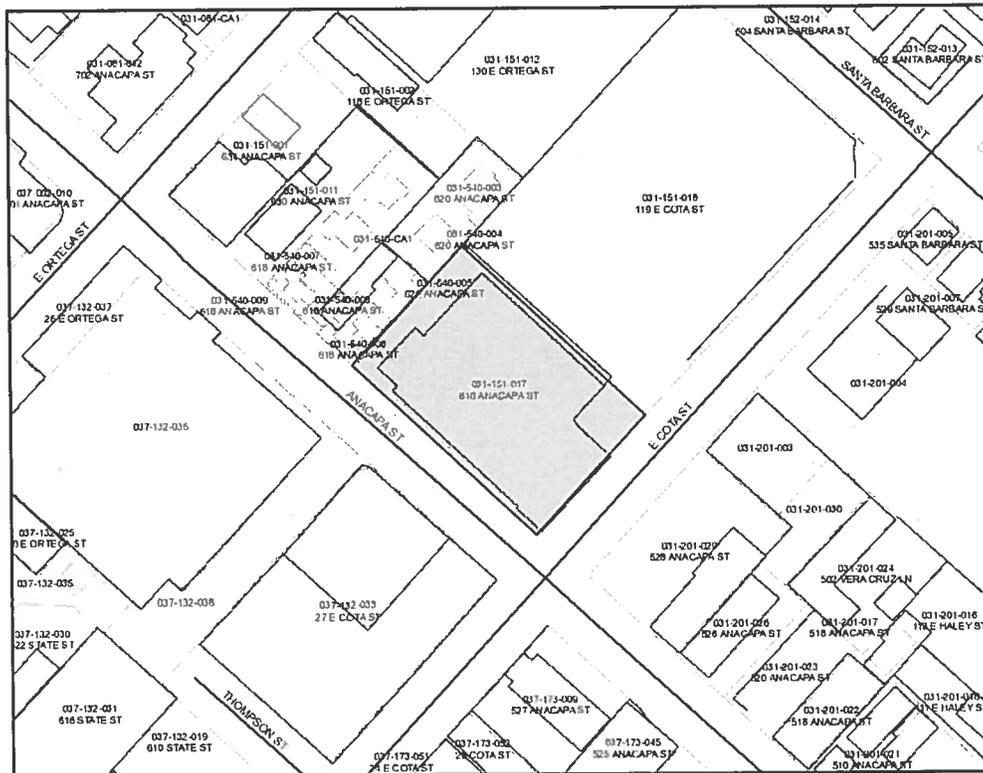
II. REQUIRED APPLICATIONS

The discretionary applications required for this project are:

1. Design Review approval by the Architectural Board of Review;
2. A Development Plan to allow the construction of 3,626 square feet of nonresidential development (SBMC §28.87.300); and
3. A Final Community Priority Designation by City Council (SBMC §28.87.300).

III. RECOMMENDATION

The proposed project conforms to the City's Zoning and Building Ordinances and policies of the General Plan. In addition, the size and massing of the project are consistent with the surrounding neighborhood. Therefore, Staff recommends that the Planning Commission approve the project, making the findings outlined in Section VIII of this report, and subject to the conditions of approval in Exhibit A.



APPLICATION DEEMED COMPLETE: July 11, 2011
DATE ACTION REQUIRED: September 9, 2011

IV. SITE INFORMATION AND PROJECT STATISTICS

A. SITE INFORMATION

Applicant: Trish Allen, Suzanne Elledge Planning & Permitting Services	Property Owner: Hutton Parker Foundation
Parcel Number: 031-151-017	Lot Area: 32,999 sf
General Plan: Offices/Major Public Institutional	Zoning: C-M
Existing Use: Mixed-Use	Topography: Flat
Adjacent Land Uses: North - Parking South - Commercial East - Commercial West - Mixed Use	

B. PROJECT STATISTICS

	Existing	Proposed
Restaurant (Ground floor)	4,682	4,682
Antioch (Ground floor)	9,454	9,454
Accessory Space	1,691	1,691
New Second Floor within existing ground floor space	0	3,626
Existing Offices 2 nd Floor (now 3 rd Floor)	10,026	10,026
Existing Residential Floor (now 4 th Floor)	6,226	6,226
Total	32,079	35,705

V. ZONING ORDINANCE CONSISTENCY

Standard	Requirement/ Allowance	Existing	Proposed
Setbacks			
-Front	0	0	0
-Interior	0	0	0
-Rear	0	0	0
Building Height	60'	48'	48'
Parking	12 spaces (non-residential) 6 (residential)	25 spaces (non-residential) 6 (residential)	25 spaces (non-residential) 6 (residential)

The proposed project would meet the requirements of the C-M Zone.

VI. BACKGROUND

The project's total new floor area is proposed to be 3,626 sf. The project was split into three phases, in order to facilitate construction. The first phase consists of Tenant improvements that do not require discretionary review. The second phase consists of Architectural Board of Review (ABR) approval of a 2,646 sf portion of the new second floor, using the site's remaining 955 sf of Small Addition floor area, and proposing the demolition of an existing 1,691 sf outdoor mezzanine, and reconstructing that floor area inside. The third phase consists of PC and Council approval of an additional 2,671 sf of Community Priority floor area (retaining the 1,691 sf mezzanine, and adding 980 sf).

Because of a previous condition of approval restricted the existing second floor to the use of professional offices, a Substantial Conformance Determination (SCD) was required for Phase 1. On March 28, 2011, the applicant requested that the use of the second floor as administrative offices and classrooms for Antioch University be found to be in substantial conformance with the professional offices use condition of approval. Staff approved the request, and on April 7, 2011, advised the Commission of Staff's approval of the SCD request and of the phased approach for the project. The Commission supported staff's determination.

Phase 2 is currently under review by the ABR (MST2011-00105) for minor exterior alterations. The proposal included the demolition of a 1,691 sf exterior mezzanine and construction of a 2,646 sf (1,691 + 955 = 2,646) second floor within the existing one-story volume. The

cumulative additions for the site, which are between 1,000 and 3,000 sf, require Development Plan Approval (DPA) by the Historic Landmarks Commission for the 955 sf addition.

The current application is the culmination of Phase 3. The project as designed required the preliminary allocation of 2,671 sf from the Community Priority Designation under SBMC§28.87.300. Development Plan Approval by the Planning Commission would also be required because the cumulative total of new non-residential square footage exceeds 3,000 sf.

On May 17, 2011, the City Council approved the preliminary allocation of 2,671 sf from the Community Priority Designation under SBMC§28.87.300

VII. ISSUES

A. DESIGN REVIEW

This project was reviewed by the ABR on March 21, 2011 and May 2, 2011 (meeting minutes are attached as Exhibit F). On May 2, 2011, the ABR stated that it preferred the Moorish style elevator tower, and requested that the applicant return to the Consent Calendar, following Planning Commission approval of the Development Plan, with additional architectural and landscaping details. Specifically, the Board was looking for changes to the existing landscape plan, and directed the applicant to explore an alternate solution for landscaping within the parkways including the ability to plant taller plants adjacent to no parking zones.

B. COMPLIANCE WITH THE GENERAL PLAN

The project site is located in the Lower State General Plan Neighborhood, which is bounded on the north by Ortega Street; on the south by Cabrillo Boulevard; on the east by Santa Barbara Street; and on the west by Chapala Street and Mission Creek. Lower State Street is an area of mixed commercial and industrial uses, with a small population scattered throughout. The future of the lower State Street area is anticipated by the General Plan to be devoted to Hotel and Related Commercial Uses south of the Freeway. Such future development would provide a business and tourist link between the central business district and the oceanfront. The Lower State Street area contains Vera Cruz Park, Lincoln School, and the railroad station.

The project site is also located in the Central Business District, which is composed of an approximately 36-block area bounded by Victoria, De la Vina, and State streets and the freeway. It is critical that future growth in the CBD emphasize the further concentration, intensification, and more efficient use of the present core rather than by following the usual pattern of outward growth, increasing the amount of land and decreasing the efficiency and effectiveness of the uses within the area. The General Plan makes the following recommendation concerning the downtown area:

- Downtown Santa Barbara land uses should be based upon a variety of businesses and services. The Plan should recognize downtown's importance as a major office-administrative-financial-governmental activity center for the South Coast metropolitan area.
- City policy should continue to encourage office development to locate downtown in quality structures.

C. DEVELOPMENT PLAN APPROVAL

In order to approve a development plan, the Planning Commission must find that the proposed project is consistent with the Zoning Ordinance, the principles of sound community planning, will not have a significant adverse impact on the neighborhoods aesthetics and character, and will not have a significant unmitigated impact on the City's and South Coast's affordable housing stock and the City's traffic and water resources.

The General Plan Land Use Designation for the property is Offices/Major Public and Institutional. The site is zoned C-M (Commercial Manufacturing Zone). The proposed school use is an institutional use that is consistent with the uses permitted under the current General Plan designation and zoning.

The property is located in the Central Business District. The Zoning Ordinance parking requirement for properties located in the CBD is one parking space per 500 square feet of floor area for all non-residential uses and one-parking space for each residential unit in a mixed-use development. The property is also located in a parking zone of benefit and is allowed to reduce its required non-residential parking by 80 percent. The required parking for the non-residential (29,479 square feet) portion of the project is 12 uncovered spaces (including the 80% reduction), and the required parking for the residential portion of the project continues to be six uncovered parking spaces for the six existing residential units, for a total of 18 spaces. The 31 existing parking on site exceeds the zoning ordinance requirement of 18 spaces.

The Anacota building was a mixed-use project that was developed in 1986. Under SBMC§28.87.300 each lot was allowed up to 3,000 square feet in cumulative non-residential additions. In 1992, a total of 2,045 square feet of additions were completed, leaving a balance of 955 square feet of non-residential development potential for the site. The applicant has received a preliminary allocation by City Council of 2,671 square feet from the Community Priority Designation. This allows for a non-residential addition of up to 3,626 (2,671 + 955) square feet. The proposed project is located in an area characterized by a mix of commercial and residential uses. The proposed school appears to be consistent with the overall pattern of development in the immediate area. The additional floor area will be constructed within the existing one-story volume on the ground floor with the exception of an elevator tower on the existing second floor and has been found by the Architectural Board of Review to be consistent with the size, bulk, and scale of the buildings in the immediate neighborhood. The addition will not increase the buildings footprint.

The applicant has submitted a traffic study prepared by Associated Transportation Engineers (ATE), dated April 29, 2011 (Exhibit G), which analyzes the traffic that would be generated by the additional 3,626 square feet to be used by Antioch University (See section VII.D). The study determined that the traffic generated by the additional square footage for the school would not represent a significant project specific or cumulative traffic impact when added to the existing street network.

This water demand created by additional fixtures required by the school would not represent a significant incremental increase to the present demand and no significant impact on the dependable water supply is expected to occur.

Because the proposed 3,626 square foot addition is small in scale, and will involve only a small number of additional employees, the project is not expected to create new demand for low to moderate income housing in the area.

D. ENVIRONMENTAL REVIEW

Traffic

The traffic study prepared by Associated Transportation Engineers (ATE) analyzes the use of the additional square footage as both general office space and the school use. The office use would add five P.M. peak hour trips and six A.M. peak hour trips. The school use would create a total of 13 P.M. peak hour trips and 11 A.M. peak hour trips; however, when the trips are distributed throughout surrounding intersections, there would be less than five trips through any impacted intersection, including the Garden Street and Castillo Street corridors adjacent to U.S. Highway 101. Although not required, the school is proposing to adjust the start times of classes by fifteen minutes to reduce the number of peak hour trips.

The Environmental Analyst has determined that the project is exempt from further environmental review pursuant to the California Environmental Quality Act Guidelines Section 15301, Existing Conditions.

VIII. NEXT STEPS

If the project is approved by the Planning Commission, the project will return to the City Council for final allocation of square footage under as a Community priority project, and then it will return to Architectural Board of Review for project design and final approvals and submit for building permit plan check and issuance. If the project is not approved by the Planning Commission, the project will return to the Architectural Board of Review for approval of the Phase 2 portion of the project. Following approval of the Phase 2 portion of the project by the ABR, the project will be submitted for building permit plan check and issuance.

IX. FINDINGS

A. DEVELOPMENT PLAN APPROVAL FINDINGS

The Planning Commission must find that the project meets all of the findings listed below.

1. The proposed development complies with all provisions of the zoning ordinance, as discussed in section V and VII.C.
2. The proposed development is consistent with the principles of sound community planning.

The proposed project makes minor changes to the exterior of an existing building which will be consistent with the character and style of the surrounding architecture. The proposed use is consistent with surrounding commercial uses consisting of office, restaurant and retail uses in the downtown area as discussed in Section VII.A, B, and C. of this staff report.

3. The proposed development will not have a significant adverse impact upon the neighborhood's aesthetics/character in that the size, bulk or scale of the development will be compatible with the neighborhood.

The project as designed, with the exception of the elevator tower on the proposed third floor, will not increase the overall size, bulk, or scale of the building. The elevator tower as designed has been designed to be compatible with the existing architecture and to minimize the effects on the size, bulk and scale of the building as discussed in Section VII.B and C. of this staff report.

4. The proposed development will not have a significant unmitigated adverse impact upon City and South Coast affordable housing stock.

The project is a small addition that will not involve a significant number of employees creating new demand for low to moderate income housing in the area, as discussed in Section VII.C. of this staff report.

5. The proposed development will not have a significant unmitigated adverse impact on the City's water resources.

The project is a small addition that will not involve a significant incremental increase in water demand area, as discussed in Section VII.C. of this staff report.

6. The proposed development will not have a significant unmitigated adverse impact on the City's traffic; and

The project will generate a number of peak hour trips that will not add an increase in trips at impacted intersections and will not involve a significant incremental increase in traffic area, as discussed in Section VII.C and D of this staff report.

7. Resources will be available and traffic improvements will be in place at the time of project occupancy.

The proposed project does not require any traffic improvements.

Exhibits:

- A. Conditions of Approval
- B. Site Plan
- C. Applicant's letter, dated July 1, 2011
- D. Council Agenda Report dated May 17, 2011
- E. Substantial Conformance Determination Memorandum
- F. ABR Minutes
- G. Traffic Study dated April 29 , 2011

PLANNING COMMISSION CONDITIONS OF APPROVAL

602 ANACAPA STREET
DEVELOPMENT PLAN APPROVAL AND COMMUNITY PRIORITY DESIGNATION
AUGUST 11, 2011

I. In consideration of the project approval granted by the Planning Commission / Staff Hearing Officer and for the benefit of the owner(s) and occupant(s) of the Real Property, the owners and occupants of adjacent real property and the public generally, the following terms and conditions are imposed on the use, possession, and enjoyment of the Real Property:

A. **Order of Development.** In order to accomplish the proposed development, the following steps shall occur in the order identified:

1. Obtain all required design review approvals.
2. Pay Land Development Team Recovery Fee.
3. Make application and obtain a Building Permit (BLD) to demolish any structures / improvements and/or perform rough grading. Comply with condition E "Construction Implementation Requirements."
4. Record any required documents (see Recorded Conditions Agreement section).
5. Permits.
 - a. Make application and obtain a Building Permit (BLD) for construction of approved development.
 - b. Make application and obtain a Public Works Permit (PBW) for all required public improvements.

Details on implementation of these steps are provided throughout the conditions of approval.

B. **Recorded Conditions Agreement.** The Owner shall execute a *written instrument*, which shall be prepared by Planning staff, reviewed as to form and content by the City Attorney, Community Development Director and Public Works Director, recorded in the Office of the County Recorder, and shall include the following:

1. **Approved Development.** The development of the Real Property approved by the Planning Commission on August 11, 2011 is limited to 3,626 square feet of additional non-residential floor area within the existing first-story volume of the building and the improvements shown on the plans signed by the chairman of the Planning Commission on said date and on file at the City of Santa Barbara.
2. **Uninterrupted Water Flow.** The Owner shall provide for the continuation of any historic uninterrupted flow of water onto the Real Property including, but not limited to, swales, natural watercourses, conduits and any access road, as appropriate.
3. **Recreational Vehicle Storage Prohibition.** No recreational vehicles, boats, or trailers shall be stored on the Real Property.
4. **Landscape Plan Compliance.** The Owner shall comply with the Landscape Plan approved by the Architectural Board of Review (ABR). Such plan shall not be modified unless prior written approval is obtained from the ABR. The landscaping on the Real Property shall be provided and maintained in accordance with said landscape plan,

including any tree protection measures. If said landscaping is removed for any reason without approval by the ABR, the owner is responsible for its immediate replacement.

5. **Common Area Maintenance.** All common/shared areas/facilities/improvements shall be kept open, available and maintained in the manner in which it was designed and permitted.
 6. **Areas Available for Parking.** All parking areas and access thereto shall be kept open and available in the manner in which it was designed and permitted.
 7. **Gates.** Any gates that have the potential to block access to any designated commercial space shall be locked in the open position during business hours.
- C. **Design Review.** The project, including public improvements, is subject to the review and approval of the Architectural Board of Review (ABR). The ABR shall not grant project design approval until the following Planning Commission / Staff Hearing Officer land use conditions have been satisfied.
1. **Parks and Recreation Commission Tree Removal Approval.** Submit to the Planning Division verification of approval from the Parks and Recreation Commission for the removal of street trees.
 2. **Screened Backflow Device.** The backflow devices for fire sprinklers, pools, spas, solar panels and/or irrigation systems shall be provided in a location screened from public view or included in the exterior wall of the building, as approved by the ABR.
 3. **Trash Enclosure Provision.** A trash enclosure with adequate area for recycling containers (an area that allows for a minimum of 50 percent of the total capacity for recycling containers) shall be provided on the Real Property and screened from view from surrounding properties and the street.

Dumpsters and containers with a capacity of 1.5 cubic yards or more shall not be placed within five (5) feet of combustible walls, openings, or roofs, unless protected with fire sprinklers.
- D. **Requirements Prior to Permit Issuance.** The Owner shall submit the following, or evidence of completion of the following, for review and approval by the Department listed below prior to the issuance of any permit for the project. Some of these conditions may be waived for demolition or rough grading permits, at the discretion of the department listed. Please note that these conditions are in addition to the standard submittal requirements for each department.
1. **Public Works Department.**
 - a. **Water Rights Assignment Agreement.** The Owner shall assign to the City of Santa Barbara the exclusive right to extract ground water from under the Real Property in an *Agreement Assigning Water Extraction Rights*. Engineering Division Staff prepares said agreement for the Owner's signature.
 - b. **Construction-Related Truck Trips.** Construction-related truck trips for trucks with a gross vehicle weight rating of three tons or more shall not be scheduled during peak hours (7:00 a.m. to 9:00 a.m. and 4:00 p.m. to 6:00 p.m.) in order to help reduce truck traffic on adjacent streets and roadways.
 - c. **Bicycle Parking.** Six bicycle parking spaces shall be provided. Their size and location shall be approved by the Transportation Manager.

2. **Community Development Department.**

- a. **Recordation of Agreements.** The Owner shall provide evidence of recordation of the written instrument that includes all of the Recorded Conditions identified in condition B "Recorded Conditions Agreement" to the Community Development Department prior to issuance of any building permits.
- b. **Contractor and Subcontractor Notification.** The Owner shall notify in writing all contractors and subcontractors of the site rules, restrictions, and Conditions of Approval. Submit a draft copy of the notice to the Planning Division for review and approval.
- c. **Design Review Requirements.** Plans shall show all design, landscape and tree protection elements, as approved by the appropriate design review board and as outlined in Section C "Design Review," and all elements/specifications shall be implemented on-site.
- d. **Conditions on Plans/Signatures.** The final Resolution shall be provided on a full size drawing sheet as part of the drawing sets. Each condition shall have a sheet and/or note reference to verify condition compliance. If the condition relates to a document submittal, indicate the status of the submittal (e.g., Final Map submitted to Public Works Department for review). A statement shall also be placed on the sheet as follows: The undersigned have read and understand the required conditions, and agree to abide by any and all conditions which are their usual and customary responsibility to perform, and which are within their authority to perform.

Signed:

_____		_____
Property Owner		Date
_____		_____
Contractor	Date	License No.
_____		_____
Architect	Date	License No.
_____		_____
Engineer	Date	License No.

E. **Construction Implementation Requirements.** All of these construction requirements shall be carried out in the field by the Owner and/or Contractor for the duration of the project construction, including demolition and grading.

- 1. **Construction Contact Sign.** Immediately after Building permit issuance, signage shall be posted at the points of entry to the site that list the contractors name, contractors telephone numbers, construction work hours, site rules, and construction-related conditions, to assist Building Inspectors and Police Officers in the enforcement of the conditions of approval. The font size shall be a minimum of 0.5 inches in height. Said sign shall not exceed six feet in height from the ground if it is free-standing or placed on a fence. It shall not exceed 24 square feet if in a multi-family or commercial zone or six square feet if in a single family zone.

2. **Construction Storage/Staging.** Construction vehicle/ equipment/ materials storage and staging shall be done on-site. No parking or storage shall be permitted within the public right-of-way, unless specifically permitted by the Transportation Manager with a Public Works permit.
3. **Unanticipated Archaeological Resources Contractor Notification.** Standard discovery measures shall be implemented per the City master Environmental Assessment throughout grading and construction: Prior to the start of any vegetation or paving removal, demolition, trenching or grading, contractors and construction personnel shall be alerted to the possibility of uncovering unanticipated subsurface archaeological features or artifacts. If such archaeological resources are encountered or suspected, work shall be halted immediately, the City Environmental Analyst shall be notified and the Owner shall retain an archaeologist from the most current City Qualified Archaeologists List. The latter shall be employed to assess the nature, extent and significance of any discoveries and to develop appropriate management recommendations for archaeological resource treatment, which may include, but are not limited to, redirection of grading and/or excavation activities, consultation and/or monitoring with a Barbareño Chumash representative from the most current City qualified Barbareño Chumash Site Monitors List, etc.

If the discovery consists of possible human remains, the Santa Barbara County Coroner shall be contacted immediately. If the Coroner determines that the remains are Native American, the Coroner shall contact the California Native American Heritage Commission. A Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

If the discovery consists of possible prehistoric or Native American artifacts or materials, a Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

A final report on the results of the archaeological monitoring shall be submitted by the City-approved archaeologist to the Environmental Analyst within 180 days of completion of the monitoring and prior to any certificate of occupancy for the project.

- F. **Prior to Certificate of Occupancy.** Prior to issuance of the Certificate of Occupancy, the Owner of the Real Property shall complete the following:
 1. **Repair Damaged Public Improvements.** Repair any public improvements (curbs, gutters, sidewalks, roadways, etc.) or property damaged by construction subject to the review and approval of the Public Works Department per SBMC §22.60.090. Where tree roots are the cause of the damage, the roots shall be pruned under the direction of a qualified arborist.
- G. **General Conditions.**
 1. **Prior Conditions.** These conditions are in addition to the conditions identified in Planning Commission 009-86.

2. **Compliance with Requirements.** All requirements of the city of Santa Barbara and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met. This includes, but is not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.), the 1979 Air Quality Attainment Plan, and the California Code of Regulations.
3. **Approval Limitations.**
 - a. The conditions of this approval supersede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.
 - b. All buildings, roadways, parking areas and other features shall be located substantially as shown on the plans approved by the Planning Commission / Staff Hearing Officer.
 - c. Any deviations from the project description, approved plans or conditions must be reviewed and approved by the City, in accordance with the Planning Commission Guidelines. Deviations may require changes to the permit and/or further environmental review. Deviations without the above-described approval will constitute a violation of permit approval.
4. **Land Development Team Recovery Fee Required.** The land development team recovery fee (30% of all planning fees, as calculated by staff) shall be paid at time of building permit application.
5. **Litigation Indemnification Agreement.** In the event the Planning Commission approval of the Project is appealed to the City Council, Applicant/Owner hereby agrees to defend the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any third party legal challenge to the City Council's denial of the appeal and approval of the Project, including, but not limited to, challenges filed pursuant to the California Environmental Quality Act (collectively "Claims"). Applicant/Owner further agrees to indemnify and hold harmless the City and the City's Agents from any award of attorney fees or court costs made in connection with any Claim.

Applicant/Owner shall execute a written agreement, in a form approved by the City Attorney, evidencing the foregoing commitments of defense and indemnification within thirty (30) days of being notified of a lawsuit regarding the Project. These commitments of defense and indemnification are material conditions of the approval of the Project. If Applicant/Owner fails to execute the required defense and indemnification agreement within the time allotted, the Project approval shall become null and void absent subsequent acceptance of the agreement by the City, which acceptance shall be within the City's sole and absolute discretion. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorney fees, expenses, and costs of that independent defense.

NOTICE OF DEVELOPMENT PLAN TIME LIMITS:

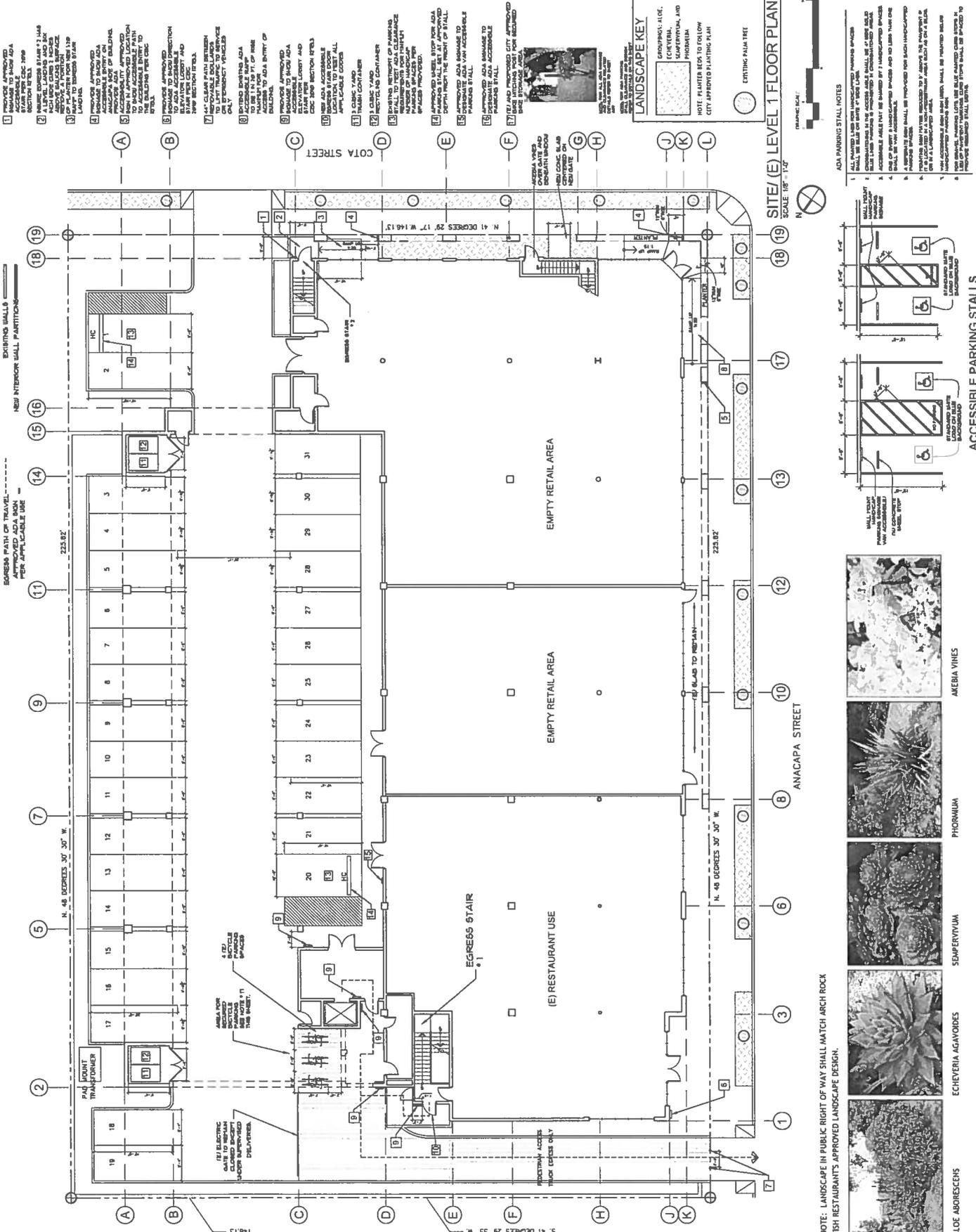
The development plan approved, per Santa Barbara Municipal Code §28.87.350, shall expire four (4) years from the date of approval unless:

1. A building or grading permit for the work authorized by the development plan is issued prior to the expiration date of the approval.
2. The Community Development Director grants an extension of the development plan approval upon finding that the applicant has demonstrated due diligence in implementing and completing the proposed project. The Community Development Director may grant one (1) one-year extension of the development plan approval.

NOTICE OF TIME LIMITS FOR PROJECTS WITH MULTIPLE APPROVALS (S.B.M.C. § 28.87.370):

If multiple discretionary applications are approved for the same project, the expiration date of all discretionary approvals shall correspond with the longest expiration date specified by any of the land use discretionary applications, unless such extension would conflict with state or federal law. The expiration date of all approvals shall be measured from date of the final action of the City on the longest discretionary land use approval related to the application, unless otherwise specified by state or federal law.

138 East Page One
 San Jose, CA 95128
 Phone: 408.945.1110
 Fax: 408.945.1114
 www.dartarchitect.com



- NOTE: PLAN NOTES**
- 1 PROVIDE APPROVED SIGNAGE TO SHOW ADA COMPLIANCE WITH ADA STANDARDS PER CBC 1909 SECTION 1909.02
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ADA PARKING STALL NOTES

- 1 ALL PARKING SPACES SHALL BE 9'6" WIDE
- 2 ALL PARKING SPACES SHALL BE 5'6" DEEP
- 3 ALL PARKING SPACES SHALL BE 18" CLEARANCE FROM CURB
- 4 ACCESSIBLE PARKING SPACES SHALL BE 8'0" WIDE
- 5 ACCESSIBLE PARKING SPACES SHALL BE 5'0" DEEP
- 6 ACCESSIBLE PARKING SPACES SHALL BE 18" CLEARANCE FROM CURB
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- 14 ACCESSIBLE PARKING SPACES SHALL BE 18" CLEARANCE FROM CURB
- 15 ACCESSIBLE PARKING SPACES SHALL BE 18" CLEARANCE FROM CURB
- 16 ACCESSIBLE PARKING SPACES SHALL BE 18" CLEARANCE FROM CURB
- 17 ACCESSIBLE PARKING SPACES SHALL BE 18" CLEARANCE FROM CURB
- 18 ACCESSIBLE PARKING SPACES SHALL BE 18" CLEARANCE FROM CURB
- 19 ACCESSIBLE PARKING SPACES SHALL BE 18" CLEARANCE FROM CURB



NOTE: LANDSCAPE IN PUBLIC RIGHT OF WAY SHALL MATCH ARCH ROCK FISH RESTAURANT'S APPROVED LANDSCAPE DESIGN.



158 East Main, Suite 200
 Santa Barbara, CA 93101
 Phone: 805.961.1112
 Fax: 805.961.1126
 www.epcinc.com



ANTIOCH UNIVERSITY
 602 ANACAPA STREET
 SANTA BARBARA, CA 93101
 APN: 031-151-017

Date: 11/11/11
 Drawn: D.R.S.

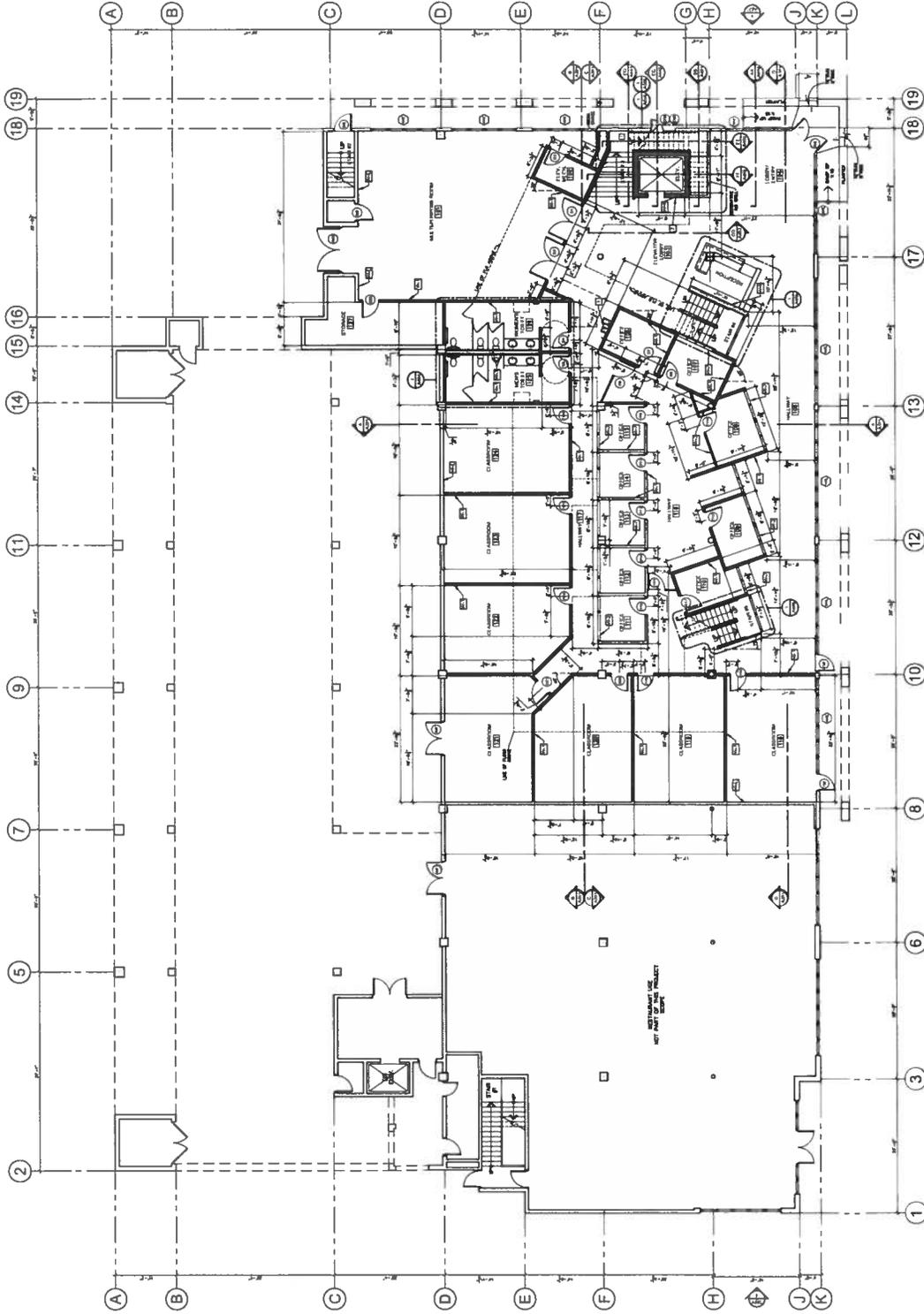
D.A.R.T.
 SUBMITTAL

LEVEL 1
 FLOOR PLAN

A103

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- FLOOR PLAN NOTES**
- 1. ALL FLOORS SHALL BE ACCESSIBLE PER ADA COMPLIANCE
 - 2. ALL STAIRS SHALL BE ACCESSIBLE PER ADA COMPLIANCE
 - 3. ALL STAIRS SHALL BE 120" MIN. CLEARANCE
 - 4. ALL STAIRS SHALL BE 48" MIN. CLEARANCE



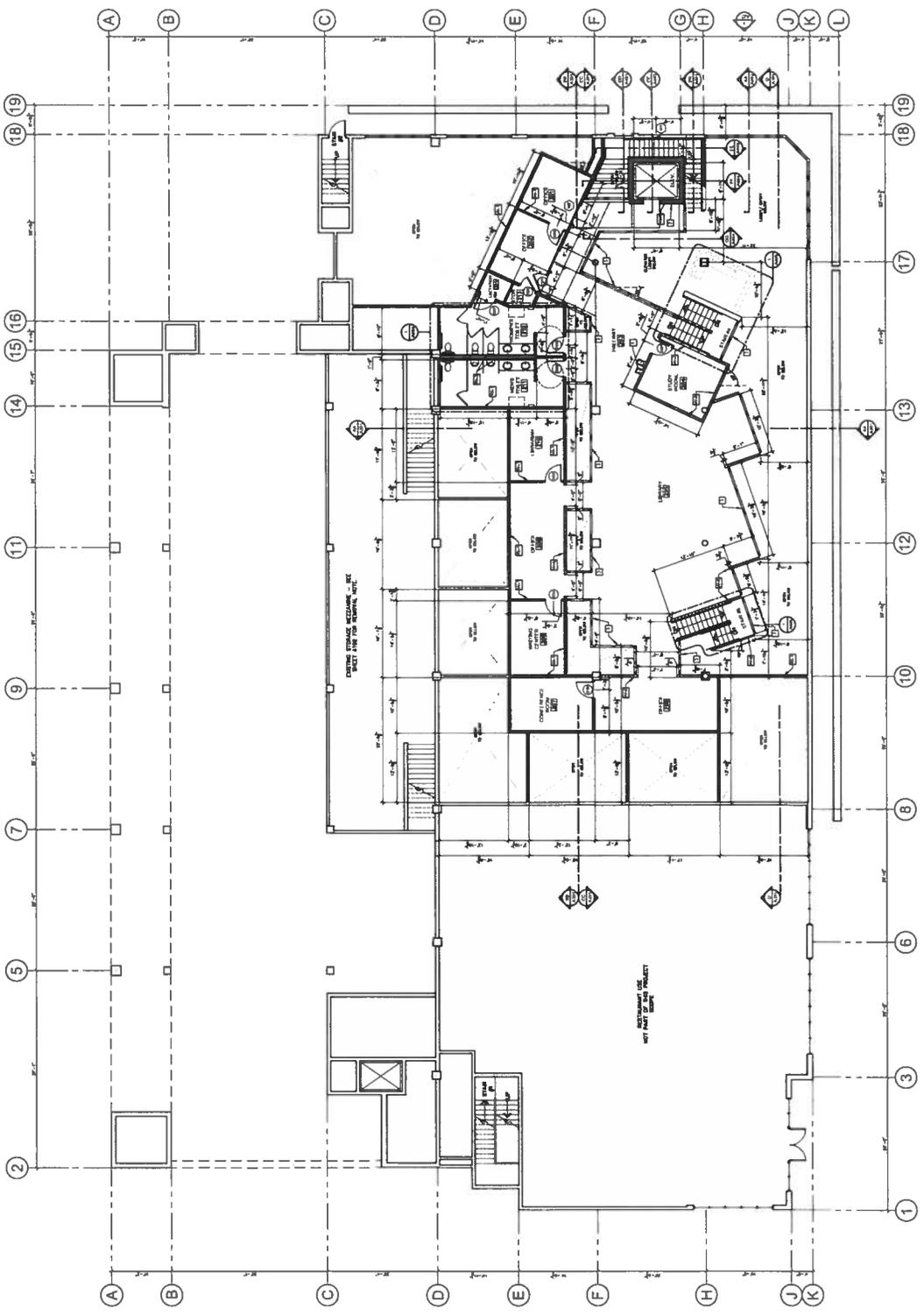
LEVEL 1 FLOOR PLAN
 SCALE: 1/8" = 1'-0"



WALL TYPE LEGEND

W-1	2" x 4" STEEL STUD
W-2	3" CONCRETE
W-3	2" x 4" STEEL STUD
W-4	12" SLEEVE FOR 8" x 8" POST
W-5	12" SLEEVE FOR 8" x 8" POST
W-6	EXISTING WALL
W-7	PARTIAL HEIGHT WALL APPROX. 6'-0"

- FLOOR PLAN NOTES**
- 1. WITH LOW ADA ACCESSIBLE DRINKING FOUNTAIN
 - 2. WITH LOW ADA ACCESSIBLE SINK
 - 3. CABLE GUARD RAIL SEE SHEET 1041 FOR DET.



WALL TYPE LEGEND

W-1	2 x 4 STUD STUD WALL
W-2	100MM TRANSLUCENT WALL
W-3	2 x 4 STEEL STUD WALL
W-4	6000 W/ ELEVATOR SHAFT WALL
W-5	6000 W/ MECHANICAL ROOM WALL SEE SHEET 1040
W-6	6000 W/ MECHANICAL ROOM WALL SEE SHEET 1041
W-7	PARTIAL HEIGHT WALL APPROX. 6'-6"

LEVEL 2 FLOOR PLAN
SCALE: 1/8" = 1'-0"



D.A.R.T.
SUBMITTAL

D 411 N 411
26 MAY 2018 09:47 AM

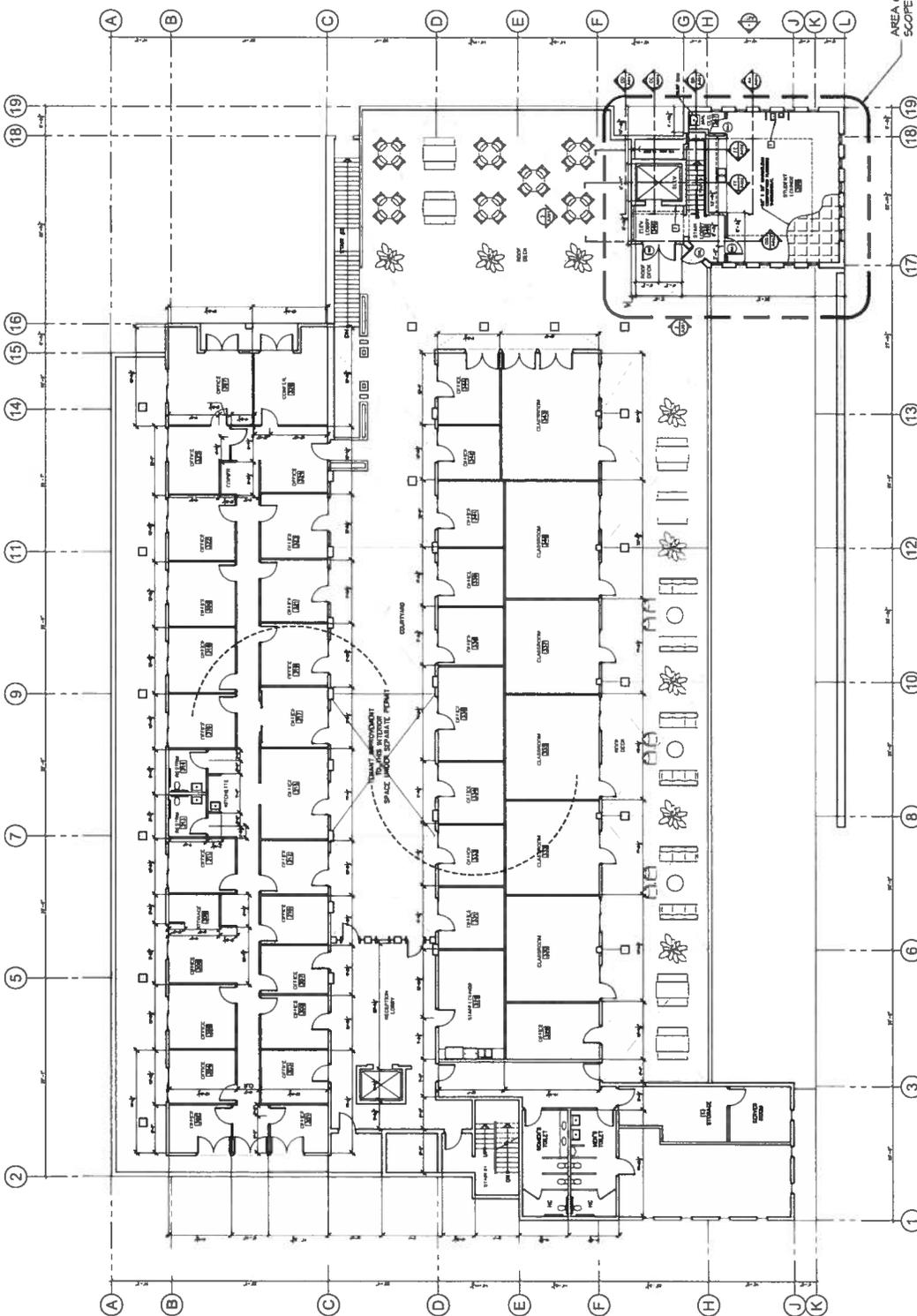
ANTIOCH UNIVERSITY
602 ANACAPA STREET
SANTA BARBARA, CA 93101
APN: 031-151-017



1785 East 17th Street
Santa Ana, CA 92705
Phone: 949-993-6124
Fax: 949-993-1134
www.hanscomb.com

FLOOR PLAN NOTES

- 1. PERMITTING AND ACCESSIBLE DRINKING FOUNTAIN.
- 2. SEE SHEETS A100 AND A101 FOR ELECTRICAL CONTROL.



LEVEL 3 FLOOR PLAN
 SCALE: 1/8" = 1'-0"



WALL TYPE LEGEND

W-1	2 x 4 STUD WALL
W-2	120MM INSULATED WALL
W-3	2 x 4 STEEL STUD WALL
W-4	12" ELEVATOR SHAFT WALL - SEE STRUCTURAL
W-5	12" CONCRETE WALL - SEE SHEET A100
W-6	12" CONCRETE WALL - SEE SHEET A100
W-7	PARTIAL HEIGHT WALL APPROX. 8'-0"

NOTE: LOCATION OF ELEVATOR SHAFT AND LOBBY AND ALTERATIONS TO THE STUDENT LOBBY COVERED IN THIS SUBMITTAL. ALL OTHER AREAS OF THIS LEVEL ARE SHOWN FOR REFERENCE ONLY.

ANTIOCH UNIVERSITY
 602 ANACAPA STREET
 SANTA BARBARA, CA 93101
 APN: 031-151-017



1788 Coast Village Circle
 Santa Barbara, CA 93108
 Phone: 805.969.1142
 Fax: 805.969.1134
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LEVEL 3
 FLOOR PLAN

A105

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 fax: 805.963.8104
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 SANTA BARBARA, CA 93101
 APN: 031-151-017

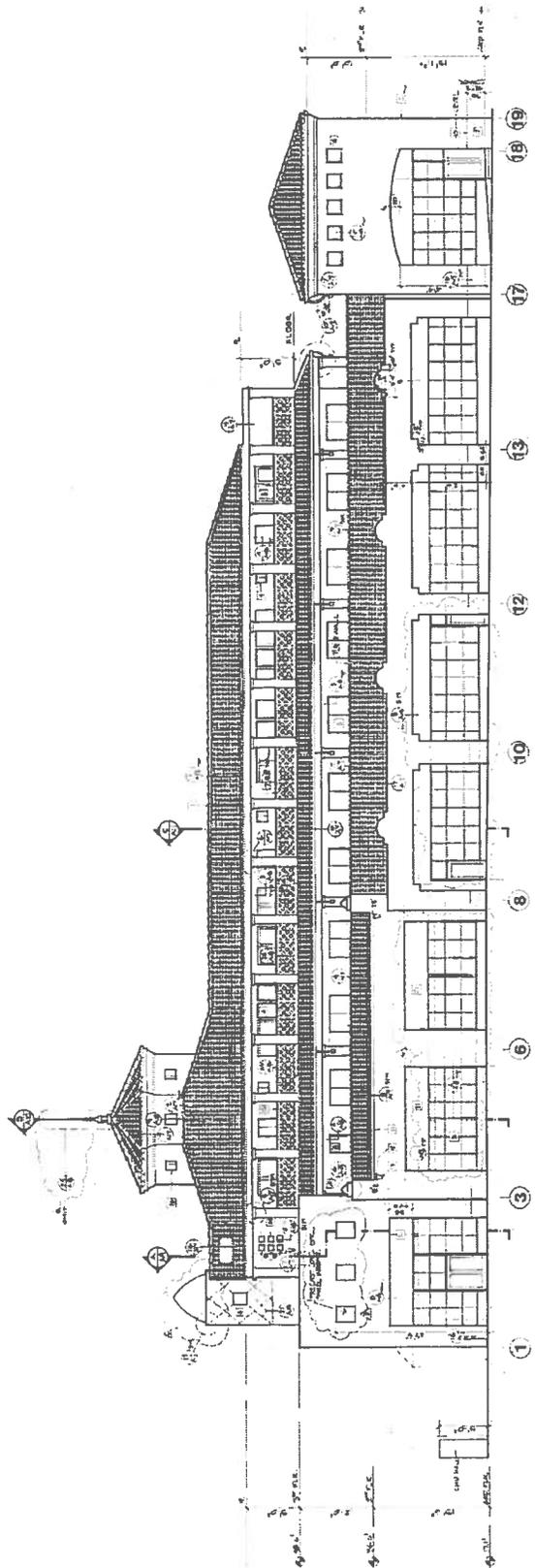
DATE: 08/11
 DRAWN BY: CHART BUDGET

D.A.R.T.
 SUBMITTAL

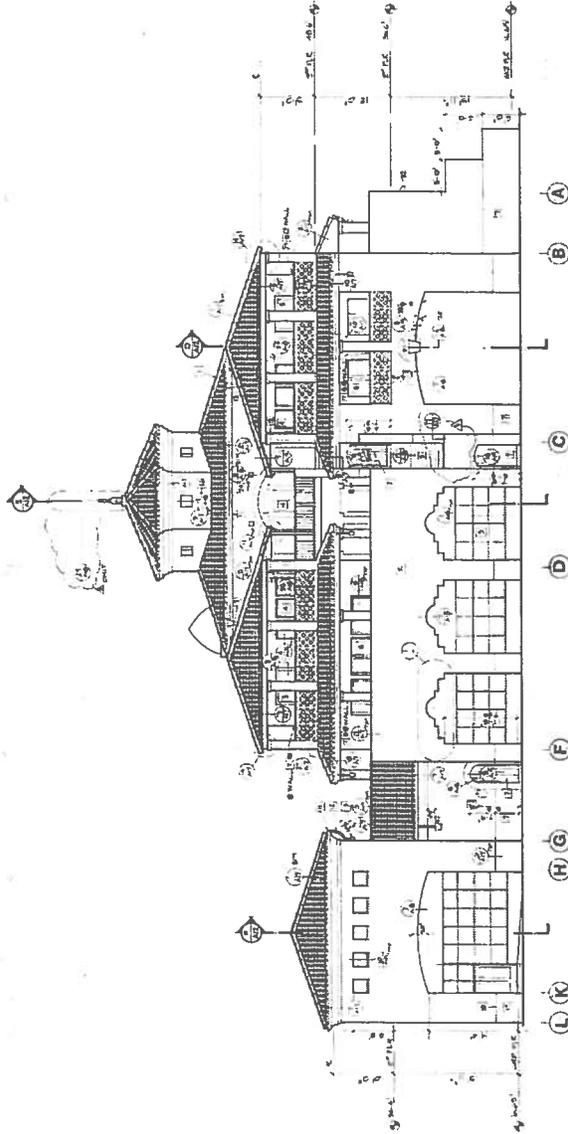
ELEVATIONS
 EXISTING

A201

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SOUTH ELEVATION - EXISTING
 SCALE: 1/8" = 1'-0"



EAST ELEVATION - EXISTING
 SCALE: 1/8" = 1'-0"



1700 Coast Energy Circle
 Santa Barbara, CA 93108
 phone: 805.963.6100
 fax: 805.963.6104
 www.elevationarchitects.com



ANTIOCH UNIVERSITY
 802 ANACAPA STREET
 SANTA BARBARA, CA 93101
 APN: 031-151-017

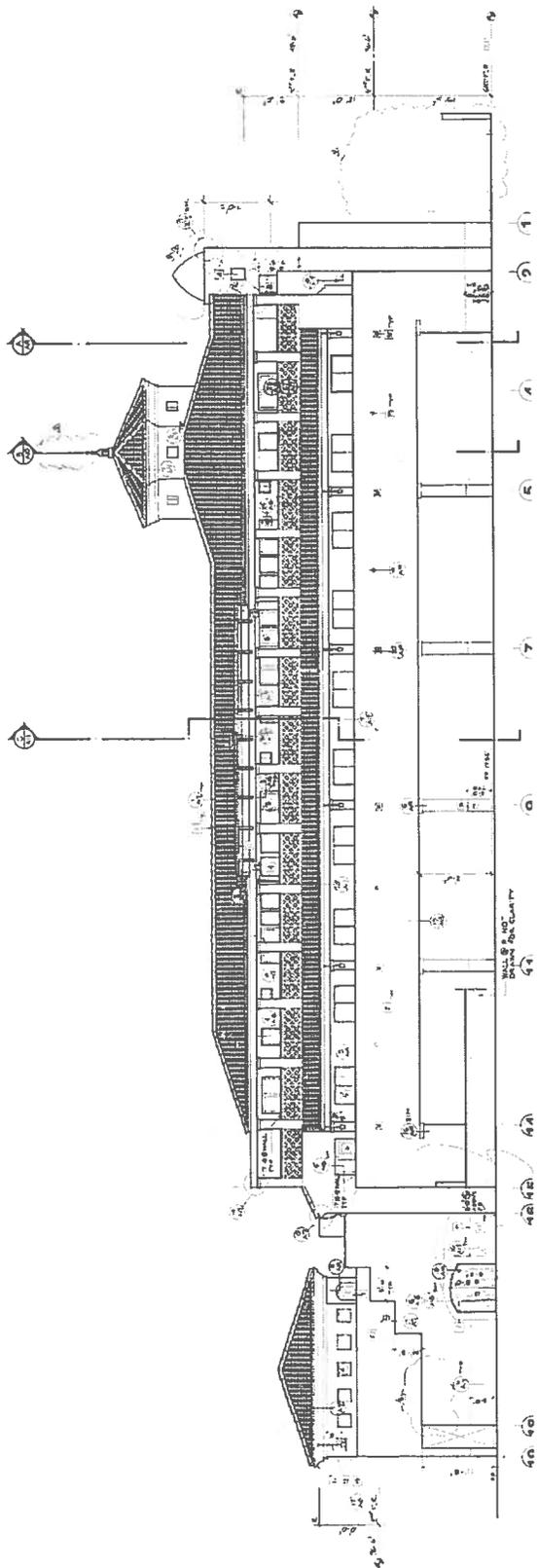
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 30 MAY 09 04:47:40PST

D.A.R.T.
 SUBMITTAL

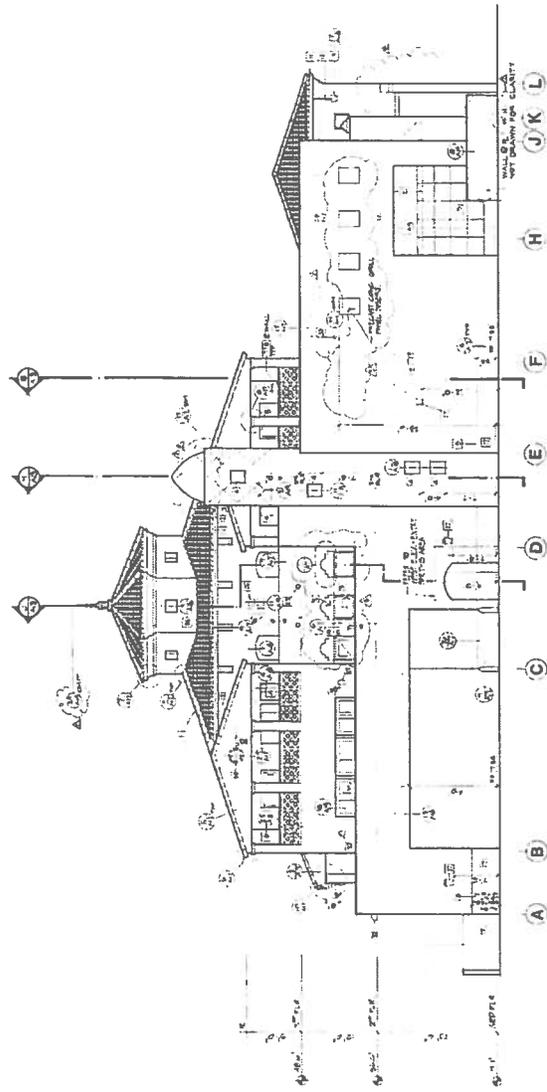
ELEVATIONS
 EXISTING

A202

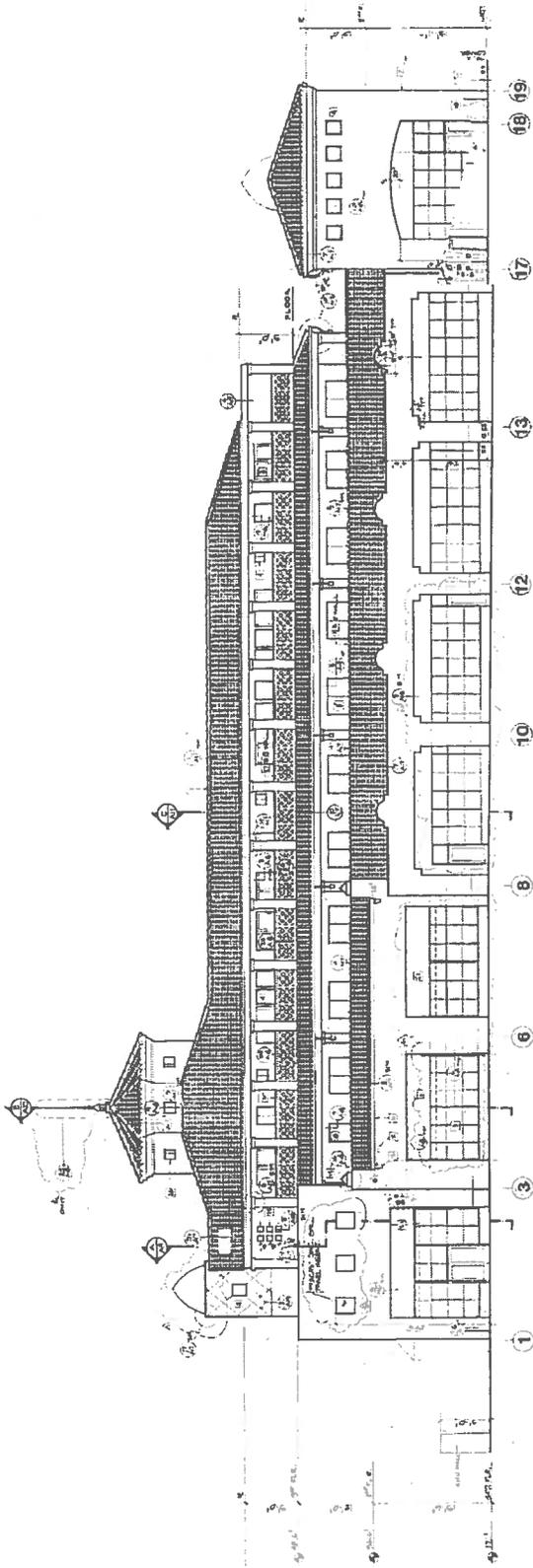
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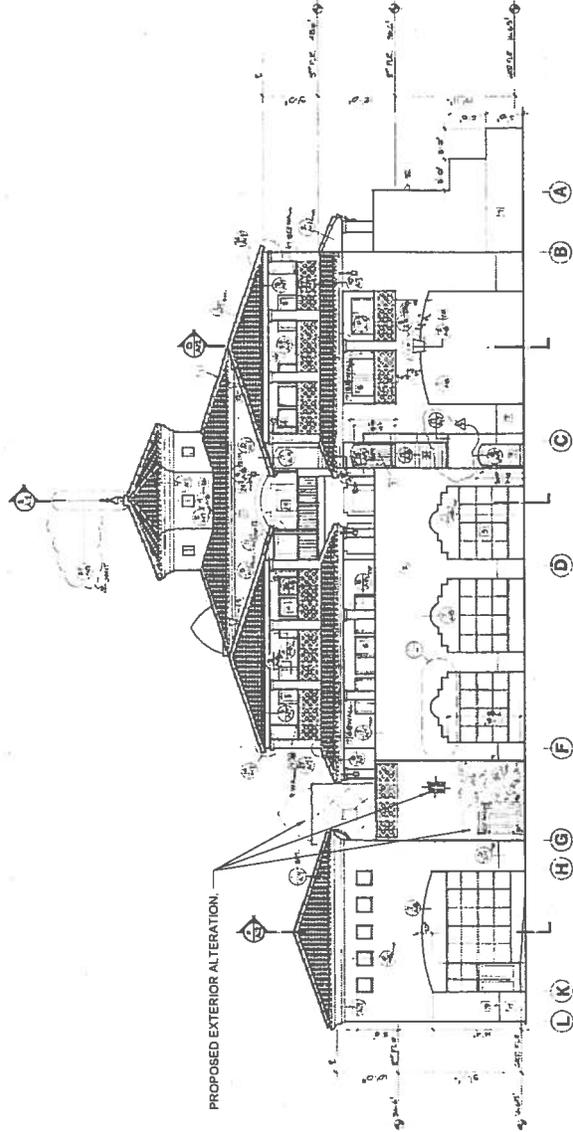
NORTH ELEVATION - EXISTING
 SCALE: 1/8" = 1'-0"



WEST ELEVATION - EXISTING
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - VERSION 2
SCALE 1/8" = 1'-0"



EAST ELEVATION - VERSION 2
SCALE 1/8" = 1'-0"

ANTIOCH UNIVERSITY
602 ANACAPA STREET
SANTA BARBARA, CA 93101
APN: 031-151-017



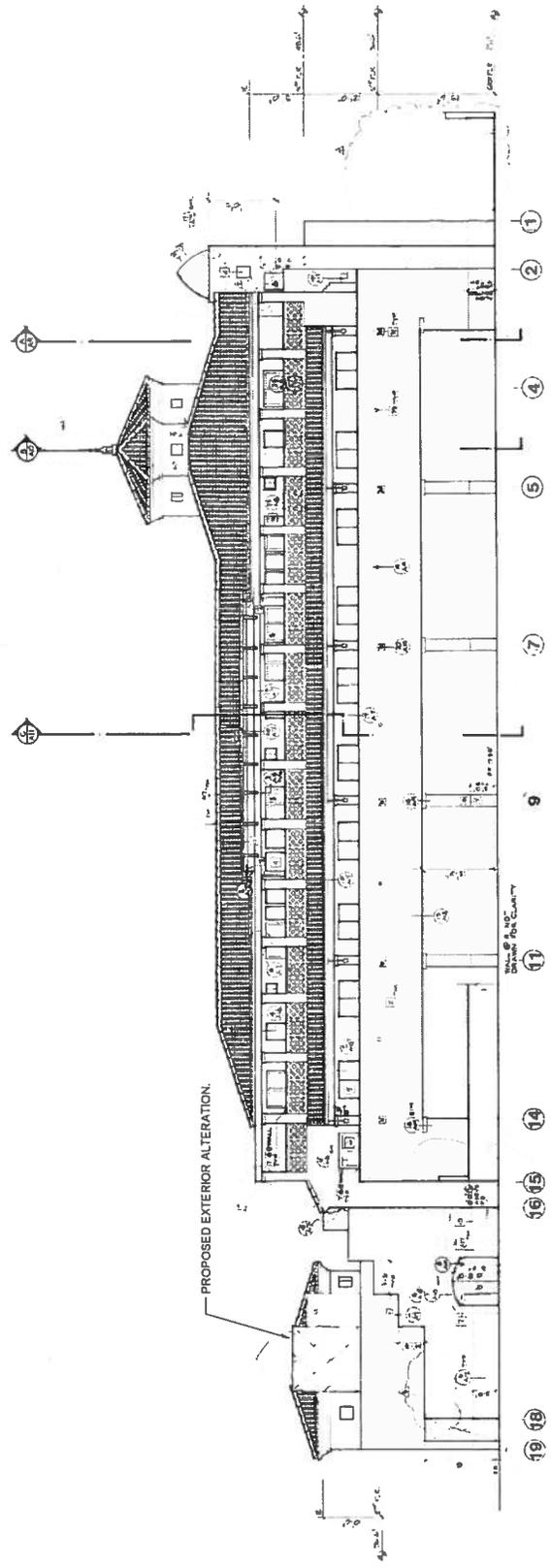
EXPLORE ARCHITECTS
1700 Coast Village Circle
Santa Barbara, CA 93108
PHONE: 805.963.8100
FAX: 805.963.5194
WWW.EXPLOREARCHITECTS.COM

DRAWN: RYAN
30 MAY 2006 DATE: 04/20/07

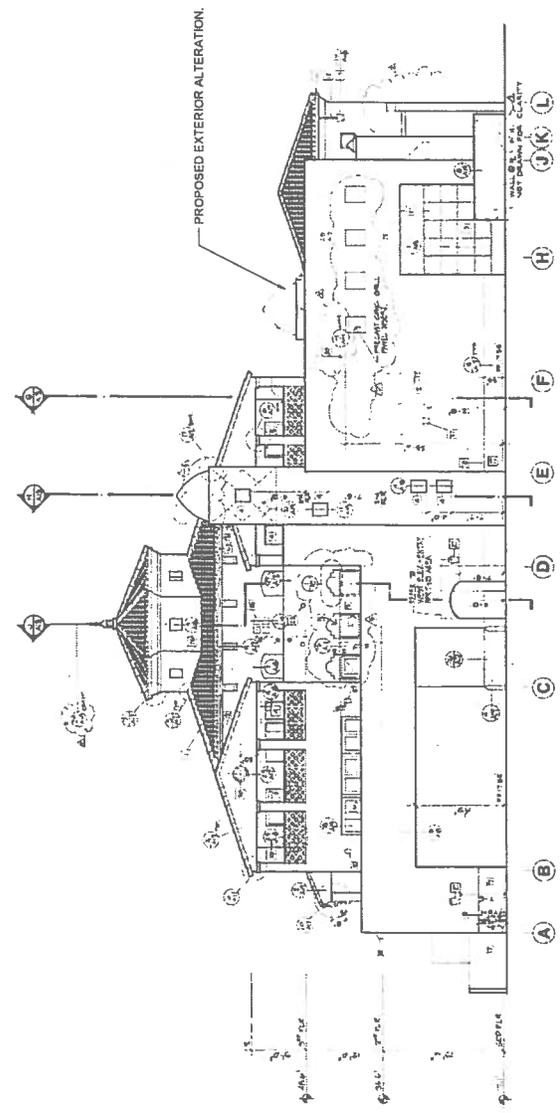
D.A.R.T.
SUBMITTAL

ELEVATIONS
PROPOSED

A903



NORTH ELEVATION - VERSION 2
 SCALE: 1/8" = 1'-0"



WEST ELEVATION - VERSION 2
 SCALE: 1/8" = 1'-0"



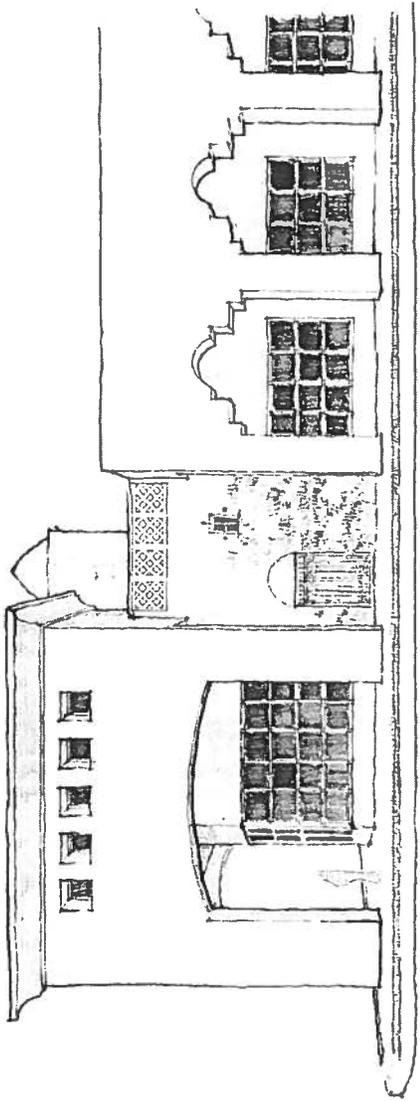
Date: _____
 Name: _____
 In what year: _____

D.A.R.T.
 SUBMITTAL

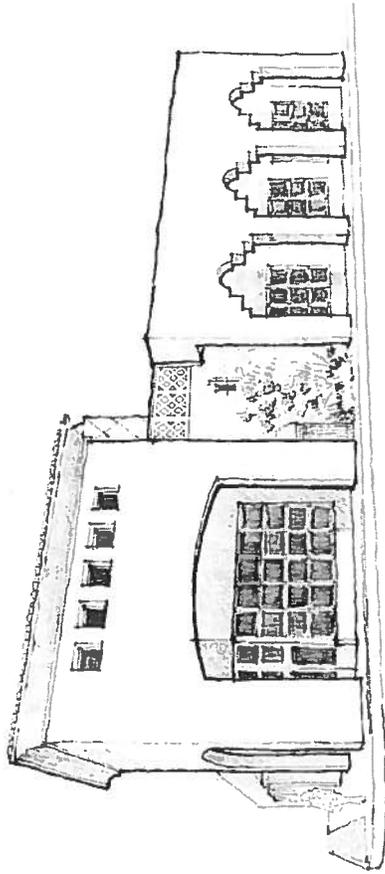
PERSPECTIVES

A906

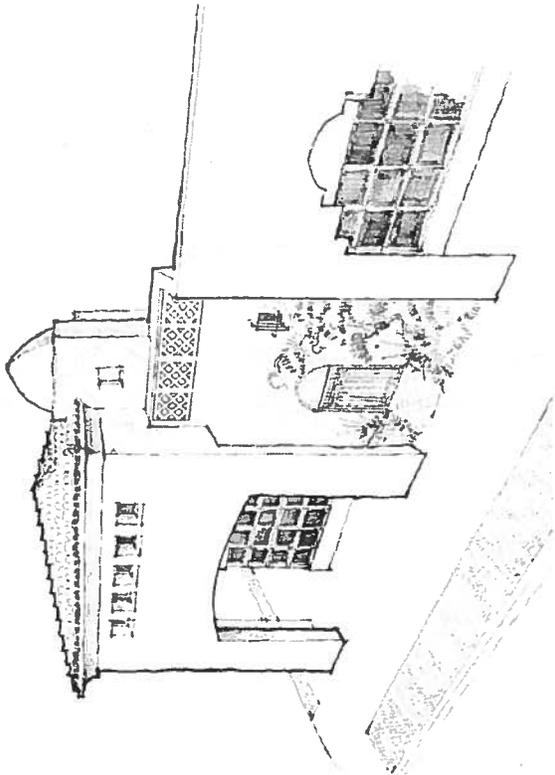
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PERSPECTIVE 1
 SCALE: N.T.S.



PERSPECTIVE 2
 SCALE: N.T.S.



PERSPECTIVE 3
 SCALE: N.T.S.

S U Z A N N E  E L L E D G E
P L A N N I N G & P E R M I T T I N G S E R V I C E S , I N C .

PRINCIPAL PLANNERS
SUZANNE ELLEDGE • LAUREL F. PEREZ

1 July 2011

Planning Commission
City of Santa Barbara
630 Garden Street
Santa Barbara, CA 93101

**RE: 602 Anacapa Street – Antioch University (MST2011-00145)
Applicant Letter/Project Description
Development Plan Approval/Community Priority**

Dear Commissioners,

On behalf of Antioch University, applicants of 602 Anacapa Street, we are pleased to submit this Applicant Letter/Project Description as part of the Development Application Review Team (DART) submittal material for your review.

I. Background

Antioch University, originally a single campus college was founded in 1852 in Yellow Springs, Ohio inspired by Horace Mann, a vocal advocate for higher education that promotes the common good. Antioch was one of the first coeducational colleges to offer the same curriculum to male and female students and the first to grant a tenured professorship to a woman. Antioch was also one of the first historically all-white colleges and universities to eliminate race as an admission requirement and to actively recruit African American students.

For more than 30 years, Antioch University's Santa Barbara (AUSB) campus has been part of the higher education community on the central coast in an opportune downtown location. AUSB is distinguished for its unique undergraduate degree completion program in liberal studies and its graduate master's and doctoral programs in clinical psychology and education that integrate students' academic experience and experiential learning. Today students' busy lives and diverse demands and responsibilities require educational institutions to provide a higher level of accessibility and flexibility. The community will benefit from the unique collaboration between Antioch University and the Hutton Parker Foundation who have purchased the property at 602 Anacapa Street and provided a long term lease.

The subject property is located on the corner of Anacapa and Cota Streets and is developed with a three-story mixed use building that was approved by the Planning Commission in 1986. The property, identified by APN 031-151-017, is a .76 acre (33,106 square feet) site zoned C-M (Commercial Manufacturing) and has a General Plan land use designation of Offices/Major Public Institutional. Additionally, the property is located in the Central Business District (CBD) and has an 80% designated parking zone of benefit.

Adjacent surrounding land use designations and zone districts are as follows:

North:

General Plan – Offices/General Commerce/Major Public Institutional
Zoning – C-M – Commercial/Manufacturing

East:

General Plan – Offices/Major Public Institutional
Zoning – Commercial/Manufacturing

South:

General Plan – General Commerce/Major Public Institutional
Zoning – Commercial/Manufacturing

West:

General Plan – Offices/Major Public Institutional
Zoning - Commercial/Manufacturing

II. Project Description

The first floor of the subject structure, approximately 14,088 square feet, is currently occupied by a restaurant and the remaining space, approximately 9,454 net square feet, is vacant. The project involves a tenant improvement and creation of a new second story within the structure. The new second floor consists 3,626 net square feet. No changes are proposed to six residential units located on the third story.

There is an existing parking garage that serves the property containing 31 spaces accessed off of Cota Street. No changes are proposed to the parking.

The proposed project will create classrooms and offices in phases as follows:

Phase I – This phase is being processed under BLD2011-00501 as an interior tenant improvement and does not require discretionary review.

Phase II – Phase II is being processed under MST2011-00105 and includes demolition of a 1,691 square foot mezzanine and construction of a 2,646 new second floor within the existing ground floor volume. The new second floor will also incorporate the property's remaining 955 square feet of Measure E square footage to be allocated from the Small Addition category. Phase II requires Development Plan approval by the Architectural Board of Review.

Since Antioch is on constrained schedule to complete renovations, Phase II is contingent upon how quickly Phase III can be processed. Please note that if Phase III can be processed within Antioch's time constraints, Phase II becomes unnecessary.

Phase III – This phase requires additional Development Plan square footage to be allocated by the Planning Commission and City Council, previously allocated 2,671 square feet and use of the additional 955 square feet of remaining Small Addition square footage to complete the second floor. The mezzanine proposed for demolition in Phase II would remain. On May 17, 2011, the project received a preliminary Community Priority designation and allocation by the City Council.

III. Discretionary Approvals for Consideration

The CMSB project requires City approval of three modifications, a Development Plan Approval, a Coastal Development Permit Approval, and Final Designation of a Community Priority project. Further description is provided below:

1. Preliminary Designation of Community Priority project development status per SBMC §28.87.300.
2. Development Plan Approval to allocate non-residential square footage from the Minor Addition and Community Priority categories per SBMC §28.87.300.
3. Final Designation of Community Priority project development status per SBMC §28.87.300.

The project requires a Development Plan approval to increase the internal non-residential floor area of the existing building. In 1992, Development Plan Approval findings were made for an addition of 1,691 square feet located in a mezzanine structure within the garage and an addition of 354 square feet of office space on the second floor. As a result, there are 955 square feet of non-residential floor area remaining in the minor additions category.

In order for the University to function and provide adequate classroom space, staff and faculty offices, and necessary student support space (such as the library and

writing center) we are requesting a Community Priority designation for additional floor area of 2,671 square feet beyond the allowed allocations from the minor and small additions categories. The mission statement of Antioch University is to nurture in their students the knowledge, skills and habits of reflection to excel as lifelong learners, democratic leaders and global citizens who live lives of meaning and purpose. As such AUSB contributes significantly to the general welfare of our community.

IV. Environmental Considerations

The proposed project will not create smoke, odors, or new noise sources.

The following section provides a summary of the traffic analysis included in the DART submittal package for evaluation of the proposed site conditions relative to potential impacts as a result of the proposed project.

Traffic and Circulation

A Traffic Analysis for the Antioch University Project, dated April 29, 2011, has been prepared by Associated Transportation Engineers (ATE). Potential traffic and parking impacts associated with the project were assessed based on operational data provided by Antioch University staff. As requested by City staff, the analysis addresses only the new 3,626 square feet second floor addition based on two land use scenarios: 1) the new building area occupied by Antioch University, and; 2) the new building area occupied as office space.

The analysis indicates that the Antioch University scenario will likely add 5 or more peak hour trips to the Anacapa/Ortega Street and Anacapa/Cota Street intersections. Once distributed beyond these intersections, the project would add less than 5 peak hour trips to any intersection in the downtown area.

The office use scenario would add less than 5 peak hour trips to the intersections in the study area.

Please see ATE's traffic analysis for more detailed information.

Operational Parameters

Antioch currently offers classes in 5 sessions, 9 am, 1 pm, 4:30 pm, 5:30 pm and 6:00 pm, each class running for 3 hours. The applicant is proposing to change the start time of these classes by adjusting them by 15 minutes to reduce peak hour trips. Classes are proposed to start a 9:15 am, 1:15 pm, 4:45 pm, 5:45 pm and 6:15 pm.

V. General Plan and Zoning Consistency

The proposed project is compatible with the C-M zoning and Offices/Major Public Institutional General Plan designations. As well, being located in the Central Business District (CBD), Antioch will be a welcome addition and add to the vibrancy of the CBD and the Anacapa corridor.

VII. Project Justification and Findings

The project is consistent with the zoning ordinance and an example of sound community planning. It meets the intent and purpose of the Development Plan and Community Priority designation. Additionally, the project is subject to review and approval by the Architectural Board of review and must meet the Board's mass, bulk and scale and neighborhood compatibility standards.

On behalf of the applicant and project team, we thank you for your review and comments regarding this PRT application.



This concludes our Applicant Letter/Project Description as part of the Antioch University DART submittal to the Land Development Team. Please do not hesitate to call me or any of the project team if you have any questions or require additional information related to our submittal. You may reach me at (805) 966-2758.

On behalf of the applicant and project team, we thank you for your consideration of this project.

Sincerely,

SUZANNE ELLEDGE
PLANNING & PERMITTING SERVICES



Trish Allen, AICP
Senior Planner



CITY OF SANTA BARBARA

COUNCIL AGENDA REPORT

AGENDA DATE: May 17, 2011
TO: Mayor and Councilmembers
FROM: Planning Division, Community Development Department
Subject: Community Priority Designation For 602 Anacapa Street

RECOMMENDATION:

That Council find that the Antioch University development project at 602 Anacapa Street meets the definition of a Community Priority Project, and grant the project a Preliminary Community Priority Designation for an allocation of 2,671 square feet of nonresidential floor area.

DISCUSSION:

Project Description

The project consists of a proposal to construct a 3,626 square foot (sf) addition, to create classrooms and offices for Antioch University, completely within the existing first floor volume of an existing mixed-use building. In order to proceed with this project, the applicant requests an allocation of 2,671 square feet from the Community Priority category. In addition to the requested allocation from the Community Priority category, the applicant has proposed the use of 955 square feet from the Small Addition category as defined in Santa Barbara Municipal Code Section 28.87.300.B to complete a new second floor within the existing one-story volume. The construction of the project is being phased to allow the applicant to expedite construction and the relocation of the school's administrative offices by May of 2011. All other areas of the university are expected to be constructed and relocated by the Fall of 2011.

Background

On March 7, 2011, the City received an Architectural Board of Review application for minor exterior alterations. The proposal included the demolition of a 1,691 square-foot exterior mezzanine, and construction of a 2,646 square foot second floor within the existing one-story volume (1,691 square feet to be demolished plus a 955 square-foot Small Addition = 2,646 square feet total floor area). Development Plan Approval (DPA) by the Architectural Board of Review is required because the cumulative additions for the site are between 1,000 and 3,000 square feet.

On March 10, 2011, the City received a building permit application for interior tenant improvements on the existing first and second floors of the building, for the school use (Antioch University).

On March 30, 2011, the applicant submitted a Pre-application Review Team (PRT) application which proposed to retain the 1,691 square-foot exterior storage mezzanine and increase the total additions by 980 square feet. The applicant has requested that City Council allocate 2,671 square feet from the Community Priority designation to complete the project. The phasing described was necessitated by the applicant's financial need to expedite the school's occupancy, and insufficient amount of time to obtain the required approvals for a single un-phased project. The resulting project would consist of a 3,626 square foot ($2,671 + 955 = 3,626$) addition to create a new second floor within the one-story volume with some exterior alterations. This proposal also includes a request for Development Plan Approval by the Planning Commission. The applicant continues to process the two applications concurrently to meet the school's scheduled occupancy dates. The environmental review for the cumulative project will be completed prior to an approval being granted for either project.

On April 7, 2011, staff brought the proposed change of use request to the Planning Commission during a lunch meeting and advised the Commission of the determination that the use had been found in substantial conformance with the original conditions of approval for the mixed-use building. Staff also informed the Commission of the phased approach for the project. The Commission supported staff's determination.

Community Priority Category

SBMC §28.87.300 provides for City Council designations of square footage for projects of broad public benefit deemed "*necessary to meet present or projected needs directly related to public health, safety or general welfare*". To date, a total of 231,965 square feet has been allocated (both preliminary and final designations) out of the Community Priority Category, with 68,035 square feet still available. Please refer to Attachment 3 for a list of Community Priority projects that have received a Preliminary or Final Designation. As noted on the list, there are some preliminary designations that may be reallocated to other categories, or withdrawn. These changes could possibly result in 27,000 to 99,500 square feet being added back to the Community Priority category to be used for future allocations.

Needs Assessment

As discussed above, the proposed addition would accommodate the school's existing operational needs from existing programs which are being relocated to the site. The project meets the definition of a community priority project because Antioch is an institution of higher learning which caters to Santa Barbara residents by providing students knowledge, skills, and habits which contribute to the general welfare of the community. Both Staff and the Planning Commission believe that the project meets the

definition of a community priority and, therefore recommend approval of a Preliminary Community Priority Category allocation of 2,617 square feet.

NOTE: The project plans have been sent separately to the City Council and are available for public review in the City Clerk's Office.

- ATTACHMENTS:**
1. Site Plan and floor plans
 2. Applicant Letter dated April 2011
 3. Community Priority Projects List

PREPARED BY: Suzanne Riegle, Assistant Planner

SUBMITTED BY: Paul Casey, Assistant City Administrator

APPROVED BY: City Administrator's Office



City of Santa Barbara
Community Development Department

Memorandum

DATE: April 18, 2011

TO: Planning File

FROM: Suzanne Riegler, Assistant Planner 

SUBJECT: 602 Anacapa Street (Anacota Building); BLD2011-00501
Substantial Conformance Determination.

On January 16, 1986, the Planning Commission granted Development Plan approval of a 23,960 mixed-use building containing six residential units (5,467 square feet) on the third floor, 9,367 square feet of office on second floor and 14,126 square feet of retail on the ground floor area. The conditions of approval, as adopted by the Planning Commission, included a condition (Condition B.2) limiting the second floor office use to professional offices (Planning Commission Resolution No. 009-86).

History: During the early 1980s, a mixed-use study was completed to give direction on compatibility of uses and future zoning of the downtown. The staff report for the development recognized that there were no similar projects to compare the project too. A previous version of the project was denied by the Planning Commission that included residential uses on both the second and third floor directly above the retail uses.

On March 28, 2011, the City received a request for Suzanne Elledge Planning and Permitting Services requesting that the use of the second floor as administrative offices and classrooms for Antioch University be found to be in substantial conformance determination with professional offices. On April 7, 2011, staff brought the proposed change of use to the Planning Commission during a lunch meeting and advised the Commission of the determination that the use had been found in substantial conformance with the original conditions of approval. The Commission supported staffs determination.



DESIGN REVIEW ACTIVITIES SUMMARY

602 ANACAPA ST (MST2011-00105)

R-MAJOR ADDITION

Proposal for a new 2,646 square foot interior mezzanine floor between the existing first and second floors within the existing three-story building. The proposal includes demolition of a 1,691 square foot mezzanine floor in the existing parking garage, and 354 square feet of previously approved square footage will remain. Exterior alterations are proposed on the Cota Street side of the building for a new interior elevator. Development Plan Approval is requested for 3,000 square feet of new non-residential floor area.

Status: Pending

DISP

Date 3

ABR-Concept Review (New) - PH

CONT

03/21/11

(Project requires Development Plan Approval findings.)

Actual time: 4:35

Present: Trish Allen, Agent; Robert Kupiec, Architect; Nancy Leffert, President of Antioch University.

Public comment was opened at 4:46p.m. As no one wished to speak, public comment was closed.

Motion: Continued two weeks to Full Board with the following comments:

- 1) The proposed alteration for the elevator is appropriate in mass, bulk, and scale for the existing structure.
- 2) Study opportunities for additional landscaping on the site and parkway. Coordinate the parkway landscape design to be compatible with the recently approved landscape plan for the adjacent tenant "Arch Rock Fish".
- 3) Study the elevator tower roof to distinguish the roof from the adjacent larger tower.
- 4) Study additional coverage of the elevator roof.
- 5) Provide a complete site plan indicating compliance with ADA requirements for the entry as well as parkways and landscape areas.

Action: Rivera/Aurell, 4/0/0. Motion carried. (Sherry stepped down. Gilliland and Zink absent)

ABR-Project Design Hearing

CONT

05/02/11

(Project requires Development Plan Approval findings.)

Actual time: 4:31

Present: Trish Allen, Agent; Robert Kupiec, Architect.

Suzanne Riegle, Associate Planner, explained the project's phasing schedule.

Public comment was opened at 4:42 p.m. As no one wished to speak, public comment was closed.

Two motions were made and carried:

1st Motion: Approve the second floor sliding door changes as proposed

Action: Aurell/Rivera, 6/0/0. Motion carried. (Sherry stepped down.)

2nd Motion: Continued indefinitely to Consent Calendar with the following comments:

- 1) The Moorish tower presented in version 2 is preferred.
- 2) Provide details of the transition for the second floor elevator vestibule.
- 3) Study increasing the landscaping by removing concrete beneath the arcades.
- 4) Provide an alternate solution for parkway landscaping; removal of the pavers is acceptable.

- 5) Provide a planting plan and plant list for the landscape improvements.
 - 6) Research existing curb parking red zone locations where taller plants may be used.
- Action: Aurell/Mosel, 6/0/0. Motion carried. (Sherry stepped down.)
(Project requires Development Plan Approval findings. Project was last reviewed on March 21, 2011.)

Actual time: 4:31

Present: Trish Allen, Agent; Robert Kupiec, Architect.
Suzanne Riegle, Associate Planner, explained the project's phasing schedule.

Public comment was opened at 4:42 p.m. As no one wished to speak, public comment was closed.

Two motions were made and carried:

1st Motion: Approve the second floor sliding door changes as proposed.

Action: Aurell/Rivera, 6/0/0. Motion carried. (Sherry stepped down.)

2nd Motion: Continued indefinitely to Consent Calendar with the following comments:

- 1) The Moorish tower presented in Version 2 is preferred.
- 2) Provide details of the transition for the second floor elevator vestibule.
- 3) Study increasing the landscaping by removing concrete beneath the arcades.
- 4) Provide an alternate solution for parkway landscaping; removal of the pavers is acceptable.
- 5) Provide a planting plan and plant list for the landscape improvements.
- 6) Research existing curb parking red zone locations where taller plants may be used.

Action: Aurell/Mosel, 6/0/0. Motion carried. (Sherry stepped down.)

Final approval of door changes on existing second floor.



ASSOCIATED TRANSPORTATION ENGINEERS

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Richard L. Pool, P.E.
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April 29, 2011

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Trish Allen
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1029 Santa Barbara Street
Santa Barbara, CA 93101

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MAY 26 2011
CITY OF SANTA BARBARA
PLANNING DIVISION

TRAFFIC ANALYSIS FOR THE ANTIOCH UNIVERSITY PROJECT, CITY OF SANTA BARBARA

Associated Transportation Engineers (ATE) has prepared the following traffic analysis for the Antioch University Project, proposed in the City of Santa Barbara. The traffic analysis reviews the project trip generation and is intended to provide City staff with the traffic data required to complete the project's environmental review.

PROJECT DESCRIPTION

Antioch University is proposing to relocate its existing downtown campus from the current location at 801 Garden Street to the Anacota Building, located on the northeast corner of the Anacapa Street/Cota Street intersection. The Anacota Building was originally approved in 1986 and was developed as a mixed-use facility that included retail and offices uses on the first two floors and residential uses on the third floor. The traffic impacts of the Anacota Building were evaluated during the original approval process based on an analysis that tiered from the Downtown Traffic and Air Quality EIR.

The project is also proposing to add a new 3,626 SF second floor to the interior of the building. City staff requested that the traffic analysis be prepared for the new square-footage assuming two land use scenarios: 1) the new building area is occupied by Antioch University and 2) the new building area is occupied as office space.

EXHIBIT G

Engineering • Planning • Parking • Signal Systems • Impact Reports • Bikeways • Transit

PROJECT TRIP GENERATION

Scenario 1-Antioch University

The Institute of Transportation Engineers (ITE) Trip Generation report (8th Edition)¹ does not contain traffic data for small universities similar to Antioch University thus the trip generation estimates for Antioch were developed based on the faculty, staff and student schedules provided by university staff for the Winter 2011 quarter (data attached for reference). The analysis utilizes the weekday data (Monday - Friday) and assumes that 80% of the faculty, students, and staff would drive alone to the campus (based on previous Antioch commuter survey data and SBCAG commuter data) to determine the total number of daily and peak hour trips generated by the University. The total number of trips were then correlated to the existing square-footage occupied by Antioch University (19,800 SF) to develop weekday average trip rates (see attached worksheet). The trip generation rates were then applied to the proposed increase in building size (3,626 SF) to determine the new traffic generated at the site. Table 1 presents the trip generation estimates developed for the project.

Table 1
Project Trip Generation - Scenario 1 Antioch University

Land Use	Size	Average Daily		A.M. Peak Hour		P.M. Peak Hour	
		Rate	Trips	Rate	Trips	Rate	Trips
Antioch University	3,626	21.22	77	3.13	11	3.57	13

The data presented in Table 2 show that the additional 3,626 SF of building area added to the Anacota Building would generate 77 average daily trips, 11 A.M. peak hour trips, and 13 P.M. peak hour trips if occupied by Antioch University.

Scenario 2 - Office Space

City staff requested that a second traffic analysis scenario be completed assuming that the 3,626 SF of new building area would be utilized as standard office use in the future. The ITE average trip rates for General Offices were used for this analysis. Table 2 shows the trip generation estimates for the new building area assuming an office use.

¹ Trip Generation, Institute of Transportation Engineers 8th Edition, 2008.

Table 2
Project Trip Generation - Scenario 2 Office Space

Land Use	Size	Average Daily		A.M. Peak Hour		P.M. Peak Hour	
		Rate	Trips	Rate	Trips	Rate	Trips
Office	3,626 SF	11.01	40	1.55	6	1.49	5

The data presented in Table 2 show that the additional 3,626 SF of building area added to the Anacota Building would generate 40 average daily trips, 6 A.M. peak hour trips and 5 P.M. peak hour trips if occupied as office space.

TRAFFIC STUDY REQUIREMENTS

The City of Santa Barbara's practice of assessing project-specific and cumulative traffic impacts involves following 5 peak hour vehicle trips or more through intersections within the project study-area. This practice provides a statistical certainty for determining project-generated traffic additions at critical intersections on a day-to-day basis.

As shown in Table 1, the Antioch University Project is forecast to generate 11 A.M. peak hour trips and 13 P.M. peak hour trips. The project is likely to add 5 or more trips to the two intersections on Anacapa Street north and south of the site (Anacapa Street/Ortega Street and Anacapa Street/Cota Street). Once distributed beyond these locations, the project would add less than 5 trips to any intersection in the downtown area, including the critical intersections in the Garden Street and Castillo Street corridors adjacent to U.S. Highway 101.

The data presented in Table 2 show that the office use scenario would generate 6 A.M. and 5 P.M. peak hour trips. Once these trips are distributed from the project site, the project would add less than 5 peak hour trips to the intersections in the study area. Based on the City's impact criteria, the project would not have the potential to generate significant traffic impacts.

This concludes ATE's traffic analysis for the Antioch University Project.

Associated Transportation Engineers

A handwritten signature in blue ink, appearing to read 'SAS', is written above the typed name.

Scott A. Schell, AICP, PTP
Principal Transportation Planner

SAS/MMF

Attachments: Antioch University Faculty and Staff Schedules
Antioch University Class Schedules
Antioch University Trip Generation Worksheet

Antioch University Santa Barbara
 Work Schedules for Staff and Faculty 2011

	Monday	Tuesday	Wednesday	Thursday	Friday
Faculty					
9:00 - 4:00	15	20	20	20	4
9:00 - 5:00	0	0	0	2	2
8:00 - 3:00	0	1	1	1	0
11:00 - 2:00	1	1	1	1	0
2:00 - 5:00	1	1	1	1	0
9:00 - 12:00	2	4	2	7	5
1:00 - 4:00	2	4	2	7	0
4:30 - 7:30	3	3	3	3	0
6:00 - 9:00	4	5	3	8	0
Staff					
9:00 - 5:00	14	15	15	15	1
8:00 - 5:00	7	7	7	7	5
9:00 - 12:00	0	0	0	0	10
6:00 - 9:00	1	1	1	1	0
9:00 - 7:00	0	2	2	0	0
Total #	50	64	58	73	27
F/T Staff:	22				
F/T Faculty:	15				
P/T Staff:	3				
P/T Faculty:	6				
Adjunct Fac:	47				
Peak Period:					
8:00 - 5:00 (greatest number of fac/staff at one time)	38	49	47	54	27

Winter 2011 - Antioch Class Schedules

			# of Classes	Students per Class	
Monday	9am - 11:50pm	BA	1	11	32
		MAE			
		MACP	1	21	
		PsyD			
	1pm - 3:50pm	BA	1	22	31
		MAE			
		MACP	1	9	
		PsyD			
	4:30pm-7:30pm	BA	1	6	31
		MAE	3	13,8,4	
		MACP			
		PsyD			
	5:30pm-8:30pm	BA			19
		MAE			
		MACP	2	7,12	
		PsyD			
6pm - 8:50pm	BA	4	8,9, 15, 24	56	
	MAE				
	MACP				
	PsyD				
Tuesday	9am - 11:50pm	BA	2	12,24	89
		MAE			
		MACP	4	12,12,11,18	
		PsyD			
	1pm - 3:50pm	BA	1	20	71
		MAE			
		MACP	4	18,10,10,13	
		PsyD			
	4:30pm-7:30pm	BA			24
		MAE	3	7,11,6	
		MACP			
		PsyD			
	5:30pm-8:30pm	BA			
		MAE			
		MACP			
		PsyD			
6pm - 8:50pm	BA	3	9,13,29	107	
	MAE				
	MACP	5	17,11,9,9,10		
	PsyD				

Winter 2011 - Antioch Class Schedules

		# of Classes	Students per Class		
Wednesday	9am - 11:50pm	BA	1	18	70
		MAE			
		MACP	4	10,12,13,17	
		PsyD			
	1pm - 3:50pm	BA	2	10,14	67
		MAE			
		MACP	4	8,13, 9, 13	
		PsyD			
	4:30pm-7:30pm	BA	1	3	28
		MAE	3	7,12,6	
		MACP			
		PsyD			
	5:30pm-8:30pm	BA			
		MAE			
		MACP			
		PsyD			
6pm - 8:50pm	BA	2	12,14	65	
	MAE				
	MACP	3	15,10,14		
	PsyD				
Thursday	9am - 11:50pm	BA	1	20	62
		MAE			
		MACP	1	16	
		PsyD	5	11,15	
	1pm - 3:50pm	BA			76
		MAE			
		MACP	1	17	
		PsyD	5	11,12,14,11,11	
	4:30pm-7:30pm	BA			14
		MAE	2	7,7	
		MACP			
		PsyD			
	5:30pm-8:30pm	BA			6
		MAE			
		MACP			
		PsyD	1	6	
6pm - 8:50pm	BA	3	7,20,10	120	
	MAE				
	MACP	3	9,13,12		
	PsyD	4	16,16,12,5		

Winter 2011 - Antioch Class Schedules

		# of Classes	Students per Class	
Friday	9am - 11:50pm	BA		
		MAE		
		MACP		
		PsyD	6	12,12,11,15,12,11
	1pm - 3:50pm	BA		
		MAE		
		MACP		
		PsyD		
	4:30pm-7:30pm	BA		
		MAE		
		MACP		
		PsyD		
	5:30pm-8:30pm	BA		
	MAE			
	MACP			
	PsyD			
6pm - 8:50pm	BA	1 (1x)	14	
	MAE			
	MACP	5 (1x)	16,19,18,16,12,9	
	PsyD			

73

Saturday	9am - 5pm	BA	4	8,10,21,9
		MAE		
		MACP	4	27,15,9,10
		PsyD	1	12
	1pm - 3:50pm	BA	1	
		MAE		
		MACP		
		PsyD		

121

#11016 - ANTIOCH UNIVERSITY PROJECT
STUDENT & STAFF TRIP GENERATION TABLE

TOTAL STUDENTS/STAFF W/ REVISED CLASS SCHEDULE

TIME	TUESDAY						WEDNESDAY						THURSDAY						WEEKDAY AVERAGE						
	STAFF		STUDENTS		STUDENTS		STUDENTS		STUDENTS		STUDENTS		STUDENTS		STUDENTS		STUDENTS		STUDENTS		STUDENTS		STUDENTS		
	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	
7:00-8:00 A.M.	8	0	0	0	8	0	0	0	0	8	0	0	0	0	0	0	0	0	0	8	0	0	0	8	0
8:00-9:00 A.M.	39	0	0	0	37	0	0	0	0	44	0	0	0	0	0	0	0	0	0	40	0	0	0	40	0
4:00-5:00 P.M.	3	24	0	0	3	22	28	0	0	3	27	14	0	0	0	0	0	0	3	24	22	0	25	24	49
5:00-6:00 P.M.	7	23	0	0	5	23	0	0	0	8	25	0	0	0	0	0	0	0	7	24	24	0	7	24	30

STUDENTS/STAFF TRIPS W/ REVISED CLASS SCHEDULE (ASSUMES 80% DRIVE ALONE FACTOR)

TIME	TUESDAY						WEDNESDAY						THURSDAY						WEEKDAY AVERAGE							
	STAFF		STUDENTS		STUDENTS		STUDENTS		STUDENTS		STUDENTS		STUDENTS		STUDENTS		STUDENTS		STUDENTS		STUDENTS		STUDENTS		STUDENTS	
	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT	IN	OUT
7:00-8:00 A.M.	6	0	0	0	6	0	0	0	0	6	0	0	0	0	0	0	0	0	6	0	0	0	6	0	6	0
8:00-9:00 A.M.	31	0	0	0	30	0	0	0	0	35	0	0	0	0	0	0	0	0	32	0	0	0	32	0	32	0
4:00-5:00 P.M.	2	19	19	0	2	18	22	0	0	2	22	11	0	0	0	0	0	0	2	19	18	0	20	19	39	19
5:00-6:00 P.M.	6	18	0	0	4	18	0	0	0	6	20	0	0	0	0	0	0	0	5	19	19	0	5	19	24	19

TUE. WED. THUR. AVG.
 DAILY STAFF 64 58 73 65
 DAILY STUDENTS 291 230 278 266
 TOTAL 331
 80% DRIVE-ALONE 265
 AVERAGE DAILY TRAFFIC 530

