



City of Santa Barbara California

PLANNING COMMISSION STAFF REPORT

REPORT DATE: September 3, 2009
AGENDA DATE: September 10, 2009
PROJECT ADDRESS: 920 Summit Road (MST2005-00831)
 "Montecito Country Club"
TO: Planning Commission
FROM: Planning Division, (805) 564-5470
 Danny Kato, Senior Planner *DK*
 Allison De Busk, Project Planner *ALD*

I. PROJECT DESCRIPTION

The project consists of changes to the existing site plan of the Montecito Country Club and Golf Course (MCC). The project site is comprised of ten parcels totaling 114.352-acres, and is situated at the northwest corner of Old Coast Highway and Hot Springs Road. The project includes:

- a redesign of the existing golf course, including grading, removal of trees and a habitat restoration and revegetation plan;
- improvements to the exterior and perimeter of the existing clubhouse;
- demolition of the existing maintenance buildings (square feet), cart barn (square feet), tennis pro shop (square feet), flammable materials building (square feet) and tennis courts;
- construction of a new maintenance building (square feet), new golf pro shop (square feet), new tennis pro shop (square feet), new cart barn (square feet) and new tennis courts; and
- construction of a new 400 square foot residential unit located above the proposed maintenance building, to be occupied by a Club employee.

Net new non-residential square footage resulting from the project is approximately 1,320 square feet. The project's grading would involve approximately 106,000 cubic yards of cut and 86,000 cubic yards of fill. It is anticipated that grading associated with the project will be balanced on site due to recompaction. The project involves removal of 361 trees and other landscaping, including all golf course turf.

The project does not propose any substantial changes to existing operations outlined in the Club's existing Conditional Use Permit (CUP). Membership is limited to 680 members. The Club is used by members for golf, tennis and dining on a year-round basis. The Club is open 7 days a week from 7:00 am to 9:30 pm (closed Christmas and New Year's Day). The Club also includes meeting rooms, lounges, locker rooms and a golf shop, and hosts on site functions including dinners, dances, parties, meetings and tournaments for member and guests. Additionally, the Clubhouse dining room and

meeting rooms are occasionally rented to outside groups for special events such as weddings, parties, banquets and meetings. These events typically occur in the afternoon or evening hours.

For a more detailed project description, please refer to the Initial Study (Exhibit D) and the Applicant Letter (Exhibit C).

II. REQUIRED APPLICATIONS

The discretionary applications required for this project are:

1. A Modification to allow fencing to exceed 3½ feet in height along the front lot lines (SBMC §28.92.110.A.3);
2. A Coastal Development Permit (CDP2008-00021) for the portion of the project (grading and vegetation removal) that is within the Appealable and Non-Appealable Jurisdiction of the City's Coastal Zone (SBMC §28.44.060);
3. A Development Plan to allow the construction of 7,771 square feet of nonresidential development on APN 009-091-020 (vacant property) (SBMC §28.87.300); and
4. A Conditional Use Permit Amendment to permit the proposed changes to the site plan for the Montecito Country Club (SBMC 28.94).

III. RECOMMENDATION

The proposed project conforms to the City's Zoning and Building Ordinances and policies of the General Plan/Local Coastal Plan. In addition, the size and massing of the project are consistent with the surrounding neighborhood. Therefore, Staff recommends that the Planning Commission approve the project, making the findings outlined in Section IX of this report, and subject to the conditions of approval in Exhibit A.

IV. BACKGROUND

Since the Draft Mitigated Negative Declaration (MND) hearing on June 11, 2009, the applicant has revised the project to include:

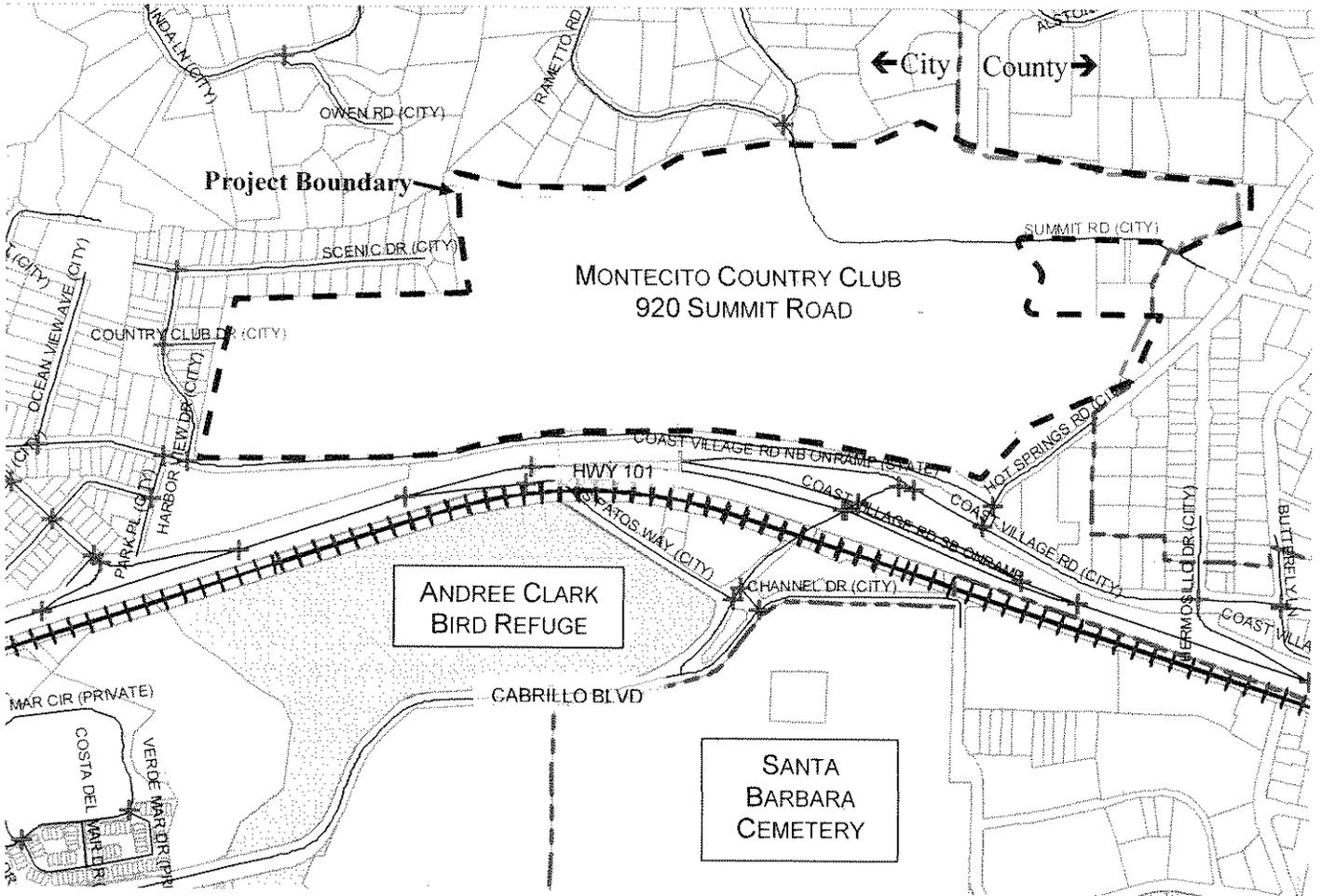
- a supplemental evacuation route for vehicles from the neighborhood to the north, consisting of an engineered sub-grade beneath turf that connects from a replacement gate at the convergence of Rametto and Summit Roads to the site's parking area;
- a pedestrian path that runs from the site's northern property line (near the convergence of Rametto and Summit Roads to the Club's parking lot; and
- a residential unit (studio) above the proposed maintenance building for use by an employee of the MCC.

These changes to the project are not reflected in the Initial Study for the project; however, they are discussed in the Response to Comments in the draft Final MND and in later sections of this staff report.

APPLICATION DEEMED COMPLETE:
DATE ACTION REQUIRED:

March 25, 2009
 September 23, 2009 to adopt MND (must approve/
 deny project within 60 days of MND adoption)

V. SITE INFORMATION



Vicinity Map

SURROUNDING LAND USES:	
North:	Single Family Residences
South:	Old Coast Highway, Highway 101, Municipal Tennis Courts and Andree Clark Bird Refuge
East:	Single Family Residences and Commercial
West:	Single Family Residences

Assessor's Parcel Number	Parcel Size	General Plan Designation	Zoning Designation
009-091-014 (a portion)	4.261 acres	Open Space	A-2/S-D-3
009-091-020	2.276 acres	Residential – 2 units per acre	A-2/S-D-3
009-151-006 and -007	11.731 acres	Open Space	A-2/S-D-3
015-211-009	4.594 acres	Open Space	A-2/S-D-3
015-211-010	1.095 acre	Open Space	A-2/S-D-3
015-280-014	0.555 acre	Residential – 2 units per acre	E-2
015-300-001 and 009-091-014 (a portion)	85.829 acres	Open Space	A-2/S-D-3
015-300-002	2.692 acres	Open Space	A-2/S-D-3
015-300-003	1.319 acre	Open Space	A-2/S-D-3
Total Acreage:	114.352 acres		
Existing Land Use:	Country Club and Golf Course	Proposed Land Use:	Country Club and Golf Course
Slope:	Varies. Generally slopes to the south, with typical gradients between 3% and 15%		

VI. ZONING ORDINANCE CONSISTENCY

Standard	Requirement/ Allowance	Existing	Proposed
Setbacks	(A-2 zone, doubled for non-residential use)		
-Front	60 feet	Significantly > 60 feet	Significantly > 60 feet
-Interior	20 feet	Existing maintenance building encroaches into interior setback	30 feet minimum
Building Height	30 feet	43.5' (Clubhouse)*	Maintenance Bldg = 22.5' Golf Pro Shop = 27' from existing grade/ 14.5' from proposed grade Tennis Pro Shop/Cart Barn = 24'
Parking	400	335	400
Standard	Requirement/	Existing	Proposed

	Allowance		
Open Yard	1,250 square feet	Significantly > 1,250 s.f.	Significantly > 1,250 s.f.
Lot Coverage			
-Building	N/A	38,137 sq. ft. 0.8%	44,431 sq. ft. 0.9%
-Paving/Driveway	N/A	384,983 sq. ft. 7.9%	353,272 sq. ft. 7.3%
-Landscaping	N/A	4,442,532 sq. ft. 91.3%	4,467,949 sq. ft. 91.8%

* Legal, non-conforming, proposed to remain

The proposed project would meet the requirements of the A-2/E-2 Zone, with the exception of the proposed perimeter fencing.

Fence Height Modification

The project includes black, chain link fencing, six feet in height, around the perimeter of the site to replace existing fencing. It does not appear that the existing fencing ever received formal approval of a modification for over-height fencing. The proposed fencing does not pose a safety impact to pedestrians, bicyclists or vehicles due to its location and transparency. Further, the fencing improves safety by deflecting errant golf balls. Therefore, the proposed replacement fencing is necessary and appropriate for the use of the site.

VII. ISSUES

A. DESIGN REVIEW

This project was reviewed by the HLC on November 26, 2008 and by the ABR on January 6, 2009 (meeting minutes are included as Exhibits D and E of the Initial Study). Both design review boards determined that the size, massing, architecture and detailing of the project are appropriate and compatible with surrounding uses and development. Further refinement of design and landscape plans will be required prior to any preliminary approvals.

B. EMERGENCY ACCESS/EVACUATION

The project site currently has a gate located along its northern boundary near the convergence of Summit and Rametto Roads. This gate is locked and does not provide any formal access to the public or emergency vehicles. The project initially proposed to eliminate this gate and replace it with a continuous fence. The loss of this gate was raised as an issue by the public during prior public meetings. As a result, the applicant revised the proposal to include a new, secured gate in this location, and a reinforced, turf-covered vehicular evacuation lane that connects from this gate to the Club's parking area.

As discussed in the MND, the evacuation preplan identified in the City's Wildland Fire Plan shows Summit Road, Summit Lane and Rametto Road residents as evacuating to Alston Road. To ensure an orderly evacuation occurs in the event of a wildland fire, it is the preference of the Fire Department that residents use the identified route to ensure greater accountability of residents and allow a higher degree of control during the evacuation for police and fire personnel.

The provision of the gate and lane is not a required part of the project. The presence or elimination of the gate does not pose a significant environmental impact. The City does not object to the provision of the gate and the potential use of the access route. However, the provision of the gate and the potential use of the access route are a private matter between the Montecito Country Club and its neighbors. The City is not and will not be involved in the opening of the gate.

C. PEDESTRIAN/BICYCLE ACCESS

The project site currently has an opening in the perimeter fencing, located along its northern boundary near the convergence of Summit and Rametto Roads. This opening is used by pedestrians and bicyclists to access the site and/or connect more expediently to Hot Springs Road. The project initially proposed to eliminate this access point by installing a continuous fence. During the environmental review period, the loss of this access was raised as an issue by the public, related not only to environmental reasons (safe access to Hot Springs and the beach), but also to the potential for a prescriptive easement. As a result, the applicant revised the proposal to include a pedestrian path that runs from the site's northern property line (near the convergence of Rametto and Summit Roads to the Club's parking lot, which connects to Summit Road (private) and eventually Hot Springs Road.

As discussed in the Mitigated Negative Declaration prepared for the project, eliminating the existing pedestrian/bicycle access through the site is not a significant impact from an environmental standpoint because existing access for pedestrians and bicyclists along City and County roads is considered adequate and consistent with other streets in the area. While neighbors may have historically passed through the project site, City staff is not aware of any easement. The site is not a recognized City public path, and it is not identified in any City documents as a planned or future pedestrian trail. Closing this informal non-vehicular access point through the project site will require surrounding residents to utilize Alston Road in order to reach Hot Springs Road, Coast Village Road and the beach.

Staff believes that the formal provision of pedestrian access through the site as part of the project is a significant benefit and makes the project more consistent with City Circulation Element policies.

D. COMPLIANCE WITH THE GENERAL PLAN

1. General Plan - Land Use Element

The project site is located in the Eucalyptus Hill neighborhood, as defined in the General Plan. This neighborhood is identified as a popular residential area that contains steep topography. The Montecito Country Club site is identified as an area that should remain as open space. Because the project would continue the existing open space/private golf course use of the Club, staff finds the project to be consistent with the Land Use Element of the General Plan

2. General Plan - Open Space Element

The Open Space Element emphasizes preservation of the Montecito Country Club as a significant open space and as "a beautiful entrance to the City from the south..." The

Open Space Element identifies the Montecito Country Club as a Major Park, which is one of the six categories of open space identified in the Open Space Element. The MCC would be further defined as a “park-like” “quasi-public” open space. The two implementation policies applicable to the site are: 1. Adopt a firm policy of not allowing public park lands to be used for other than park, recreation and open space purposes; and 2. Acquire first right of refusal, development rights, or other appropriate agreements for the Montecito Country Club and the northerly and westerly slopes of the Clark Estate. As the project would not change the site’s existing use as a golf course and country club, staff finds that the project is consistent with the Open Space Element of the General Plan.

3. **General Plan - Housing Element**

Although the project site is zoned for residential use, the land use designation is Open Space. One new housing unit (manager’s unit) is proposed with this project, which would provide on-site housing to an existing MCC employee. The project would continue the existing use of the site as a golf course and country club and would not negatively impact surrounding single-family zoned residences. All improvements would be compatible with surrounding development. Therefore, staff finds the project to be consistent with the Housing Element of the General Plan.

4. **General Plan - Circulation Element**

The Circulation Element of the General Plan contains goals and implementing measures to reduce adverse impacts to the City's street system and parking by reducing reliance on the automobile, encouraging alternative forms of transportation, reviewing traffic impact standards, and applying land use and planning strategies that support the City's mobility goals. The project includes a pedestrian/bicycle path that would provide a convenient connection between existing residences to the north and Hot Springs Lane. The project also includes a residential unit for a MCC employee, thereby slightly reducing daily work trips to the site. The project would not result in any significant impacts associated with traffic or circulation. Traffic and circulation impacts resulting from the proposed project are negligible, and thus staff finds the project to be consistent with the Circulation Element.

5. **General Plan - Conservation Element**

The proposed project would not significantly impact cultural, visual or biological resources. Please refer to discussion of these resources under the Environmental Review section of this report, and additional discussion of policy consistency in the Initial Study (Exhibit D). Based on the proposed project description, and with implementation of required and recommended mitigation measures, the project’s impacts to historic resources, biological resources, visual resources (due to grading and tree removal) would be less than significant, and staff finds the project to be consistent with the Conservation Element.

6. **General Plan - Noise Element**

The City's Noise Element includes policies intended to achieve and maintain a noise environment that is compatible with the variety of human activities and land uses in the City. The proposed project would not generate a substantial increase in existing ambient noise levels in the area, and would not expose people to noise levels greater than they are already exposed to, and the project would not locate new uses in an area where existing noise levels would impact future users. Therefore, staff finds the project to be consistent with the applicable policies and guidelines of the Noise Element.

7. **General Plan – Seismic Safety/Safety Element**

The City's Seismic Safety/Safety Element requires that development be sited, designed and maintained to protect life, property, and public well-being from seismic and other geologic hazards, and to reduce or avoid adverse economic, social, and environmental impacts caused by hazardous geologic conditions. The project site is subject to a number of geologic and environmental constraints. Potential impacts associated with these hazards would be adequately addressed by adhering to the California Building Code and implementation of recommendations for grading and development, which are outlined in the geotechnical report provided for the project. Therefore, staff finds the project to be consistent with the Seismic Safety/Safety Element.

E. **COMPLIANCE WITH THE LOCAL COASTAL PLAN**

The project must be found consistent with the California Coastal Act and the City's Local Coastal Plan (LCP) because the site is partially located in the Coastal Zone (the northern border of the Coastal Zone extends 1000 yards inland). The Local Coastal Plan Map designation for the site is Open Space. The project is located in Component Seven of the LCP. The LCP notes that this area has residential development potential if the Montecito Country Club were to be developed for that use. Related to fire hazard, the LCP notes that the golf course presents no fire hazard (beneficial factor), but that the MCC has slow access and insufficient water (detrimental factor).

The coastal issues that are applicable to this project are neighborhood compatibility (Policy 5.3), biotic resources (Policies 6.2, 6.8, 6.9, 6.10, 6.11, 6.14) and public views (Policies 9.1, 9.8). The project would be compatible with surrounding development, be designed to protect views to and along the coast, and provide adequate on-site parking and circulation, as discussed in the Initial Study. The project also includes a habitat restoration plan, which would improve drainage and water quality, provide a native vegetation setback buffer around the daylighted drainages and wetlands, and improve fish and wildlife habitat. Approximately 15 square feet of wetlands on the southern end of the property would be temporarily impacted by the project. However, these wetlands are currently highly degraded and the project's restoration plan would include creation of approximately 15,000 square feet of new native wetland and riparian habitat in that area. Required mitigations, as described below and in the Mitigated Negative Declaration, would minimize any potential impacts to wetlands as a result of construction. These on-site improvements should also have a net beneficial effect on water quality in the Andree Clark Bird Refuge, as drainage from the site eventually goes to the Refuge. The

proposed project, as mitigated, represents the least environmentally damaging alternative meeting the project's objectives of economically redeveloping a golf course while restoring degraded habitats onsite. See also Sections VIII.A. Aesthetics, VIII.C. Biological Resources, and VIII.L. Water Resources, below.

VIII. ENVIRONMENTAL REVIEW

Environmental review of the proposed project has been conducted pursuant to the California Environmental Quality Act (CEQA) and related Guidelines. An Initial Study and Mitigated Negative Declaration were prepared to evaluate the project's potential impacts on the physical environment. The analysis identified potentially significant but mitigable environmental effects in the following issue areas: biological resources, cultural resources, geophysical conditions, and water environment. Also evaluated in the document as less than significant impacts are air quality, hazards, noise, transportation and water resources. The analysis concludes that no significant environmental impacts would result from the project as mitigated.

A Draft Mitigated Negative Declaration (MND) was prepared and released for public review. During the public review period (May 22 – June 22, 2009), public comment on the draft MND was taken. The primary environmental concerns raised were related to emergency evacuation and pedestrian circulation. These issues are discussed in the response to public comments incorporated into the proposed Final Mitigated Negative Declaration (Exhibit D). Although they are policy concerns, these issues were not determined to be significant environmental issues.

The proposed Final Mitigated Negative Declaration includes mitigation measures required to mitigate potentially significant impacts to a less than significant level, and recommended mitigation measures to further reduce adverse, but less than significant impacts. The analysis concludes that no significant environmental impacts would result from the project as mitigated. Below is a brief summary of the Final Mitigated Negative Declaration evaluation.

A. AESTHETICS

The project site is not located along an existing or proposed scenic highway; however, it is visible from Highway 101, which is eligible for designation as a State Scenic Highway. Impacts to scenic views were determined to be less than significant because changes to the Clubhouse and surrounding site were determined to be relatively minor due to the site's large size and substantial replacement landscaping. Potential impacts associated with on-site aesthetics and lighting were also determined to be less than significant.

B. AIR QUALITY

This project will not result in long-term air quality impacts. The primary concerns related to air quality impacts are pollutant emissions from vehicle exhaust or other stationary sources, particulates and nuisance dust associated with grading and construction. Long-term emissions are significantly lower than the threshold of significance for air quality impacts; therefore long term project air quality impacts are less than significant. Short-term emissions are also well below the City's significance threshold. Recommended mitigation measures would further reduce any adverse impacts associated with the project's grading and construction activities.

C. BIOLOGICAL RESOURCES

The project includes a Habitat Restoration and Revegetation Plan as part of the changes proposed for the golf course. The project also includes the removal or relocation of approximately 444 trees. Therefore, the project has the potential to result in significant long-term and short-term impacts to biological resources, particularly related to tree removal and operations. The project would also temporarily impact 15 square feet of wetland habitat. To mitigate these potential impacts, several mitigation measures relating to timing of construction, habitat replacement, biological monitoring, and construction best management practices have been required, and mitigation measures have been recommended to further reduce any adverse impacts.

D. CULTURAL RESOURCES

A Phase I Archaeological Report (March 2006) was prepared for the site, and an Addendum to the Phase I report was subsequently prepared (April 2008). No resources were identified onsite, and, due to previous disturbance, the site contains virtually no subsurface soil integrity; therefore, the report concludes that there is a low to negligible potential for cultural resource material to be present on site, and impacts to archaeological resources are less than significant. A Historic Structures Report was prepared for the project to determine if there would be any impacts to significant resources. The Report determined that the Clubhouse is eligible for designation as a City of Santa Barbara Structure of Merit. Therefore, the project would have potentially significant, mitigable impacts to historic resources. Mitigation Measures, including specified materials, required design review and locational requirements are identified to reduce potential impacts associated with the changes to the swimming pool area, the storage bins in the new maintenance area, and the date palm trees, as they relate to the Clubhouse building and its setting, to a less than significant level; and mitigation measures are recommended to further minimize any less than significant impacts. The project would have no impact related to historic, ethnic or religious resources.

E. GEOPHYSICAL CONDITIONS

No impacts related to landslides, mudslides or ground subsidence are anticipated. Impacts associated with fault rupture, liquefaction, seiche, tsunami, expansive soils, excessive grading and permanent changes in the topography are considered less than significant. Ground shaking is considered a potentially significant impact that can be mitigated by complying with grading and recompaction recommendations included in a soils engineering report prepared for the site.

F. HAZARDS

The project site is not on any lists for known contaminated soils or groundwater. The site is located in a high fire hazard area; however, the project would not increase existing fire hazard. Hazardous materials (gasoline, diesel, fertilizers, pesticides, fungicides, herbicides, motor oil and waste oil) are currently used and stored on site, and this would continue with the proposed project. Project impacts relative to hazardous material exposure is less than significant because existing hazardous materials use would not increase as part of the project. The project would be subject to standard conditions to address the use and storage of hazardous materials on site.

G. NOISE

Project operations are proposed to remain the same as existing conditions; therefore, it is not anticipated that the project will have significant noise impacts. The project includes relocation of the existing maintenance buildings, which should improve noise conditions for neighbors to the north and west of the existing maintenance buildings. Short-term construction noise is considered a less than significant impact, and standard mitigation measures are proposed to further minimize any temporary adverse impacts associated with construction noise.

H. POPULATION AND HOUSING

The project does not involve any displacement of housing units, and does not propose employment growth that would increase population and housing demand. There would be no impact to population or housing.

I. PUBLIC SERVICES

Public services in the project vicinity are in place. The project would not result in increased demand to these facilities. Therefore, the project would have a less than significant impact related to fire or police protection, schools, roads, or utilities. Mitigation has been recommended to minimize construction-related solid waste.

J. RECREATION

The project would not result in an increase in the demand for recreational facilities. Project impacts related to recreational demand would be less than significant. The project would have a less than significant impact on existing recreational facilities, as it functions as a private recreation facility, and during its renovations will be closed to its members.

K. TRANSPORTATION/CIRCULATION

The project is not expected to generate additional vehicular traffic, as the existing membership and operations of the Club would not change with the project. Therefore, the project would have no impact related to long term traffic. Short-term construction traffic is considered a less than significant impact, and mitigation is recommended to further reduce any temporary adverse impacts.

One of the main issues raised during the environmental review comment period was the elimination of the existing gate located along the site's northern property line, just south of the convergence of Summit and Rametto Roads. The gate is not considered a formal emergency access or evacuation route for the Country Club by the City's Fire Department, and the gate/access is not required for access to the neighborhood or for evacuation purposes. Therefore, impacts associated with emergency access/evacuation are considered less than significant.

Another issue raised during the environmental review comment period was the loss of the existing informal pedestrian access through the site, connecting Rametto and Hot Springs Roads. The MND concludes that adequate pedestrian access exists in the area, and the loss of this informal access constitutes a less than significant environmental impact.

Please refer to the Issues section of this staff report for additional discussion of all the aspects of the emergency access/evacuation and pedestrian/bicycle access.

L. WATER ENVIRONMENT

Currently, there is virtually no on-site treatment of storm water, and a majority of water from the site is piped underground until it discharges at the street and into the Bird Refuge. The proposed project would provide sedimentation/infiltration basins at the upstream end of the western and middle drainages to intercept sediment and allow infiltration of storm water entering the project site. The project includes a reduction in impervious area from 8.7% to 8.1%, which would result in a slight decrease in peak flows. Additionally, the project includes native buffers along onsite drainage and wetlands that do not currently exist. Overall, the project should have a positive effect on the watershed due to the increased infiltration on site resulting from the reduction in impervious surfaces and the proposed drainage improvements. Therefore, the project would not result in a significant impact related to runoff or long-term water quality.

Mitigation for construction-related impacts associated with excavation of the ponds would reduce any short-term water quality impacts to a less than significant level. Proposed grading would consist of 192,000 cubic yards of cut and fill. Standard erosion and dust control measures have been included in the project conditions to minimize potential short term adverse impacts to water and air quality.

The proposed Final Mitigated Negative Declaration has identified no significant and unavoidable impacts related to the proposed project. Pursuant to CEQA and prior to approving the project, the Planning Commission must consider the Mitigated Negative Declaration. For each mitigation measure adopted as part of a Mitigated Negative Declaration, the decision makers are required to make the mitigation measure a condition of project approval, and adopt a program for monitoring and reporting on the mitigation measures to ensure their compliance during project implementation. The mitigation measures described in the proposed Final Mitigated Negative Declaration have been incorporated into the recommended conditions of approval for this project. In addition, a mitigation monitoring and reporting program (MMRP) is included in the project's Final Mitigated Negative Declaration.

IX. FINDINGS

The Planning Commission finds the following:

A. FINAL MITIGATED NEGATIVE DECLARATION ADOPTION

1. The Planning Commission has considered the proposed Final Mitigated Negative Declaration, dated August 27, 2009 for the 920 Summit Road Project (MST2005-00831), and comments received during the public review process prior to making a recommendation on the project.
2. The Final Mitigated Negative Declaration has been prepared in compliance with California Environmental Quality Act requirements, and constitutes adequate environmental analysis of the project.

3. In the Planning Commission's independent judgment and analysis based on the whole record (including the initial study and comments received), there is no substantial evidence that the Project will have a significant effect on the environment. The Final Mitigated Negative Declaration, dated August 27, 2009, is hereby adopted.
4. Mitigation measures identified in the Mitigated Negative Declaration that would avoid or reduce all potentially significant impacts to less than significant levels have been included in the project or made a condition of approval. Additional mitigation measures to minimize adverse but less than significant environmental effects have also been included as conditions of approval.
5. A Mitigation Monitoring and Reporting Program prepared in compliance with the requirements of Public Resources Code § 21081.6, is included in the Final Mitigated Negative Declaration for the Project and is hereby adopted.
6. The location and custodian of documents or other material which constitute the record of proceedings upon which this decision is based is the City of Santa Barbara Community Development Department, 630 Garden Street, Santa Barbara, CA 93101.
7. The California Department of Fish and Game (DFG) is a Trustee Agency with oversight over fish and wildlife resources of the State. The DFG collects a fee from project proponents of all projects potentially affecting fish and wildlife, to defray the cost of managing and protecting resources. The project is subject to the DFG fee, and a condition of approval has been included, which requires the applicant to pay the fee within five days of project approval.

B. FENCE HEIGHT MODIFICATION (SBMC §28.92.110.A.3)

A modification of the fence height regulations is necessary for the use of the site as a golf course, as it improves public safety by deflecting errant golf balls. The proposed six-foot tall chain link fence is consistent with the purposes and intent of the Zoning ordinance, as it does not pose a safety impact to pedestrians, bicyclists or vehicles due to its location and transparency.

C. CONDITIONAL USE PERMIT AMENDMENT (SBMC §28.94.020)

1. The use of the project site as a country club and associated uses, including but not limited to a golf course, tennis courts, maintenance facilities, and manager's units, is deemed desirable to the public convenience and is in harmony with the various elements or objectives of the Comprehensive General Plan because the General Plan Parks and Recreation Element recognizes the Montecito Country Club's contribution to the City's recreational opportunities and the Open Space Element emphasizes preservation of the Club as a significant open space and a gateway to the City from the south. The proposed project would upgrade the Country Club's existing facilities, thereby increasing the likelihood that the Club

can continue to provide recreational opportunities and provide an attractive open space and gateway to the City.

2. The uses associated with the Montecito Country Club will not be materially detrimental to the public peace, health, safety comfort or general welfare, and will not materially affect property values in the Eucalyptus hill neighborhood because the activities permitted and hours of operation of the Country Club would not change as a part of this project. The proposed parking lot changes will move parking areas farther away from adjacent residential uses, and proposed lighting would be low-level and shielded. No golf course or tennis court lighting is proposed.
3. The total area of the site and the setbacks of all facilities from property and street lines are of sufficient magnitude in view of the character of the land and of the proposed development that significant detrimental impact on surrounding properties is avoided. The project provides at least the minimum requisite double setbacks for non-residential uses in a residential zone.
4. Adequate access and off-street parking including parking for guests is provided in a manner and amount so that the demands of the development for such facilities are adequately met without altering the character of the public streets in the area at any time. The project would provide adequate permanent parking (400 spaces) for its maximum 680 members, and sufficient overflow parking is included on-site for special events.
5. The appearance of the developed site in terms of the arrangement, height, scale and architectural style of the buildings, location of parking areas, landscaping and other features is compatible with the character of the area. The proposed changes to the Clubhouse are in keeping with the historic character of the facility, and proposed new structures and alterations to existing features are compatible with the historic character and use of the Montecito Country Club. New structures would be adequately screened from adjacent development, and the golf course provides appropriate open space as the setting for the site.
6. Compliance with any additional specific requirements for a conditional use permit. The following are the special findings for an outdoor tennis club, which is a part of the project:
 - a. The total area of the site and the setbacks of all facilities from property and street lines are of sufficient magnitude in view of the character of the land and of the proposed development that significant detrimental impact on surrounding properties is avoided. All setbacks provided would meet or significantly exceed the required double setback requirement for non-residential uses in the A-2 zone.
 - b. The prescribed hours and days of operation of the various facilities of the club are such that the character of the area is not altered or disturbed

because hours of operation would not change as a part of the proposed CUP amendment.

- c. The design and operation of outdoor lighting equipment will not be a nuisance to the use of property in the area because lighting changes would be limited to low intensity fixtures located on the Clubhouse and in parking areas, and no golf course or tennis court lighting is proposed.
 - d. See 4 above.
 - e. See 5 above.
7. The Planning Commission has imposed additional conditions and restrictions upon the proposed use to ensure that the project remains consistent with the Zoning Ordinance and Comprehensive General Plan.

D. DEVELOPMENT PLAN (SBMC §28.87.300)

- 1. The proposed development complies with all provisions of the Zoning Ordinance, upon approval of the fence height modification, because the project complies with the minimum required setbacks for non-residential development in the A-2 Zone, and a Conditional Use Permit Amendment would be granted for the proposed changes to the site plan of the Country Club.
- 2. The proposed development is consistent with the principles of sound community planning since the City's General Plan recognizes the Montecito Country Club's contribution to the City's recreational opportunities and open space, and as a gateway to the City from the south. The proposed project would update and upgrade the Country Clubs existing facilities, thereby increasing the likelihood that the Country Club can continue to provide recreational opportunities and to provide an attractive open space area as the gateway to the City.
- 3. The proposed development will not have a significant adverse impact upon the neighborhood's aesthetics/character in that the size, bulk or scale of the development will be compatible with the neighborhood, and alterations to the site would be minimally noticeable from Highway 101 following initial construction.
- 4. The proposed development will not have a significant unmitigated adverse impact upon City and South Coast affordable housing stock because it would not increase employment, nor would it eliminate existing housing units. Additionally, the project includes one studio unit intended for use by a Club employee.
- 5. The proposed development will not have a significant unmitigated adverse impact on the City's water resources as the improvements are anticipated to reduce overall water use on the site.
- 6. The proposed development will not have a significant unmitigated adverse impact on the City's traffic because proposed improvements would not increase the Club's maximum membership capacity, nor would it increase the number of

employees required to serve the facility. Therefore, the project is not expected to generate additional peak hour trips.

7. Adjacent infrastructure is in place to serve the project site, and temporary construction at the new Hot Springs roundabout is anticipated to be in place at the time of project re-occupancy.

E. COASTAL DEVELOPMENT PERMIT (SBMC §28.45.009)

1. The project is consistent with the policies of the California Coastal Act.

The project is consistent with the policies of the California Coastal Act because it provides public access through the site, maintains the site in a private recreational use, provides one new housing unit consistent with applicable standards, enhances and restores marine resources and the biological productivity of wetlands, and maintains existing scenic views. These issues are described more fully in the staff report and in the Final Mitigated Negative Declaration prepared for the project.

2. The project is consistent with all applicable policies of the City's Local Coastal Plan, all applicable implementing guidelines, and all applicable provisions of the Code.

The proposed project is consistent with all applicable Local Coastal Plan policies of the Coastal Land Use Plan as demonstrated in Section VII.E of the project's staff report, and all applicable Zoning Ordinance regulations with the requested modification, as shown in Section V of the staff report.

3. The project is consistent with the Chapter 3 (commencing with Section 30200) Policies of the Coastal Act regarding public access and public recreation.

The project will not impact existing public recreation opportunities as it does not involve any additional residents or workers in the area. Further, the project provides recreation opportunities to members of the Club, which may reduce the burden on nearby public recreational opportunities. The project includes a pedestrian path that provides a more convenient connection between the nearby residential areas and Hot Springs Road, and eventually, to Butterfly Beach.

Exhibits:

- A. Conditions of Approval
- B. Site Plan and Building Elevations
- C. Applicant's letter, dated July 23, 2009
- D. Proposed Final Mitigated Negative Declaration and Initial Study, dated August 27, 2009
- E. Applicable General Plan/Local Coastal Plan Policies

PLANNING COMMISSION CONDITIONS OF APPROVAL

920 SUMMIT ROAD
CONDITIONAL USE PERMIT AMENDMENT, DEVELOPMENT PLAN, COASTAL DEVELOPMENT PERMIT,
AND FENCE HEIGHT MODIFICATION
SEPTEMBER 10, 2009

In consideration of the project approval granted by the Planning Commission, the following terms and conditions are imposed on the use, possession, and enjoyment of the Real Property:

- A. **California Department of Fish and Game Fees Required.** Pursuant to Section 21089(b) of the California Public Resources Code and Section 711.4 et. seq. of the California Fish and Game Code, the approval of this permit/project shall not be considered final unless the specified Department of Fish and Game fees are paid and filed with the California Department of Fish and Game within five days of the project approval. The fee required is \$1,993.00 for projects with Negative Declarations. Without the appropriate fee, the Notice of Determination cannot be filed and the project approval is not operative, vested, or final. The fee shall be delivered to the Planning Division immediately upon project approval in the form of a check payable to the California Department of Fish and Game.
- B. **Design Review.** The project is subject to the review and approval of the Architectural Board of Review (ABR) for its area of jurisdiction and Historic Landmarks Commission (HLC) for its area of jurisdiction. ABR/HLC shall not grant preliminary approval of the project until the following Planning Commission land use conditions have been satisfied.
 1. **Design Review Required.** The final design scheme and planting palette for the golf course and landscaping shall be reviewed by the historian of record and submitted to the City's Historic Landmarks Commission and/or Architectural Board of Review, as appropriate, for their review and approval. (CR-4)
 2. **Preliminary Habitat Restoration and Revegetation Plan.** The restoration goals and approaches identified in the Preliminary Habitat Restoration and Revegetation Plan prepared by Hunt & Associates, dated 25 February 2009, shall be followed. This includes, but is not limited to, non-native vegetation removal and control; and revegetation planting, monitoring, and performance criteria. Invasive tree species shall be removed from the western, middle and eastern drainages, as recommended. All trees proposed for planting within the restoration area shall be native, locally-occurring species such as coast live oak, western sycamore, white alder, arroyo willow, California walnut or black cottonwood. (BIO-1)
 3. **Landscape Plan.** A qualified biologist familiar with invasive, non-native plants shall review the planting palettes for all areas, including landscaping around the clubhouse, fairways, and other areas. Non-native plants that have a moderate to high probability for spreading to unintended areas shall be replaced with non-invasive species or native species. The biologist shall work closely with the landscape architect to ensure that all landscaping avoids the use of invasive plant species. The trees to be planted on the course shall focus on using native, locally-occurring species that are well-adapted for the project area, such as western sycamore and coast live oak. Planting area palettes within and around the western,

middle and eastern drainages, and the two water features (ponds) shall consist of at least 90% native, locally-occurring species. Shoreline and buffer vegetation surrounding the ponds shall be composed of plants that provide food for herbivorous bird species, such as coots, duck, geese and other migratory and resident species, in order to passively limit their use of fairways, greens and other course features as foraging habitat. (BIO-2)

4. **Trees.**

- a. **Oak Tree Removal.** All coast live oaks in excess of three inches in diameter at basal height that are removed shall be mitigated at a 10:1 ratio by planting 5-gallon coast live oaks obtained from locally-collected acorns and grown in a local native plant nursery. A minimum survivorship ratio of 80% shall be achieved three years post-planting.
- b. **Oak Tree Relocation.** Any coast live oak in excess of three inches in diameter at basal height that is relocated and does not survive three years post-planting shall be mitigated at a 10:1 ratio by planting 5-gallon coast live oaks obtained from locally-collected acorns and grown in a local native plant nursery. For the 10:1 replacement oaks, a minimum survivorship ratio of 80% shall be achieved three years post-planting.
- c. **Tree Relocation.** The 83 existing trees identified for relocation in the Tree Protection Plan prepared by Duke McPherson and dated February 16, 2009 shall be relocated on the project site and shall be fenced and protected during construction.
- d. **Tree Protection Measures.** The landscape plan and grading plan shall include the following tree protection measures, intended to minimize impacts on trees:
 - 1) **Landscaping Under Trees.** Landscaping under the tree(s) shall be compatible with the preservation of the tree(s).
 - 2) Trees shall be adequately protected from damage inflicted by machinery in root zones, canopies and on tree trunks. Well staked protective fencing will be needed in most cases. Where activity is not expected to be intensive, staked caution tape may be appropriate. Provide signage that cautions personnel to keep away from trees.
 - 3) Access roads shall not run across Critical Root Zones. In situations where this cannot be avoided, a 4" layer of tree chips is to be laid down to insulate tree roots.
 - 4) No equipment, soil, or debris of any kind shall be placed on tree Critical Root Zones.
 - 5) No trenching of any kind shall be permitted through Critical Root Zones unless supervised by the project Arborist.

- 6) Clean-out pits for plaster and concrete are to be placed well away from root zones.
- 7) A qualified Arborist shall be present during any excavation adjacent to or beneath the dripline of the tree(s) which (is) (are) required to be protected.

(BIO-9)

5. **Sycamore Riparian Woodland.** Where feasible, restoration areas shall be enlarged to accommodate more landscape and habitat setback area. The upper on-site watershed of the western drainage and the on-site reach of the eastern drainage represent valuable opportunities to restore upland and riparian habitat. (BIO-12)
6. **Swimming Pool Area.**
 - a. **Materials.** Finish materials for the remodeled swimming pool terrace shall be referential to the nearby Clubhouse.
 - b. **Planting.** The planting scheme for the swimming pool shall draw its inspiration from the historic planting scheme of the Clubhouse.
 - c. **Design Approval.** The final design scheme for the swimming pool terrace shall be reviewed by the historian of record and submitted to the City's Historic Landmarks Commission for their review and approval.

(CR-1)

7. **Storage Bins.** Relocate the storage bins from the south side of the proposed maintenance building to a less prominent location on the east side of the building. (CR-2)
8. **Date Palms.** Retain, either in place or moved to another location on the property, the date palm trees located just northeast of the Clubhouse. (CR-3)
9. **Sandstone Blocks.** Re-use, on site, the sandstone blocks from the demolished tennis court's retaining wall. Plans for the re-use shall be identified on the project plans reviewed by the Historic Landmarks Commission prior to any design approvals. (CR-6)
10. **Screened Check Valve/Backflow.** The check valve or anti-backflow devices for fire sprinkler and/or irrigation systems shall be provided in a location screened from public view or included in the exterior wall of the building.

C. **Recorded Conditions Agreement.** Prior to the issuance of any Public Works permit or Building permit for the project on the Real Property, the Owner shall execute a written instrument, which shall be reviewed as to form and content by the City Attorney, Community Development Director and Public Works Director, recorded in the Office of the County Recorder, and shall include the following:

1. **Approved Development.** The development of the Real Property approved by the Planning Commission on September 10, 2009 is limited to changes to the existing

Montecito Country Club and Golf Course, including a redesign of the golf course, changes to the Clubhouse building and perimeter, demolition of the existing maintenance buildings, cart barn, tennis courts and tennis pro shop and flammable materials building, and construction of a new maintenance building with a second floor residential unit, new golf pro shop, new tennis pro shop, new tennis courts and new cart barn, resulting in approximately 1,320 square feet of net new building area and one new residential studio. Additional project details are provided in the project description included in the staff report and Initial Study, and on the Development Plans signed by the chairperson of the Planning Commission on said date and on file at the City of Santa Barbara.

2. **Uninterrupted Water Flow.** The Owner shall provide for the uninterrupted flow of water onto the Real Property including, but not limited to, swales, natural watercourses, conduits and any access road, as appropriate.
3. **Recreational Vehicle Storage Prohibition.** No recreational vehicles, boats, or trailers shall be stored on the Real Property.
4. **Landscape Plan Compliance.** The Owner shall comply with the Landscape Plan approved by the Architectural Board of Review (ABR) for its area of jurisdiction and Historic Landmarks Commission (HLC) for its area of jurisdiction. Such plan shall not be modified unless prior written approval is obtained from the ABR/HLC. The landscaping on the Real Property shall be provided and maintained in accordance with said landscape plan. If said landscaping is removed for any reason without approval by the City, the owner is responsible for its immediate replacement. The following tree protection shall be incorporated:
Tree Protection. The existing tree(s) shown to remain on the Landscape Plan (Sheets L1 through L7) shall be preserved, protected, and maintained (in accordance with the recommendations contained in the arborist's report prepared by Duke McPherson, dated March 19, 2009). During construction, protection measures shall be provided, including but not limited to fencing of the area surrounding the tree(s). The following provisions shall apply to any oak trees to remain on the property:
 - a. No irrigation systems shall be installed within three feet of the drip line of any oak tree.
 - b. The use of herbicides or fertilizer shall be prohibited within the drip line of any oak tree.
5. **Parking.** Due to potential parking impacts, on-site parking is limited to use by owners, members, guests, residents and employees of the Montecito Country Club, delivery and service persons associated with the operation of the Club and attendees of special events occurring at the Club. Use of the Club's designated parking areas by other users shall not be permitted without prior written approval by the Community Development Director.

6. **Membership Limits.** Membership levels greater than 680 members are not permitted without further environmental and/or Planning Commission review and approval. Prior to initiating an increase in membership beyond 680 members, the Owner shall submit a letter to the Community Development Director detailing the proposal, and the Director shall determine the appropriate review procedures and notify the Owner.
7. **Bicycle Parking.** Fourteen bicycle parking spaces shall be provided, including ten covered spaces.
8. **Lighting.** Exterior lighting, where provided, shall be of low intensity in order to promote safety, but shall not impose on adjacent properties and uses. No floodlights shall be allowed. No overhead fixtures shall be installed on the golf course, tennis courts or parking areas without further environmental review and review by the Planning Commission and Architectural Board of Review and/or Historic Landmarks Commission. Lighting shall be directed toward the ground.
9. **Long-Term Maintenance of Ponds. (BIO-6)**
 - a. **Native Aquatic Species.** No non-native aquatic species shall be placed in the two permanent water features (ponds). Prior to construction of these water features, a qualified biologist shall prepare a letter report detailing native aquatic species that could be introduced and function as biological control agents for mosquitoes and other noxious pests. The course operations manager shall work closely with the biologist to implement the plan and ensure that non-native, predatory species are not introduced into these water features.
 - b. **Pond Draining.** If the two water features (ponds) are periodically drained, a qualified biologist shall salvage native fish and other animals inhabiting the features until they can be placed back into the restored water feature. The biologist shall train course maintenance personnel so that they can take over the salvage operation in the future.
 - c. **Pond Water Quality.** Water quality in the ponds shall be maintained using "green" methods, such as aerators, in order to minimize or avoid the use of chemicals. Pond water shall be recirculated to the western and middle drainages to increase aeration and avoid the need for chemical maintenance of water quality. The shorelines of the ponds shall be planted with native wetland vegetation that will require little or no maintenance, and the nearshore areas shall be designed so that invasive aquatic vegetation, such as bulrushes and cattails do not overrun the ponds and require chronic chemical and/or mechanical control.
10. **Golf Course Maintenance. (BIO-7)**
 - a. **Wildlife Encroachment Management.** The golf course maintenance manager shall develop a plan for managing wildlife encroachment issues, to be submitted with the permit to the California Department of Fish and

Game (CDFG). A qualified biologist and the CDFG representative shall review this plan as part of the permitting process. Control methods used to reduce wildlife encroachment onto the course, if necessary, shall be limited to methods that do not cause mortality, such as the use of trained dogs to discourage birds from foraging in certain areas.

- b. **Integrated Pest Management.** The golf course maintenance manager shall prepare and implement a management plan for the three drainages, two desilting basins and two ponds. The plan shall incorporate the principles, methods, and approach of the City's Integrated Pest Management (IPM) Plan (as it is revised and updated from time to time) in order to minimize the use of pesticides and herbicides for landscape maintenance.
11. **Wetland Restoration.** The western pond and western and eastern drainages shall be constructed and maintained to restore, expand, and improve the biological productivity of on-site coastal wetlands and improve the quality of surface flows leaving the project area and entering Andree Clark Bird Refuge, as compared to existing conditions. Temporary and permanent disturbance impacts to on-site wetlands and net restoration benefits to these wetlands as a result of implementing the project shall be at least that identified in Table 5 of the Revised Biological Assessment prepared by Hunt and Associates and dated 25 February 2009. (BIO-11)
12. **Storm Water Pollution Control and Drainage Systems Maintenance.** Owner shall maintain the drainage system and storm water pollution control devices intended to intercept siltation and other potential pollutants (including, but not limited to, hydrocarbons, fecal bacteria, herbicides, fertilizers, etc.) in a functioning state (and in accordance with the Operations and Maintenance Procedure Plan prepared in accordance with the Storm Water Management Plan BMP Guidance Manual). Should any of the project's surface or subsurface drainage structures or storm water pollution control methods fail to capture, infiltrate, and/or treat water, or result in increased erosion, the Owner shall be responsible for any necessary repairs to the system and restoration of the eroded area. Should repairs or restoration become necessary, prior to the commencement of such repair or restoration work, the applicant shall submit a repair and restoration plan to the Community Development Director to determine if an amendment or a new Permit is required to authorize such work. The Owner is responsible for the adequacy of any project-related drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health, or damage to the Real Property or any adjoining property.

Employee training shall be provided on the implementation of Best Management Practices (BMPs) in order to prevent or reduce the discharge of pollutants to storm water from buildings and ground maintenance. The training shall include using good housekeeping practices, preventive maintenance and spill prevention and

control at outdoor loading/ unloading areas in order to keep debris from entering the storm water collection

The Owner shall provide an Operations and Maintenance Procedure Plan (describing replacement schedules for pollution absorbing pillows, etc.) for the operation and use of any mechanical storm drain surface pollutant interceptors. The Plan shall be reviewed and approved by the Water Resources Specialist.

13. **Trash and Recycling.** The Owner shall comply with the Solid Waste Management Plan identified in condition D.8, as approved by the Public Works Department.
- D. **Public Works Requirements Prior to Building Permit Issuance.** The Owner shall submit the following, or evidence of completion of the following to the Public Works Department for review and approval, prior to the issuance of a Building Permit for the project.
1. **Dedication(s).** Easements described as follows, subject to approval of the easement scope and location by the Public Works Department and/or the Building and Safety Division:
 - a. A 15-foot wide easement for maintenance purposes for the storm drainage system and for the relocation of the ten-inch drop inlet, City water main and hydrant for the Pro Shop.
 2. **Water Rights Assignment Agreement.** The Owner shall assign to the City of Santa Barbara the exclusive right to extract ground water from under the Real Property in an "Agreement Assigning Water Extraction Rights." Engineering Division Staff will prepare said agreement for the Owner's signature.
 3. **Drainage Calculations.** The Owner shall submit drainage calculations prepared by a registered civil engineer or licensed architect demonstrating that the new development will not increase runoff amounts above existing conditions for a 25-year storm event. Any increase in runoff shall be retained on-site.
 4. **Drainage and Water Quality.** Project drainage shall be designed, installed, and maintained such that stormwater runoff from the first inch of rain from any storm event shall be retained and treated onsite in accordance with the City's NPDES Storm Water Management Permit. Runoff should be directed into a passive water treatment method such as a bioswale, landscape feature (planter beds and/or lawns), infiltration trench, etc. Project plans for grading, drainage, stormwater treatment methods, and project development, shall be subject to review and approval by City Building Division and Public Works Department. Sufficient engineered design and adequate measures shall be employed to ensure that no significant construction-related or long-term effects from increased runoff, erosion and sedimentation, urban water pollutants or groundwater pollutants would result from the project. The Owner shall maintain the drainage system and storm water pollution control methods in a functioning state.

5. **Summit Road Public Improvement Plans.** The Owner shall submit C-1 public improvement for construction of improvements. The C-1 plans shall be submitted separately from plans submitted for a Building Permit. As determined by the Public Works Department, the improvements shall include new and/or remove and replace to City standards, the following: relocation of 10" City water main line and Fire Hydrant, public drainage improvements with supporting drainage calculations and/or hydrology report for installation of drainage pipe, drop inlet, off-site detention, erosion protection (provide off-site storm water BMP plan), preserve and/or reset survey monuments and contractor stamps, and provide adequate positive drainage from site. Any work in the public right-of-way requires a Public Works Permit.
6. **Agreement to Construct and Install Improvements.** The Owner shall submit an executed Agreement to Construct and Install Improvements, prepared by the Engineering Division, an Engineer's Estimate, signed and stamped by a registered civil engineer, and securities for construction of improvements prior to execution of the agreement.
7. **Removal or Relocation of Public Facilities.** Removal or relocation of any public utilities or structures must be performed by the Owner.
8. **Approved Public Improvement Plans and Concurrent Issuance of Public Works Permit.** Upon acceptance of the approved public improvement plans, a Public Works permit shall be issued concurrently with a Building permit.
9. **Solid Waste Management Plan.** Owner shall submit a solid waste management plan that identifies feasible measures to address the construction and operation of the Montecito Country Club uses which may include, but are not limited to, the following:
 - a. Provision of space and/or bins for storage of recyclable materials within the project site. Trash holding areas shall include recycling containers with at least equal capacity as the trash containers, and trash/recycling areas shall be easily accessed by the trash hauler. Green waste shall either have on-site containers adequate for the landscaping or be hauled off site. This information shall be shown on the building plans and installed as a part of the proposed project's improvements.
 - b. Development and implementation of a plan for collection of recyclable materials on a regular basis.
 - c. Development of Source Reduction Measures, indicating the method and amount of expected reduction.
 - d. Implementation of a program to purchase recycled materials used in association with the proposed project (paper, newsprint, etc.). This could include requesting suppliers to show recycled material content.

- e. Implementation of a monitoring program (quarterly, bi-annually) to attain and maintain a 35-50% minimum participation in recycling efforts.
 - f. Implementation of a composting landscape waste reduction program.
10. **Recycled Water Use.** All water used for irrigation shall be recycled water, with the exception of the golf course greens and tee boxes.
11. **Future Additional Use of Recycled Water.** The project shall provide for the potential conversion of the greens and tee boxes to irrigation with recycled water, either by incorporating this into the project, or by including plumbing modifications that will facilitate the conversion in the future. Other appropriate uses of recycled water would include all ornamental fountains, golf cart washing, tennis court washing, and toilet flushing in newly constructed bathrooms. These uses shall be incorporated into the project to the extent feasible, as determined by the Public Works Director.
12. **Bicycle Parking.** Provide a minimum of ten covered bicycle parking spaces and four uncovered bicycle parking spaces. The covered spaces shall be located in a covered and lockable location and subject to approval by the Transportation and Parking Manager, as well as the applicable design review board. All of the bicycle parking spaces shall meet the City of Santa Barbara Standards for Parking Design.
- E. **Community Development Requirements with Building or Public Works Permit Application.** The following shall be submitted finalized prior to Building or Public Works Permit issuance:
- 1. **Project Environmental Coordinator Required.** Submit to the Planning Division a contract with a qualified representative for the Owner, subject to approval of the contract and the representative by the Planning Division, to act as the Project Environmental Coordinator (PEC). The PEC shall be responsible for assuring full compliance with the provisions of the Mitigation Monitoring and Reporting Program (MMRP) and Conditions of Approval to the City. The contract shall include the following, at a minimum:
 - a. The frequency and/or schedule of the monitoring of the mitigation measures.
 - b. A method for monitoring the mitigation measures.
 - c. A list of reporting procedures, including the responsible party, and frequency.
 - d. A list of other monitors to be hired, if applicable, and their qualifications.
 - e. Submittal of weekly reports during demolition, excavation, grading and footing installation and monthly reports on all other construction activity regarding MMRP and condition compliance by the PEC to the Community Development Department/case planner.

- f. The PEC shall have authority over all other monitors/specialists, the contractor, and all construction personnel for those actions that relate to the items listed in the MMRP and conditions of approval, including the authority to stop work, if necessary, to achieve compliance with mitigation measures.
2. **Arborist's Monitoring.** Submit to the Planning Division an executed contract with a qualified arborist for monitoring of all work within the dripline of all trees proposed to remain during construction. The contract shall include a schedule for the arborist's presence during grading and construction activities, and is subject to the review and approval of the Planning Division and the City arborist, if appropriate.
 3. **Geotechnical Recommendations.** Site preparation and project construction related to soil conditions and seismic hazards shall be in accordance with the recommendations contained in the Geotechnical Engineering Report prepared by MNS Engineers, dated June 26, 2006 or equivalent. Compliance shall be demonstrated on plans submitted for grading and building permits. (G-1)
 4. **Draft Notices.** A draft copy of the Neighborhood Notification and Contractor and Subcontractor Notification shall be submitted to the Planning Division for approval prior to building permit issuance.
 5. **Letter of Commitment for Pre-Construction Conference.** The Owner shall submit to the Planning Division a letter of commitment that states that, prior to disturbing any part of the project site for any reason and after the Building permit has been issued, the General Contractor shall schedule a conference to review site conditions, construction schedule, construction conditions, and environmental monitoring requirements. The conference shall include representatives from the Public Works Department Engineering and Transportation Divisions, the assigned Building Inspector, the Planning Division, the Property Owner, the Architect, the Arborist, the Landscape Architect, the Biologist, the Project Engineer, the Project Environmental Coordinator, the Contractor and each subcontractor.
 6. **Compliance With SBCAPCD Rules and Regulation.** The project must comply with all Rules and Regulations required by the Santa Barbara County APCD, including, but not limited to:
 - Compliance with APCD Rule 339, governing application of cutback and emulsified asphalt paving materials.
 - Obtaining required APCD permits for emergency diesel generators or any individual (or grouping) of boilers or large water heaters with a rated heat over 2.0 million BTUs per hour (MMBtu/hr). Depending on the size of the individual unit, the unit must comply with the requirements of APCD Rule 360 or Rule 361.Evidence of compliance shall be submitted to the Planning Division. (AQ-24)

7. **Asbestos.** Pursuant to APCD Rule 1001, the applicant is required to complete and submit an APCD Asbestos Demolition and Renovation Compliance Checklist at least 10 working days prior to commencing any alterations of the buildings. A Draft Checklist shall be submitted to the Planning Division prior to issuance of any building/demolition permit. (AQ-25)
 8. **Photo-documentation.** The following shall be photo-documented prior to demolition: the tennis courts (including the sandstone retaining wall), the Badminton Building, the circa-1918 service building. (CR-5)
 9. **Emergency Evacuation Plan.** Provide an emergency evacuation plan subject to approval by the Fire Department.
 10. **Construction Erosion Control.** A Detailed Sedimentation/Erosion Control Plan shall be submitted that complies with the Building & Safety and Public Works Engineering Division's Erosion Control Policies. This plan shall include BMP's for all aspects of construction erosion control including, but not limited to; Stabilized Construction Entrance/Exits, Dust Control during grading activities, general on-site vehicle movements and transporting, Stockpiling of soil, etc.
- F. **Building Permit Plan Requirements.** The following requirements/notes shall be incorporated into the construction plans submitted to the Building and Safety Division for Building permits.
1. **Design Review Requirements.** Plans shall show all design, landscape and tree protection elements, as approved by the Architectural Board of Review and Historic Landmarks Commission, outlined in Section B above.
 2. **Mitigation Monitoring and Reporting Requirement.** Owner shall implement the Mitigation Monitoring and Reporting Program (MMRP) for the project's mitigation measures, as stated in the Mitigated Negative Declaration for the project.
 3. **Installation of Bat/Nest Boxes.** The following shall be shown on plans submitted for building permits:
 - a. **Bat Boxes.** Bat boxes shall be installed at locations selected by a qualified biologist throughout the course. Attracting and maintaining small colonies of bats on site could be a significant biological control agent for mosquitoes and other insects that breed in the water features (ponds) to be created on the course. This will reduce the need for chemical controls. (BIO-4)
 - b. **Nest Boxes.** Nest boxes for bluebirds and American kestrels and nesting structures for cliff swallows shall be installed at sites selected by a qualified biologist around the property. These birds could be very effective biological control agents for a diversity of insects, including mosquitoes, that may breed in the proposed water features (ponds), thereby reducing the need for chemical controls. (BIO-8)
 4. **Grading Plan Requirement for Archaeological Resources.** The following information shall be printed on the grading plans:

If archaeological resources are encountered or suspected, work shall be halted or redirected immediately and the Planning Division shall be notified. The archaeologist shall assess the nature, extent, and significance of any discoveries and develop appropriate management recommendations for archaeological resource treatment, which may include, but are not limited to, redirection of grading and/or excavation activities, consultation and/or monitoring with a Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List, etc.

If the discovery consists of possible human remains, the Santa Barbara County Coroner shall be contacted immediately. If the Coroner determines that the remains are Native American, the Coroner shall contact the California Native American Heritage Commission. A Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Planning Division grants authorization.

If the discovery consists of possible prehistoric or Native American artifacts or materials, a Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Planning Division grants authorization.

5. **Post-Construction Erosion Control and Water Quality Plan.** Provide an engineered drainage plan that addresses the existing drainage patterns and leads towards improvement of the quality and rate of water run-off conditions from the site by capturing, infiltrating, and/or treating drainage and preventing erosion. The Owner shall employ passive water quality methods, such as bioswales, catch basins, or storm drain on the Real Property, or other measures specified in the Erosion Control Plan, to intercept all sediment and other potential pollutants (including, but not limited to, hydrocarbons, fecal bacteria, herbicides, fertilizers, etc.) from the parking lot areas and other improved, hard-surfaced areas prior to discharge into the public storm drain system, including any creeks. All proposed methods shall be reviewed and approved by the Public Works Department and the Community Development Department. Maintenance of these facilities shall be provided by the Owner, as outlined in Condition C.12, above, which shall include the regular sweeping and/or vacuuming of parking areas and drainage and storm water methods maintenance program.
6. **Trash Enclosure Provision.** A trash enclosure with adequate area for recycling containers (an area that allows for a minimum of 50 percent of the total capacity for recycling containers) shall be provided on the Real Property and screened from view from surrounding properties and the street.

Dumpsters and containers with a capacity of 1.5 cubic yards or more shall not be placed within five (5) feet of combustible walls, openings, or roofs, unless protected with fire sprinklers.

7. **Conditions on Plans/Signatures.** The final Planning Commission Resolution shall be provided on a full size drawing sheet as part of the drawing sets. Each condition shall have a sheet and/or note reference to verify condition compliance. If the condition relates to a document submittal, indicate the status of the submittal (e.g., Archaeologist contract submitted to Community Development Department for review). A statement shall also be placed on the above sheet as follows: The undersigned have read and understand the above conditions, and agree to abide by any and all conditions which is their usual and customary responsibility to perform, and which are within their authority to perform.

Signed:

Property Owner		Date
Contractor	Date	License No.
Architect	Date	License No.
Engineer	Date	License No.

- G. **Construction Implementation Requirements.** All of these construction requirements shall be carried out in the field by the Owner and/or Contractor for the duration of the project construction.

1. **Pre-Construction Conference.** Not less than 10 days or more than 20 days prior to commencement of construction, a conference to review site conditions, construction schedule, construction conditions, and environmental monitoring requirements, shall be held by the General Contractor. The conference shall include representatives from the Public Works Department Engineering and Transportation Divisions, Building Division, Planning Division, the Property Owner, Architect, Arborist, Landscape Architect, Biologist, Project Engineer, Project Environmental Coordinator, Mitigation Monitors, Contractor and each Subcontractor.
2. **Neighborhood Notification Prior to Construction.** At least twenty (20) days prior to commencement of construction, the contractor shall provide written notice to all property owners, businesses, and residents within 300 feet of the project area. The notice shall contain a description of the project; a construction schedule, including days and hours of construction; site rules; Conditions of Approval pertaining to construction activities; any additional information that will assist the Building Inspectors, Police Officers and the public in addressing problems that may arise during construction; and the name and phone number of the Project Environmental Coordinator (PEC) and Contractor(s) who can answer questions, and provide additional information or address problems that may arise during construction. A 24-hour construction hot line shall be provided. Informational

signs with the PEC's name and telephone number shall also be posted at the site. The language of the notice and the mailing list shall be reviewed and approved by the Planning Division prior to being distributed. An affidavit signed by the person(s) who compiled the mailing list shall be submitted to the Planning Division. (N-1)

3. **Construction Contact Sign.** Immediately after Building permit issuance, signage shall be posted at the points of entry to the site that list the contractor(s) and Project Environmental Coordinator's (PEC) name, contractor(s) and PEC's telephone number(s), work hours, site rules, and construction-related conditions, to assist Building Inspectors and Police Officers in the enforcement of the conditions of approval. The construction contact phone number shall include an option to contact a person instead of a machine in case of emergency. The font size shall be a minimum of 0.5 inches in height. Said sign shall not exceed six feet in height from the ground if it is free-standing or placed on a fence. It shall not exceed 24 square feet if in a multi-family or commercial zone or six square feet if in a single family zone.
4. **Contractor and Subcontractor Notification.** The Owner shall notify in writing all contractors and subcontractors of the site rules, restrictions, and Conditions of Approval. Submit a copy of the notice to the Planning Division.
5. **Demolition/Construction Materials Recycling.** Recycling and/or reuse of demolition/construction materials shall be carried out to the extent feasible, and containers shall be provided on site for that purpose, in order to minimize construction-generated waste conveyed to the landfill. Indicate on the plans the location of a container of sufficient size to handle the materials, subject to review and approval by the City Solid Waste Specialist, for collection of demolition/construction materials. A minimum of 90% of demolition and construction materials shall be recycled or reused. Evidence shall be submitted at each inspection to show that recycling and/or reuse goals are being met. (PS-1)
6. **Sandstone Curb Recycling.** Any existing sandstone curb in the public right-of-way that is removed and not reused shall be salvaged and sent to the City Corporation Annex Yard.
7. **Construction Related Truck Trips.** The route of construction related traffic shall be established by the Transportation Engineer to minimize trips through surrounding residential neighborhoods. Construction traffic shall access the site via Summit Road directly from Hot Springs Road. Construction-related truck trips shall not be scheduled during peak hours (7:00 a.m. to 9:00 a.m. and 4:00 p.m. to 6:00 p.m.) to help reduce truck traffic and noise on adjacent streets and roadways. (T-1)
8. **Construction Equipment Maintenance.** All construction equipment, including trucks, shall be professionally maintained and fitted with standard manufacturers' muffler and silencing devices. (N-3)

9. **Construction Hours.** Noise-generating construction activities (including preparation for construction work) is prohibited Monday through Friday before 7:00 a.m. and after 4:00 p.m., and all day on Saturdays, Sundays and holidays observed by the City of Santa Barbara as legal holidays (see below)*:

New Year's Day	January 1st*
Martin Luther King's Birthday	3rd Monday in January
Presidents' Day	3rd Monday in February
Cesar Chavez Day	March 31st
Memorial Day	Last Monday in May
Independence Day	July 4th*
Labor Day	1st Monday in September
Thanksgiving Day	4th Thursday in November
Following Thanksgiving Day	Friday following Thanksgiving Day
Christmas Day	December 25th*

*When a holiday falls on a Saturday or Sunday, the preceding Friday or following Monday, respectively, shall be observed as a legal holiday.

When, based on required construction type or other appropriate reasons, it is necessary to do work outside the allowed construction hours, contractor shall contact the Chief of Building and Safety to request a waiver from the above construction hours, using the procedure outlined in Santa Barbara Municipal Code §9.16.015 Construction Work at Night. Contractor shall notify all residents within 300 feet of the parcel of intent to carry out night construction a minimum of 48 hours prior to said construction. Said notification shall include what the work includes, the reason for the work, the duration of the proposed work and a contact number that is answered by a person, not a machine. Night work shall not be permitted on weekends and holidays. (N-2)

10. **Construction Parking and Staging.** Construction parking and vehicle/equipment/materials storage shall be provided on site. (T-2)
11. **Construction Dust Control - Watering.** During site grading and transportation of fill materials, regular water sprinkling shall occur using reclaimed water whenever the Public Works Director determines that it is reasonably available. During clearing, grading, earth moving or excavation, sufficient quantities of water, through use of either water trucks or sprinkler systems, shall be applied to achieve minimum soil moisture of 12% to prevent dust from leaving the site. Each day, after construction activities cease, the entire area of disturbed soil shall be sufficiently moistened to create a crust.

Throughout construction, water trucks or sprinkler systems shall also be used to keep all areas of vehicle movement damp enough to prevent dust raised from leaving the site. At a minimum, this will include wetting down such areas every three hours. Increased watering frequency will be required whenever the wind speed exceeds 15 mph. (AQ-1)

12. **Construction Dust Control – Tarping.** Trucks transporting fill material to and from the site shall be covered from the point of origin and maintain a freeboard height of 12 inches. (AQ-2)
13. **Construction Dust Control – Gravel Pads.** Gravel pads, 3 inches deep, 25 feet long, 12 feet wide per lane and edged by rock berm or row of stakes or a pipe-grid track out control device shall be installed to reduce mud/dirt track out from unpaved truck exit routes. (AQ-3)
14. **Construction Dust Control – Minimize Disturbed Area/Speed.** Minimize amount of disturbed area and reduce on site vehicle speeds to 15 miles per hour or less. (AQ-4)
15. **Construction Dust Control – Disturbed Area Treatment.** After clearing, grading, earth moving or excavation is completed, the entire area of disturbed soil shall be treated to prevent wind erosion. This may be accomplished by:
 - Seeding and watering until grass cover is grown;
 - Spreading soil binders;
 - Sufficiently wetting the area down to form a crust on the surface with repeated soakings as necessary to maintain the crust and prevent dust pickup by the wind;
 - Other methods approved in advance by the Air Pollution Control District.(AQ-5)
16. **Construction Dust Control – Paving.** All roadways, driveways, sidewalks, etc., shall be paved as soon as possible. Additionally, building pads shall be laid as soon as possible after grading unless seeding or soil binders are used. (AQ-6)
17. **Stockpiling.** If importation, exportation and stockpiling of fill material are involved, soil stockpiled for more than two days shall be covered, kept moist by applying water at a rate of 1.4 gallons per hour per square yard, or treated with soil binders to prevent dust generation. Apply cover when wind events are declared. (AQ-7)
18. **Construction Dust Control – Project Environmental Coordinator (PEC).** The contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust offsite. Their duties shall include holiday and weekend periods when construction work may not be in progress. The name and telephone number of such persons shall be provided to the Air Pollution Control District prior to land use clearance for map recordation and land use clearance for finish grading for the structure. (AQ-8)
19. **Exhaust Emissions – Engines.** Heavy-duty diesel-powered construction equipment manufactured after 1996 (with federally mandated "clean" diesel engines) shall be used. (AQ-9)

20. **Engine Size.** The engine size of construction equipment shall be the minimum practical size. (AQ-10)
21. **Equipment Numbers.** The number of construction equipment operating simultaneously shall be minimized through efficient management practices to ensure that the smallest practical number is operating at any one time. (AQ-11)
22. **Equipment Maintenance.** Construction equipment shall be maintained to meet the manufacturer's specifications. (AQ-12)
23. **Engine timing.** Construction equipment operating onsite shall be equipped with two to four degree engine timing retard or pre-combustion chamber engines. (AQ-13)
24. **Catalytic Converters.** Catalytic converters shall be installed on gasoline-powered equipment, if feasible. (AQ-14)
25. **Diesel Catalytic Converters.** Diesel catalytic converters, diesel oxidation catalysts and diesel particulate filters as certified and/or verified by EPA or California shall be installed, if available. (AQ-15)
26. **Diesel Replacements.** Diesel powered equipment shall be replaced by electric equipment whenever feasible. (AQ-16)
27. **Idling Limitation.** Idling of heavy-duty diesel trucks during loading and unloading shall be limited to five minutes; auxiliary power units shall be used whenever possible. (AQ-17)
28. **Worker Trips.** Construction worker trips shall be minimized by facilitating carpooling and by providing for lunch onsite. (AQ-18)
29. **Biodiesel.** Biodiesel shall be used to the maximum extent feasible. (AQ-19)
30. **Carpool Parking.** Provide preferential parking for carpools and vanpools. (AQ-20)
31. **Vehicle Trackout.** Apply water every 4 hours to the area within 100 feet of a structure being demolished, to reduce vehicle trackout. Apply water to disturbed soils after demolition is completed or at the end of each day of cleanup. (AQ-21)
32. **Post Demolition.** Apply dust suppressants (e.g., polymer emulsion) to disturbed areas upon completion of demolition if soils are left exposed for extended periods of time. (AQ-22)
33. **Demolition Activities.** Prohibit demolition activities when wind speeds exceed 25 mph. (AQ-23)
34. **Street Sweeping.** The property frontage along Summit Road, along Hot Springs Road to the roundabout, and parking and staging areas at the construction site, shall be swept as needed to decrease sediment transport to the public storm drain system and dust.

35. **Mitigation Monitoring Compliance Reports.** The PEC shall submit weekly reports during demolition, excavation, grading and footing installation and monthly reports on all other construction activity regarding MMRP compliance to the Project Planner.
36. **Best Management Practices.** The contractor shall implement all applicable best management practices (BMPs) when working near or within the bed or banks of the three on-site drainages to ensure that sediment is not transported downstream. The contractor shall implement all applicable BMPs around storm drains, concrete clean-out areas, etc. to ensure that sediment and/or pollutants are not transported off site. (BIO-10)
37. **Pond Excavation.** Excavation of the water features (ponds) for the golf course shall be completed in stages so that groundwater can be adequately contained in either Baker tanks or in an adjacent pit, and allowed to de-silt on-site before it is pumped into the storm drain and enters Andree Clark Bird Refuge. (W-1)
38. **Legless Lizard Monitoring.** A qualified biologist shall be present to monitor initial site demolition and initial grading (down to a depth of six inches) in the northwestern portions of the site in order to capture and relocate to suitable adjacent habitat any legless lizards exposed by these activities. (BIO-5)
39. **Tree Removal - Phasing.** Tree removal shall not be phased; it shall occur in as short a time as possible within the confines of the construction "windows" identified below in order to reduce the time during which butterflies, bats and birds could be affected. (BIO-3)
40. **Tree Removal Limitations.**
 - a. **Monarch Butterflies.** Tree removal/relocation/trimming activities shall not occur between October 1st and February 1st. If work must occur during this time, a qualified biologist shall survey any tree slated for removal, relocation or trimming no more than one week prior to removal. Trees containing aggregations of more than ten butterflies shall be protected from disturbance until butterflies have left the area. A 150-foot radius temporary buffer shall be established around these aggregation trees. A qualified biologist shall periodically monitor the site to verify that butterflies have left the area before tree cutting proceeds.
 - b. **Birds.** Tree removal/ relocation/ trimming activities shall not occur during nesting season (February 1st – August 15th). If these activities must occur during this time, a qualified biologist shall conduct a survey of the project area no more than one week prior to the activity to identify active nests or nest holes. In the event that active nests are found, a 300-foot radius no-disturbance buffer shall be established around trees containing active nests and this buffer shall be maintained until the biologist has verified that young have fledged the nest.

- c. **Bats.** A qualified biologist shall map the location of all active and inactive woodpecker nest holes and decay holes on the property prior to any removal, relocation or trimming of trees. Trees slated for removal or relocation that contain woodpecker nest holes, decay holes, or other suitable bat roost sites should be surveyed by a qualified biologist using a fibre-optic endoscope to examine the holes and assess occupancy by bats. Trees containing active woodpecker nest holes shall be preserved in situ wherever possible. Trimming of such trees during course redesign shall be delayed until the nesting season has passed (March 1st – July 1st). Trimming of trees with active woodpecker nest holes shall be closely monitored by a qualified biologist. If trees containing active woodpecker nest holes must be removed or relocated, then the biologist shall consult with the California Department of Fish and Game prior to such removal as to the most appropriate course of action.
- d. **Inspections.** A qualified biologist shall work closely with the tree removal/trimming contractor to inspect all trees slated for removal, relocation or trimming at any time of year prior to such activity to ensure that birds or bats will not be injured or killed during such activities.
- e. **Raptor Surveys.** Focused raptor surveys that follow County and State protocols shall be conducted no more than two months prior to project initiation. These surveys typically require a minimum of five surveys spaced at least one week apart, conducted between February 1st and June 15th. Active raptor nest trees shall be flagged for avoidance and a 300-foot tree removal buffer shall be established around the tree(s) until a qualified biologist verifies that young have fledged the nest.

(BIO-3)

- 41. **Tree Protection.** All trees not indicated for removal on the site plan shall be preserved, protected, and maintained, in accordance with the Tree Protection measures identified in the Conditions of Approval and in the Arborist Report for the project.
 - a. **Tree Relocation.** The 83 existing trees proposed for relocation shall be relocated on the Real Property and shall be fenced and protected during construction.
 - b. **Existing Tree Preservation.** The existing tree(s) shown on the approved Site Plan to be saved shall be preserved and protected and fenced three feet outside the dripline during construction.
- 42. **Graffiti Abatement Required.** Owner and Contractor shall be responsible for removal of all graffiti as quickly as possible. Graffiti not removed within 24 hours of notice by the Building and Safety Division may result in a Stop Work order being issued, or may be removed by the City, at the Owner's expense, as provided in SBMC Chapter 9.66.

43. **Unanticipated Archaeological Resources Contractor Notification.** Prior to the start of any vegetation or paving removal, demolition, trenching or grading, contractors and construction personnel shall be alerted to the possibility of uncovering unanticipated subsurface archaeological features or artifacts associated with past human occupation of the parcel. If such archaeological resources are encountered or suspected, work shall be halted immediately, the City Environmental Analyst shall be notified and the applicant shall retain an archaeologist from the most current City Qualified Archaeologists List. The latter shall be employed to assess the nature, extent and significance of any discoveries and to develop appropriate management recommendations for archaeological resource treatment, which may include, but are not limited to, redirection of grading and/or excavation activities, consultation and/or monitoring with a Barbareño Chumash representative from the most current City qualified Barbareño Chumash Site Monitors List, etc.

If the discovery consists of possible human remains, the Santa Barbara County Coroner shall be contacted immediately. If the Coroner determines that the remains are Native American, the Coroner shall contact the California Native American Heritage Commission. A Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

If the discovery consists of possible prehistoric or Native American artifacts or materials, a Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization. (CR-7)

- H. **Prior to Certificate of Occupancy.** Prior to issuance of the Certificate of Occupancy, the Owner of the Real Property shall complete the following:
1. **Business Plan.** Prior to issuance of a certificate of occupancy for the maintenance building, the owner shall update the business plan on file with the City Fire Department to indicate the location of the new storage area. (H-1)
 2. **Repair Damaged Public Improvements.** Repair any damaged public improvements (curbs, gutters, sidewalks, roadways, etc.) subject to the review and approval of the Public Works Department per SBMC §22.60.090. Where tree roots are the cause of the damage, the roots shall be pruned under the direction of a qualified arborist.
 3. **Complete Public Improvements.** Public improvements, as shown in the improvement/building plans, shall be completed.
 4. **Cross-Connection Inspection.** The Owner shall request a cross connection inspection by the Public Works Water Reclamation/Cross Connection Specialist.

5. **Fire Hydrant Replacement.** Replace existing nonconforming type fire hydrant(s) with commercial-type hydrant(s) described in Standard Detail 6-003.1 Paragraph 2 of the Public Works Department Standard Details.
 6. **Manholes.** Raise all sewer and water manholes on easement to final finished grade.
 7. **Mitigation Monitoring Report.** Submit a final construction report for mitigation monitoring.
 8. **Biological Monitoring Contract.** Submit a contract with a qualified biologist acceptable to the City for on-going monitoring.
- I. **Litigation Indemnification Agreement.** In the event the Planning Commission approval of the Project is appealed to the City Council, Applicant/Owner hereby agrees to defend the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any third party legal challenge to the City Council's denial of the appeal and approval of the Project, including, but not limited to, challenges filed pursuant to the California Environmental Quality Act (collectively "Claims"). Applicant/Owner further agrees to indemnify and hold harmless the City and the City's Agents from any award of attorney fees or court costs made in connection with any Claim.

Applicant/Owner shall execute a written agreement, in a form approved by the City Attorney, evidencing the foregoing commitments of defense and indemnification within thirty (30) days of the City Council denial of the appeal and approval of the Project. These commitments of defense and indemnification are material conditions of the approval of the Project. If Applicant/Owner fails to execute the required defense and indemnification agreement within the time allotted, the Project approval shall become null and void absent subsequent acceptance of the agreement by the City, which acceptance shall be within the City's sole and absolute discretion. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorney fees, expenses, and costs of that independent defense.

NOTICE OF APPROVAL TIME LIMITS:

Pursuant to Santa Barbara Municipal Code Sections 28.87.370 and 28.44.230, the expiration of all discretionary approvals granted pursuant to this application shall be four years from the date of approval unless:

1. A building or grading permit for the work authorized by the development plan is issued prior to the expiration date of the approval.
2. A time extension is granted by the Staff Hearing Officer for one (1) year prior to the expiration date of the approval, only if it is found that there is due diligence to implement and complete the proposed project. No more than one (1) time extension may be granted.

200 Spring Ave.
P.O. Box 1115
37131 Nashville, TN
615-259-1115
www.blackburn-arch.com



Montecito Country Club
3915 S. Grand Road
Nashville, TN 37120

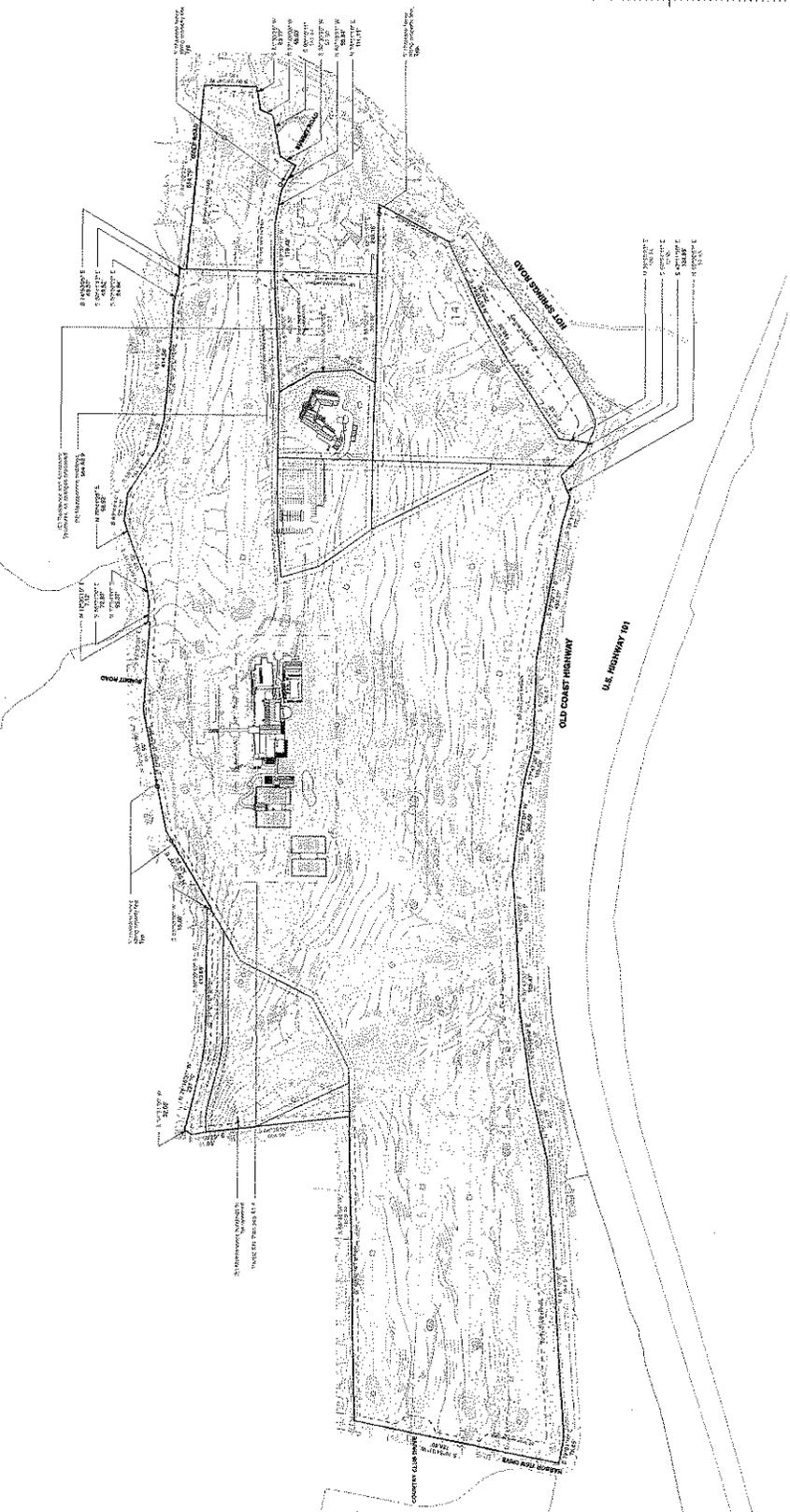
Project: Montecito Country Club
3915 S. Grand Road
Nashville, TN 37120
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1/10/2008

NOT FOR CONSTRUCTION

Proposed Site Plan

A1.1

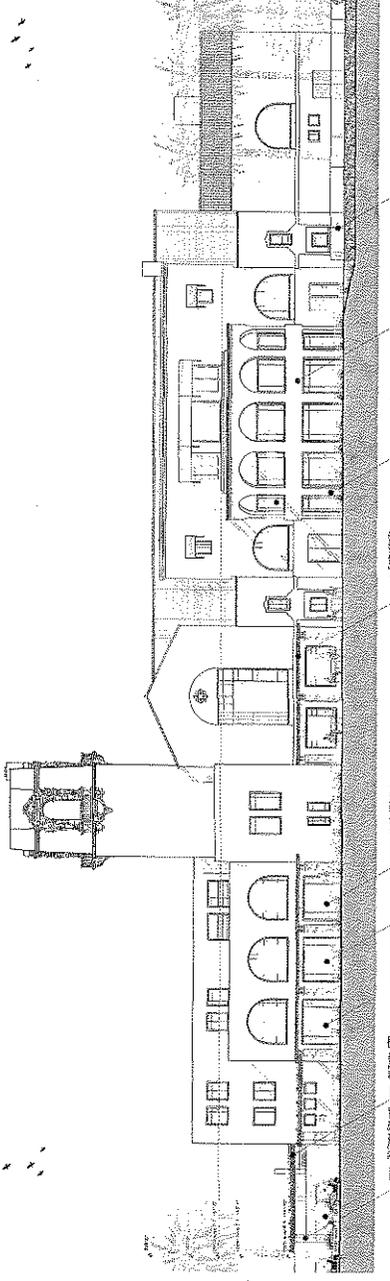
DAAT Submittal 02.08.08



Overall Site Plan 1

Scale: 1" = 100'

North Arrow



Proposed South Elevation
1" = 10'

Montecito Country Club

2005 Summer Road
Beverly Hills, CA 90212
(310) 551-1000

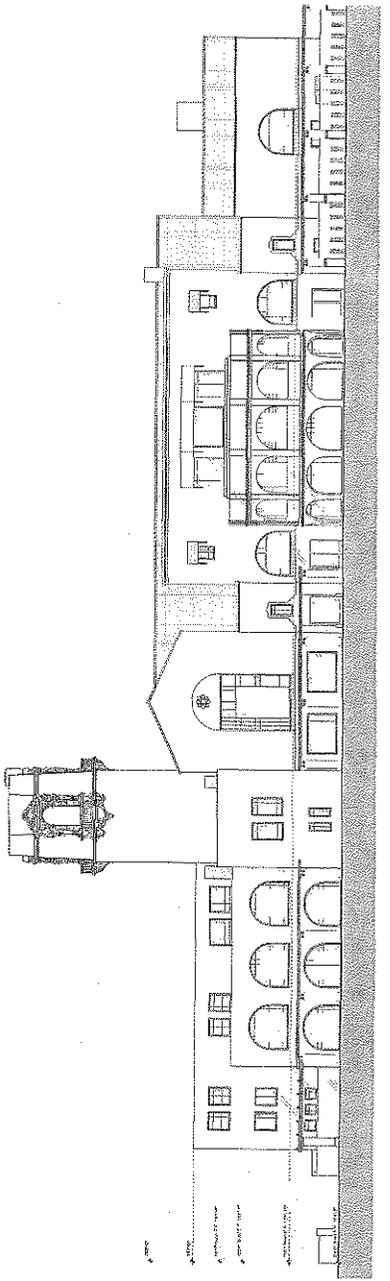
Montecito Country Club
2005 Summer Road
Beverly Hills, CA 90212
(310) 551-1000

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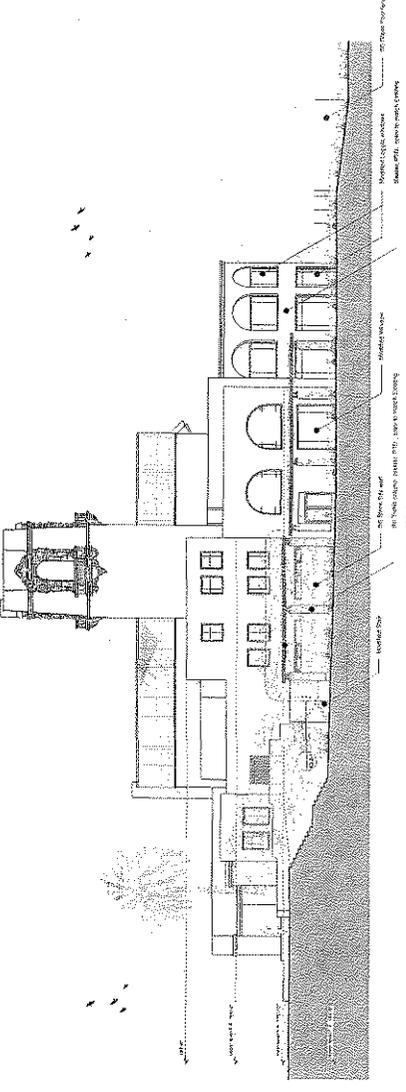
NOT FOR
CONSTRUCTION

Clubhouse Elevations South Elevations

A3.1



Existing South Elevation
1" = 10'



Proposed West Elevation with (N) outdoor women's lounge fence

Scale: 1/8" = 1'-0"

Montecito Country Club

3222 Coastal Road
Sherman Oaks, CA
91403-3515

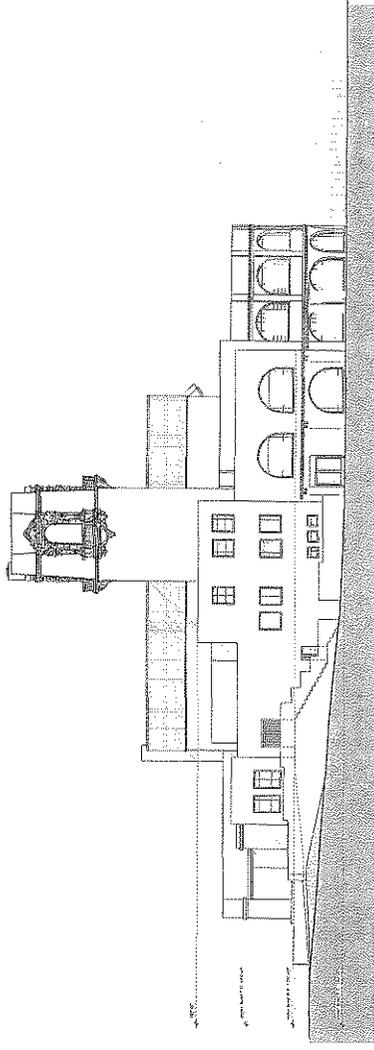
PROJECT: Clubhouse, Clubhouse
3222 Coastal Road
Sherman Oaks, CA 91403-3515
1-800-441-2121

NOT FOR CONSTRUCTION

Clubhouse Elevations
West Elevations

A3.2

DART submitted 05.06.2020

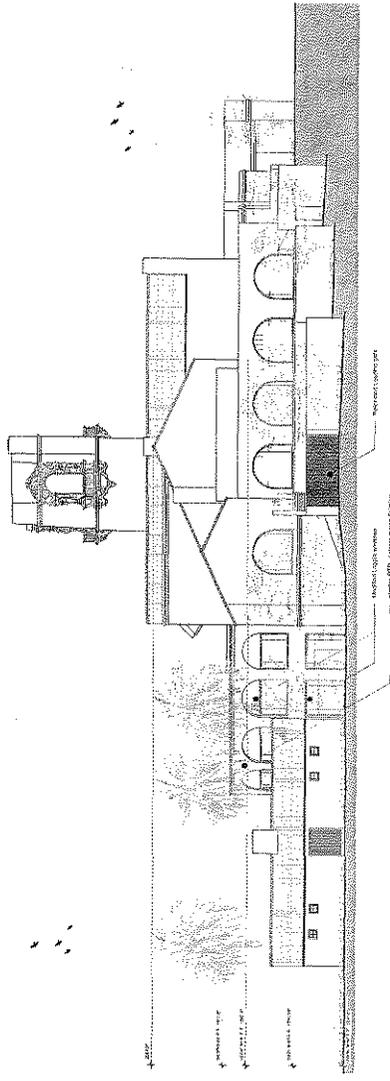


Existing West Elevation

Scale: 1/8" = 1'-0"

B I S C E R I A
 ARCHITECTS INC
 200 West Ave
 Suite 100
 San Diego, CA 92101
 TEL: 619.594.1111
 FAX: 619.594.1117
 WWW: BISCERIA.COM

CLUBHOUSE
 200 West Ave
 Suite 100
 San Diego, CA 92101
 TEL: 619.594.1111
 FAX: 619.594.1117
 WWW: BISCERIA.COM



Proposed East Elevation
 Feet 0 5 10 20

**Montecito
 Country Club**

200 West Avenue
 Suite 100
 San Diego, CA 92101

OWNER:
 Montecito Country Club
 200 West Avenue, Suite 100
 San Diego, CA 92101
 TEL: 619.594.1111
 FAX: 619.594.1117

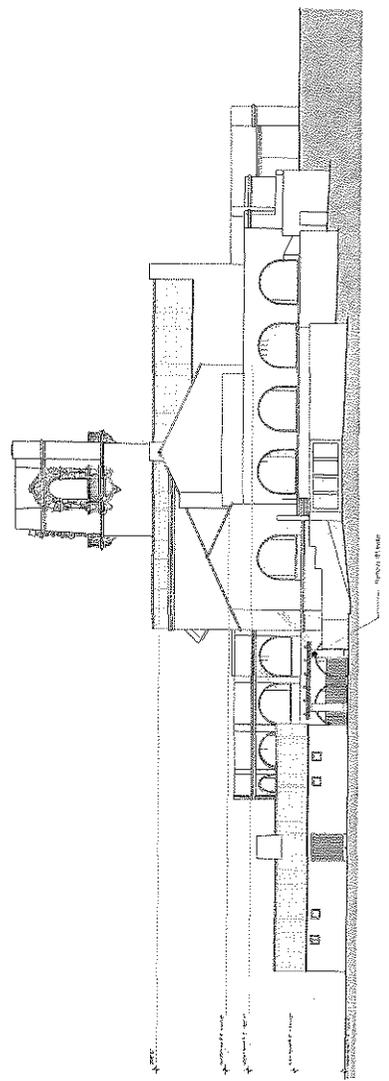
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**NOT FOR
 CONSTRUCTION**

**Clubhouse Elevations
 East Elevations**

A3.4

DART (subject) 02.18.2009



Existing East Elevation
 Feet 0 5 10 20



Design/Marketing
2500 N. 16th Ave.
Tucson, AZ 85710
Tel: (520) 552-1311
Fax: (520) 552-1317
www.bisceditd.com

Montecito Country Club

0003 General Elevation
Scale: 1/8" = 1'-0"
DATE: 01/15/08

PROJECT:
Montecito Country Club
2500 N. 16th Ave.
Tucson, AZ 85710
Tel: (520) 552-1311
Fax: (520) 552-1317
www.bisceditd.com

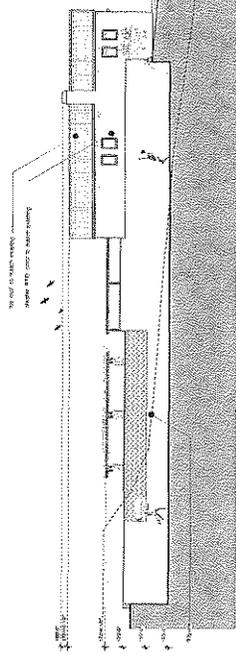
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NOT FOR
CONSTRUCTION

Golf Pro Shop
Elevations

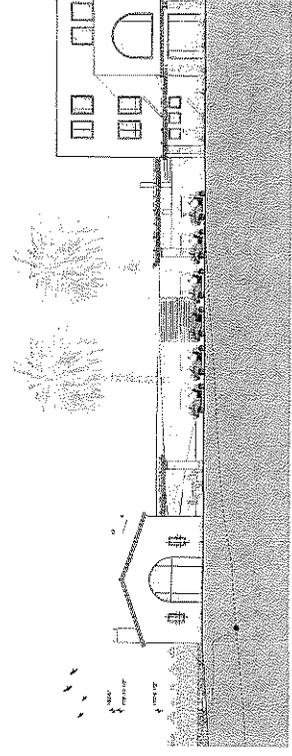
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DWG. SUBMITTAL 07.20.2008

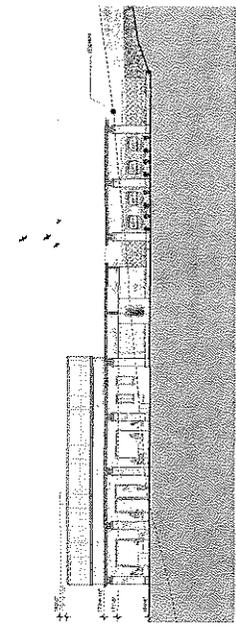


Proposed West Elevation 2
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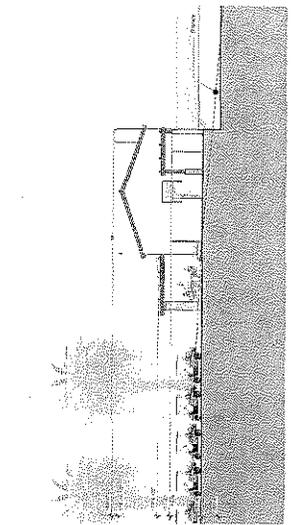
Note: All exterior materials to match (E) 31-Membrane



Proposed South Elevation 1
Scale: 0 5 10 20



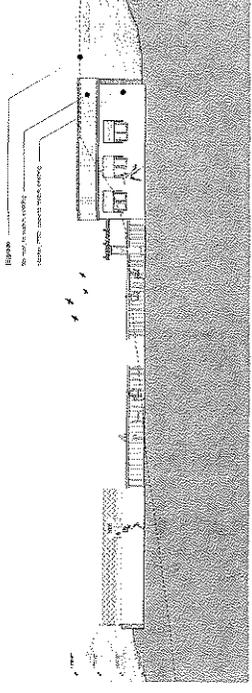
Proposed East Elevation 4
Scale: 0 5 10 20



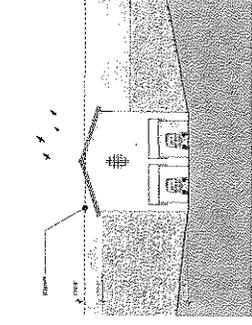
Proposed North Elevation 3
Scale: 0 5 10 20

BISCHBERG
 ARCHITECTS INC.
 2025 ROAD, N.W.
 SUITE 1000
 ATLANTA, GA 30329
 (404) 525-1377
 www.bisb.com

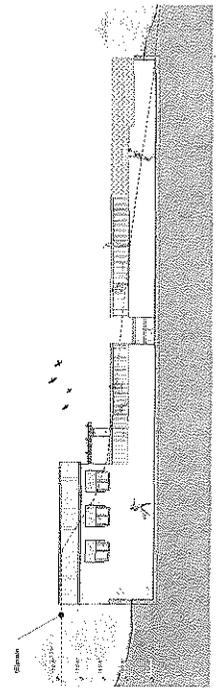
LEWIS
 ARCHITECTS
 2025 ROAD, N.W.
 SUITE 1000
 ATLANTA, GA 30329
 (404) 525-1377



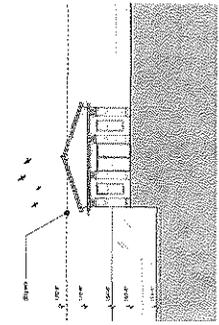
Proposed West Elevation 4
 SCALE: 1/8" = 1'-0"
 ALL DIMENSIONS IN FEET UNLESS OTHERWISE NOTED



Proposed North Elevation 2
 SCALE: 1/8" = 1'-0"
 ALL DIMENSIONS IN FEET UNLESS OTHERWISE NOTED



Proposed East Elevation 3
 SCALE: 1/8" = 1'-0"
 ALL DIMENSIONS IN FEET UNLESS OTHERWISE NOTED



Proposed South Elevation 1
 SCALE: 1/8" = 1'-0"
 ALL DIMENSIONS IN FEET UNLESS OTHERWISE NOTED

Montecito Country Club
 1005 Sycamore Road
 Santa Barbara, CA 93108
 (805) 965-1377

PROJECT:
 Tennis Pro Shop
 2025 Road, N.W.
 Atlanta, GA 30329
 (404) 525-1377

NOT FOR CONSTRUCTION

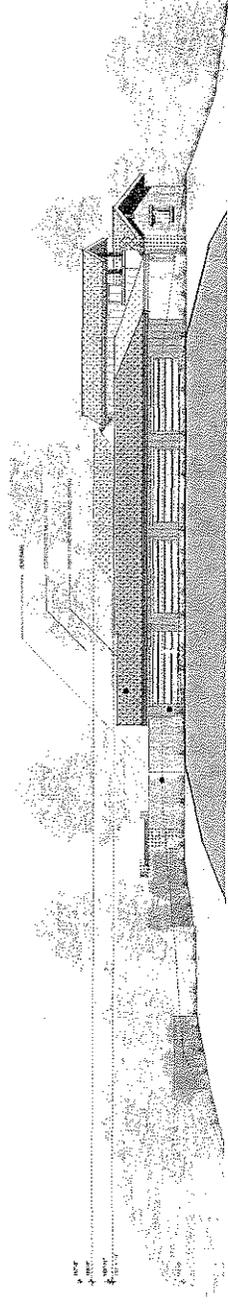
Tennis Pro Shop
 Elevations

A3.6

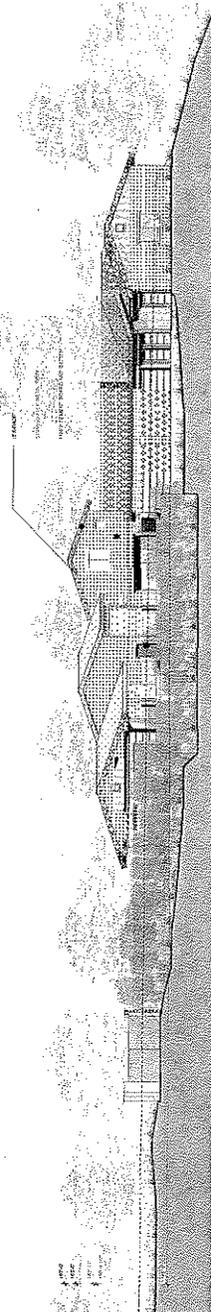
DART submitted 12.06.2008

3255 Wilshire Blvd.
Suite 2000
Beverly Hills, CA 90210
Tel: 310.274.1111
Fax: 310.274.1112
www.blanchard.com

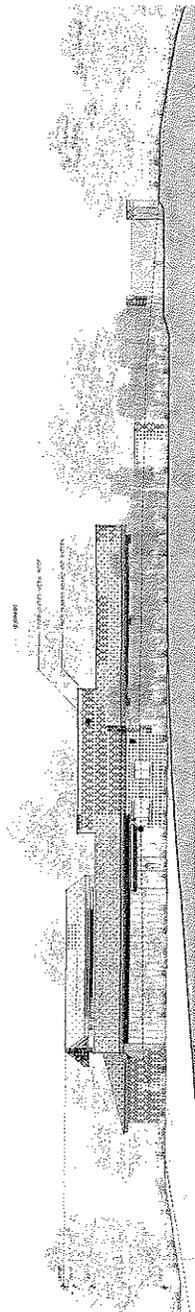
Proposed North Elevation 4



Proposed East Elevation 3



Proposed South Elevation 2



Proposed West Elevation 1



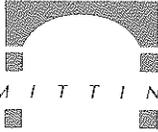
Montecito Country Club

3255 Wilshire Blvd.
Suite 2000
Beverly Hills, CA 90210
Tel: 310.274.1111
Fax: 310.274.1112
www.blanchard.com

NOT FOR CONSTRUCTION

Maintenance Bldg.
Elevations

A3.7

S U Z A N N E  E L L E D G E
P L A N N I N G & P E R M I T T I N G S E R V I C E S , I N C .

PRINCIPAL PLANNERS
SUZANNE ELLEDGE • LAUREL F. PEREZ

23 July 2009

Planning Commission
City of Santa Barbara
630 Garden Street
Santa Barbara, CA 93101

RE: Project Description Letter for Montecito Country Club; MST#2005-00831

Dear Commissioners:

On behalf of the applicant, the Montecito Country Club, we are pleased to provide the following project description for the Montecito Country Club renovation, located at 920 Summit Drive in the City of Santa Barbara.

The Montecito Country Club and Golf Course has served local resident members and guests for nearly 90 years. Throughout this long history, the club and golf course have undergone several renovations and modifications in order to maintain its quality and stature. While the membership continues to use the facilities, the club and course are now in need of renovations in order to continue to provide the services and amenities of clubs of comparable stature.

Under new ownership, a fresh approach and perspective has resulted in a proposed project which seeks to respect the club's traditions while at the same time providing services and a golf course experience that will carry the club into the 21st century. No changes are proposed to the membership limitations or uses allowed within the club's active Conditional Use Permit.

The primary goal of the proposed project is to significantly improve the golfing experience through a golf course design which includes environmentally sensitive features and state of the art landscaping techniques, in order to enhance the overall experience of the club members and guests. To achieve this goal, the proposed project consists of a redesign of the existing course that, upon completion, will become a Jack Nicklaus Signature Golf Course. The original course design has been significantly altered and reduced in size since its inception mainly due to the construction of U.S. Highway 101. Improvements will correct many of the existing problems associated with the current course including inadequate drainage by re-creating and restoring natural drainage swales on the site.

Property History

Montecito Country Club was first established at its current site in 1916. The clubhouse was designed in 1917 by Bertram Goodhue followed by interior alterations designed by George Washington Smith in 1921. Several subsequent alterations were made primarily to the southern portion of the building in 1956-57, 1962 and 1971.¹

In 1996 a major renovation of the clubhouse facility was undertaken consisting of a large addition to the clubhouse, construction of a new pool cabana, tennis pavilion, a new maintenance building, removal of grass tennis courts, and the provision of additional parking.

Along with the renovation in 1996, the City of Santa Barbara approved a CUP that placed conditions on the use of the club property and limited the club membership to 680 members. No changes to these conditions or membership limitations are proposed.

Existing Setting & Current Operations

The property is located at the northwest corner of Hot Springs Road and Old Coast Highway in the Montecito area, within the City of Santa Barbara. Access to the property is via Summit Road extending from the west side of Hot Springs Road. The Coastal Zone boundary bisects the property running east to west, and the entire property is zoned A-2 (One Family Residence Zone) with an Open Space General Plan designation.

The property consists of at least ten (10) separate parcels covering approximately 117 acres. The site is developed with the following structures:

- 44,960 square foot clubhouse
- 12,510 square foot car barn
- 1,213 square foot pool cabana
- 618 square foot tennis pavilion
- 4,211 square foot maintenance building
- Two (2) on-course comfort stations each 380 square feet
- 201 parking spaces and a 125 overflow parking space area
- Four tennis courts and a swimming pool

In addition to providing an 18-hole golf course, pro shop and related golf amenities, the Montecito Country Club offers tennis, swimming, dining, banquet hall, fitness center, lockers and meeting room facilities for its members and guests.

¹ Additional information on the project background can be found in the Historic Resources Report prepared by Post Hazeltine & Associates

The club is operating under the CUP that was approved by the City Planning Commission on September 5, 1996 in conjunction with a club renovation and expansion. The 1996 CUP permits a maximum of 680 members. Since 1996, club membership has ranged from approximately 470 to 680 members. Parking is provided via 201 surface parking spaces and 125 overflow parking spaces.

Proposed Improvements/Future Operations

Jack Nicklaus Signature Golf Course

The Montecito Country Club is extremely proud to have Jack Nicklaus and the Nicklaus Design Team agree to redesign the existing golf course. This redesign will address most of the existing golf course deficiencies such as poor slope angles along fairways and greens that negatively affect play, safety hazards that pose risks to players due to poor sight angles, poor turf quality resulting from ineffective irrigation, and unusable course areas and poor drainage that results in seasonal flooding of Old Coast Highway. Many of these deficiencies are due in part to modifications that resulted as part of the construction of Highway 101.

The new layout will provide for a realignment of tees, fairways and greens to eliminate play against contours and blind uphill approaches to greens. Player safety will be improved by ensuring greens are located sufficiently away from adjacent tees. This will be done by re-shaping the course and realigning the tees and greens and through incorporating more of the Club property into the course. To reduce hazards to pedestrians and motorists, the location of holes and fairways will be re-designed and direction of play reversed to minimize golf balls leaving the course. In addition, by trimming and shaping of bushes and trees and adding a landscape berm around the perimeter of the course which faces public streets, better views and safety barriers for the public will be provided. A final safety element that also will address a golf issue concerning poor soils and drainage is to add a water feature (see Sheet L8 and Sheet L-9) which will direct play away from Old Coast Highway.

To enhance the playing experience, the overall course length will be increased by approximately 250 yards, bringing the course closer to modern day standards. This increased length will be achieved by reclaiming currently unused property located at the northern portion of the site, presently dedicated to event lawn and by relocating an existing maintenance facility to an unused central location, freeing perimeter space for golf use. Mature trees will be planted throughout the property.

In its current state, the course has some problems with irrigation. The course redesign will address this issue by installing improvements that will allow more efficient and effective course irrigation by allowing the targeted watering of only those areas that require water.

The applicant has also volunteered to restore existing surface and subsurface drainages. These drainages are currently significantly degraded and large parts are currently piped underground. The proposed improvements include removing debris and non-native and invasive plants from the existing drainages, day-lighting large portions of the piped drainages and planting native vegetation with significantly higher habitat value. For further details on the restoration please see the Biological Assessment and Restoration Plan from wildlife biologist Larry Hunt.

The applicant also proposes to install new sedimentation and infiltration basins, which when combined with the improved overland drainages will provide significant water quality improvements. Two (2) new sandstone bridges will be constructed to span the drainages and allow for golfer passage.

These improvements, in conjunction with the parking lot and clubhouse perimeter improvements will require approximately 106,000 cubic yards of cut and 86,000 cubic yards fill. After projected shrinkage and compaction, earthwork associated with the improvements is expected to balance on site, eliminating significant truck trips related to earthwork.

When complete, the new course will significantly improve the playing experience by providing a Jack Nicklaus Signature Course that brings the experience in line with modern golf standards.

Other Improvements

In addition to the golf course redesign, improvements to the clubhouse perimeter and its ancillary buildings are also proposed. These improvements include demolition of the existing cart barn, maintenance buildings and tennis pro shop. These facilities will be replaced with new buildings as well as a new golf pro shop as described further below in Table 1.

TABLE 1.

Totals are provided in net square feet:

Structure	Existing	Demo	Proposed New	Total
Clubhouse	44,960	0	44,960	44,960
Tennis Support	618	618	0	0
Pool Support	1,213	0	0	1,213
Maintenance Building	4,211	4,211	7,771	7,771
Employee Unit w/in Maintenance Building	0	0	400	400
Cart Barn	12,510	12,510	0	0
Comfort Station #1	380	0	0	380
Comfort Station #2	380	0	0	380
Flammable Material Building	232	232	0	0
Tennis Pro Shop	0	0	580	580
Golf Pro Shop	0	0	1,133	1,133
Cart Barn	0	0	9,407	9,407
	64,504	17,571	64,251	66,224

Thus there is 1,320² square feet of new nonresidential square footage proposed for the entire project.

New Structures

Floor plans and elevations of all new and remodeled structures are provided within the architectural plans. Statistics are available within this description, on the plans and in the accompanying bound statistics document prepared by Blackbird Architects

The new cart barn will be located underground, beneath the proposed tennis courts, thus freeing additional space for other improvements. Outside the cart barn the plan

² 66,224 (existing + proposed - demo) - 64,504 (existing) - 400 SF (residential) = 1,320 SF Non-Residential

proposes a courtyard area with enhanced paving and landscaping, which can be used for cart staging in shotgun tournaments, but will predominately serve as an attractive open space for members and guests. Please see Sheet A.2.4 for additional information on the cart barn layout.

A new single story 1,133 square foot pro shop will be constructed for the golf facilities southwest of the main clubhouse. It will be designed to complement, but not compete with, the architecture of the main building. The layout features the starting desk, a fitting room, offices for golf staff, and sales areas for golf apparel (See Sheet A2.5).

The tennis courts will be relocated southwest from the current location and will be furnished with a new 580 square foot tennis pro shop between courts one and two. The tennis pro shop will include two restrooms as well as additional facilities for tournament scoring, lessons, tennis apparel, etc. Please see Sheet A2.5 for additional information on the pro shop floor plan.

The maintenance buildings will be shifted from the western portion of the golf course (parcel 3) to a more central location (parcel 9) which will improve the ability of staff to maintain the golf course. The floor plan of the new single story 8,171 square foot maintenance building and yard is shown on Sheet A2.9 of the drawings. The building will include equipment and tool storage, offices, restrooms and an employee breakroom as well as an approximately 400 SF residential unit for the use of an employee of the MCC. In the maintenance yard, an equipment wash pad is provided as well as a separate storage building for flammable materials and chemicals.

Clubhouse Perimeter Improvements

Although no new square footage is proposed for the main clubhouse, some exterior improvements are proposed. The architect is proposing to modify windows in several of the elevations as shown in the attached plans on Sheets A3.1 through A3.4. These proposed modifications typically consist of changing the shape of 1st floor windows from an arched shape to a rectangular shape, creating more natural light in the 1st floor spaces that are somewhat dark. Similarly, some border treatments on these windows will be removed to allow for more natural light to penetrate the building on both the 1st and 2nd floors. The project historian confirmed that these windows were not considered historic and determined that the design is compatible with the existing building.

A new outdoor women's patio is proposed on the west side of the clubhouse, which can be accessed from the women's locker rooms. This outdoor area will include a new trellis and fountain and will be enclosed with landscaping and site walls as shown on sheet A2.5.

The pedestrian access to the pool will be redesigned. The existing trellis and columns lining the walkway will be removed. Individual "cabana" areas within the pool deck

will be created with landscaping as also shown on Sheet A2.5. The existing metallic rail along the perimeter of the pool deck will be replaced with a glass railing and landscaping.

A portion of the existing trellis and associated columns south of the clubhouse bar will be removed and the lawn area will be extended southward, increasing available area for outdoor events.

The main entry drive to the club will be redesigned as shown on sheets C-3 and C-4 of the improvement plans from Penfield & Smith and Sheet LC1 of the landscaping plan from Girvin Design. New landscaping, columns and reconstructed columns will enhance the entry. The result will be to direct the visitor's eye first to the ocean and city views, and then as the road turns northwest to the historic clubhouse, to announce the entry to the course itself.

Parking areas

Parking at the site will be increased to 400 parking spaces, including 132 valet spaces and 268 paved spaces. In addition, the specific parking bays at the Country Club will be re-aligned in response to the reconfigured golf course. In particular, the northerly spur of the parking and the entrance gate at the end of that bay will be removed and replaced with landscaping. New parking to replace these spaces has been added in various places around the lot as shown on Sheets C14-C16 and on Sheet LC2 of the drawings. The existing gravel overflow parking will be replaced with a combination of paved and turf spaces irrigated with reclaimed water.

In addition to the parking space reconfigurations, a golf cart underpass is proposed easterly of the clubhouse to allow golf cart and maintenance equipment to traverse beneath the parking lot without interrupting traffic flows. A detail of the underpass can be seen on Sheet C-12.

Proposed parking statistics are as follows³:

Paved Spaces:	268
Grass Spaces:	<u>132</u>
Total Proposed Spaces:	400
Total Existing Spaces:	335

Net Change: +65

³ Additional parking statistics can be found on Sheets C14-C16 of the civil drawings

Landscaping

In coordination with Nicklaus Landscapes, George W. Girvin Associates has prepared a landscape palette for the Country Club and golf course improvements, as well as for the proposed restoration of the on-site drainages.

A total of 361 trees are proposed for removal⁴ for the following reasons:

- Where necessary to accommodate the golf course design
- To replace dead or dying trees⁵
- To remove invasive species where appropriate

Where it was deemed necessary to remove mature, native and/or valuable specimen trees, the design team proposes to relocate the tree on-site. Nicklaus Design is very experienced in tree relocation procedures⁶ and relocations have been found to be very successful. Regardless, the applicants propose to fully mitigate for re-located trees.

Trees to be Removed	361
(Non-natives)	351
(Oaks)	10
Trees for Mitigation	381
Non-natives (1:1 ratio)	351
Oak Trees (3:1 ratio)	30
New California Native Trees	157
Coast Live Oaks	51
Western Sycamore	32
Island Oaks	30
Monterey Cypress	44
Total New Trees	422
Required Mitigation	381
Additional Trees	41

The palette for the new trees on the golf course includes Oaks, Pines, Monterey Cypress, California Sycamore, and Jacaranda. The full palette can be found within the Tree Protection Plan from Duke McPherson. The palette for additional trees proposed at the clubhouse, parking lot and around the course perimeter is shown on the plans from George W. Girvin Associates on Sheet LC1.

⁴ There were 1259 trees identified by the arborist

⁵ Tree removal was reviewed by individual arborist assessment in coordination with the project biologist who considered habitat value and raptor nesting

⁶ 83 trees will be relocated. Please see the brochure on tree location from Environmental Design

Existing turf areas totaling 158,463 square feet will be removed and replaced with mulch. These mulched areas have number of benefits including proving critical nutrients for the trees which enhances their ability to thrive. In addition, the significant reduction in grass means a significant reduction in water use, and a reduction in runoff containing fertilizers.

Construction

The construction type for the proposed buildings will be Type V-A, with automatic fire sprinkler systems throughout. Construction of the improvements is expected to take approximately 10 to 14 months. A Construction Management Plan was prepared by Penfield & Smith and was previously included with the application.

Lighting

Lighting for the new structures will be hooded and directed downwards, minimizing glare for neighboring properties. The structures are primarily far from residential properties and so the risk of impact is low. There is no new golf course or tennis court lighting proposed.

Hazardous Materials

The applicant has previously provided a list of chemicals and fertilizers currently used at the MCC. These are utilized to the smallest degree possible while still retaining good effect. They are currently stored in a separate structure and a new separated storage building will be incorporated into the proposed maintenance yard.

Neighborhood Access

In response to requests from neighbors north of the project as well as from Planning Commissioners, the owners have agreed to provide a supplemental evacuation route for vehicles from the neighborhood to the north. A new 7' high black chain link gate will replace the existing gate at the end of Summit Road. The gate will be secured in a way that enables it to be opened by Fire Department or MCC personnel in the event of a mandatory evacuation order issued by the City Fire Department, in order to allow vehicles to traverse the project site into the parking area and on to Hot Springs Road. The route would be composed of turf over an engineered sub-grade which can support the weight of a passenger vehicle. The Fire Department has indicated that they do not need and would not use this route for their emergency vehicles. In addition, a pedestrian path will be developed to allow continued pedestrian access to Hot Springs Road.

Construction Phasing Plan

Construction on the golf course has a narrow timeframe for implementation because the new grass must be seeded no later than June in order for a grow-in period prior to the winter rains. Therefore, the applicant proposes to phase construction in order to accommodate the seeding.

The first phase of construction would comprise demolition of maintenance buildings and grading of the golf course, to be followed by demolition and construction of the ancillary buildings along with the related landscaping and parking areas.

Required Approvals

- Development Plan approval of 7,771 square feet of nonresidential floor area and 400 square feet of residential floor area on APN 009-091-020 for a new maintenance building and employee residential unit.
- Approval of a Coastal Development Permit for grading in excess of 500 cubic yards and for the new golf pro shop and replacement buildings (cart barn, maintenance building, tennis pro shop)
- Amendment to the 1996 Conditional Use Permit
- Design review consisting of HLC for the changes to the clubhouse exterior and its immediate surroundings and ABR review for course and other exterior improvements
- Modification to validate a replacement of the existing 6' chain link fencing within the front setback along Old Coast Highway with new black coated 6' chain link fence. The gate at the terminus of Summit Road would be 7' high.

Project Benefits

- Water Quality - 100% of storm water including run-off entering the property from off-site and adjacent neighborhoods will be treated by a combination of sedimentation basins, bioswales, new drainages, filters and ponds. At the current time there is virtually no treatment of storm water, as it is piped underground through the property. Impermeable surfaces at the project site will be reduced from 9.7 acres to 9.1 acres.
- Biological Resources - The applicant is voluntarily restoring the two existing underground piped drainages to a more natural open overland condition. The restored drainages and new water pond features will be planted with native riparian and aquatic plants. The proposed project provides a significant number of positive benefits to biological resources than what exists today and include:

- Voluntary restoration of degraded drainages and jurisdictional wetlands. The project will remove invasive, exotic and non-native species from these regions and replace them with native plantings thereby significantly increasing their value for wildlife habitat.
 - Creation of two new water features as habitat for birds, amphibians, reptiles and small mammals.
 - Creation of new sedimentation basins will reduce or eliminate need for maintenance of the water features, reducing periodic impacts to wildlife and the newly created habitat areas.
 - Natural bio-filtration from the two created open drainages will improve water quality to the downstream ponds before releasing it toward the Andrea Clark Bird Refuge.
 - New computer controlled irrigation systems which will reduce water usage and improve water quality.
 - Site specific irrigation heads installed to reduce overwatering of trees, reducing mortality and improve the health of all trees.
 - Installation of significant numbers of native trees throughout the golf course which are more suitable for the region, such as sycamores and oaks. These species will replace some of the non-native, invasive and ornamental trees and provide improved habitat areas for birds and wildlife.
 - Relocating a large number of specimen trees on-site to accommodate the golf course plan, rather than cutting them down. This will help maintain the current vegetative canopy on the course and reduce potential impacts associated with tree removal, particularly to birds.
 - Removing over several acres of turf surrounding existing trees and replacing it with mulch, thereby reducing the need for fertilizer and water and providing critical nourishment for on-site trees.
- Safety – The golf course has been redesigned to create a safer direction of play which will result in fewer balls leaving the course. Landscaped berms, trees and water features are being introduced which will direct play away from Old Coast Highway and Hwy 101. The owners have agreed to provide a supplemental vehicular evacuation route through the golf course for the neighborhood to the north.
 - Aesthetics – In addition to the significant improvements to the landscaping, drainage, run-off, water quality and restoration areas of the golf course, the exterior changes proposed for the most recent additions to the clubhouse are designed to bring the architecture in harmony with the historic portions of the building. Removal of the existing cart barn and undergrounding of the new cart barn will result in improved public views of the project site from the adjacent neighbors. Once all the improvements are completed, the community and

membership will be rewarded by a first class clubhouse and accompanied by a world class Jack Nicklaus Signature Golf Course.

- Traffic – A new ~400 SF residential unit will be made constructed at the maintenance facility. The unit will be available only for employees of the Montecito Country Club and will serve to help reduce traffic trips to and from the club.

Supplementary Materials

The following materials have been provided with this request:

- Measure E Analysis from SEPPS – February 2009
- Issue Summary from SEPPS – February 2009
- Architectural Plans by Van Hoy Architecture
- Preliminary Grading and Drainage Plan from Penfield & Smith
- Landscape Plans from George W. Girvin & Associates, Inc.
- Geotechnical Report from MNS Engineers dated 6/26/06
- Tree Protection Plan by Duke McPherson dated 2/16/09
- Biological Assessment and Restoration Plan by Larry Hunt dated 2/25/09
- Preliminary Hydrology Report by Penfield & Smith dated 4/25/08
- Update to Hydrology Report by P&S dated 2/18/09
- SWPPP by Penfield & Smith dated 2/14/09
- Historic Resources Report by Post Hazeltine & Associates
- Archaeological Assessment by Western Points Archaeology dated 4/1/2008
- Solid Waste Management Plan by Montecito Country Club dated July 2008
- Chemicals and Pesticides Report by MCC dated 7/21/08
- Operations Summary by MCC – November 2008
- Fence and Modification Exhibit from Penfield & Smith – November 2008
- Grading Exhibit from Penfield & Smith – November 2008
- Fire Code Analysis by Warner McGrew dated 4/14/2008
- Visual Simulations and Photographs by Van Hoy Architecture July 2008
- Preliminary Title Report by Chicago Title dated 5/15/2008
- Measure E Calculations Van Hoy Architecture July 2008
- Base Flood Elevation Documentation dated 5/14/2006
- Construction Management Plan from Penfield & Smith – November 2008
- Tree Relocation Information Brochure – Environmental Design
- Montecito Country Club Environmental Policy and Procedural Manual
- MCC Water Quality Monitoring Protocol by Golf Ventures – June 2009
- Digital Simulations of MCC from Old Coast Highway
- Composting Report from Marborg Industries

The proposed project will enhance the neighborhood aesthetics and will allow the Montecito Country Club to continue to provide top quality services to its members. In addition, the project includes a comprehensive voluntary restoration plan that will provide a significant net benefit to the environment by improving on-site water quality, drainage, habitat and ephemerals. The proposed project design is sensitive to the historic character of the site and the proposed buildings will respect the historic importance of the clubhouse.

On behalf of the applicant and project team, we thank you for your consideration of this request.

Sincerely,
SUZANNE ELLEDGE
PLANNING & PERMITTING SERVICES

A handwritten signature in black ink, appearing to read "Steve Welton". The signature is fluid and cursive, with the first name "Steve" and last name "Welton" clearly distinguishable.

Steve Welton, AICP
Senior Planner

Cc: Bill Medel, Ty Warner Hotels and Resorts, LLC



City of Santa Barbara California

Exhibit D: Proposed Final Mitigated Negative Declaration and Initial Study, dated August 27, 2009 can be found at

http://www.santabarbaraca.gov/Resident/Environmental_Documents/920_Summit_Road/

Applicable General Plan/Local Coastal Plan Policies

GENERAL PLAN - CONSERVATION ELEMENT

Policy 3.0 New development shall not obstruct scenic view corridors, including those of the ocean and lower elevations of the City viewed respectively from the shoreline and upper foothills, and of the upper foothills and mountains viewed respectively from the beach and lower elevations of the City.

Policy 4.0 Trees enhance the general appearance of the City's landscape and should be preserved and protected.

Implementation Strategies

4.1 Mature trees should be integrated into project design rather than removed. The Tree Ordinance should be reviewed to ensure adequate provision for review of protection measures proposed for the preservation of trees in the project design.

4.2 All feasible options should be exhausted prior to the removal of trees.

4.3 Major trees removed as a result of development or other property improvement shall be replaced by specimen trees on a minimum one-for-one basis.

GENERAL PLAN - HOUSING ELEMENT

GOAL 1: HOUSING OPPORTUNITIES

Ensure a full range of housing opportunities for all persons regardless of economic group, race, religion, sex, marital status, sexual orientation, ancestry, national origin or color. The City will base the enforcement of equal opportunity on provisions of State and Federal constitutions and fair housing laws, with emphasis on the protection of the housing rights of families with children. The City shall place special emphasis on providing housing opportunities for low income, moderate income and special needs households.

GOAL 3: NEIGHBORHOOD COMPATIBILITY AND IMPROVEMENT

Protect existing neighborhood character while encouraging compatible infill development.

Policy 3.2: The character and quality of life of single-family zoned neighborhoods should be protected and preserved.

Implementation Strategies

3.2.1 Complete the Neighborhood Preservation Ordinance (NPO) update in order to address quality of life, preservation of neighborhood character and the residential development issues in single-family neighborhoods.

Policy 3.3: New development in or adjacent to existing residential neighborhoods must be compatible in terms of scale, size, and design with the prevailing character of the established neighborhood.

Implementation Strategies

3.3.1 Allow small scale neighborhood serving commercial uses in residential areas if supported by surrounding property owners. Ensure that the character of the surrounding neighborhood is protected. (Circ. Element Strategy 13.5.2)

3.3.2 Review and update findings for approving new housing projects or additions to existing housing developments to consider appropriate size, bulk and scale for higher density projects in multi-family zones following, or in conjunction with HE strategies 5.1.7 (Affordable Housing Design Guidelines) and 5.2.6 (Multifamily Design Guidelines).

GOAL 4: NEW HOUSING DEVELOPMENT

Through the public and private sector, assist in the production of new housing opportunities which vary sufficiently in type and affordability to meet the needs of all economic and social groups, with special emphasis on housing that meets the needs of very low, low, and moderate income and special needs households.

Policy 4.1: Pursue all opportunities to construct new housing units that are affordable to low- and moderate-income owners and renters.

Implementation Strategies

4.1.1 Continue to solicit proposals for low- and moderate-income projects from private sponsors and develop programs to assist in their implementation.

GOAL 5: REDUCE GOVERNMENTAL CONSTRAINTS

Where appropriate and legally possible, reduce or remove governmental constraints to the maintenance, improvement, and development of housing.

Policy 5.2: Implement changes to development standards to be more flexible for housing projects, especially rental or affordable housing projects, where appropriate.

Implementation Strategies

5.2.2 Consistent with the Circulation Element Strategy 13.2.2 (b), consider amending the Zoning Ordinance to reduce parking requirements for properties near major transit corridors if it can be demonstrated that a negative impact will not occur.

5.2.3 Consider amending the Zoning Ordinance to change how, where and the extent of outdoor living space, yard and setback requirements for housing in commercial zones.

LOCAL COASTAL PLAN

Policy 3.3. New development proposals within the coastal zone which could generate new recreational users (residents or visitors) shall provide adequate off-street parking to serve the present and future needs of the development.

Policy 3.4. New development proposals in the coastal zone which may result in significant increased recreational demand and associated circulation impacts shall provide mitigation measures as a condition of development including, if appropriate, provision of bikeways and bike

facilities, pedestrian walkways, people mover systems, in lieu fees for more comprehensive circulation projects or other appropriate means of compensation.

Policy 5.3. New residential development in and/or adjacent to existing residential neighborhoods must be compatible in terms of scale, size, and design with the prevailing character of the established neighborhood. New development which would result in an overburdening of public circulation and/or street parking resources of existing residential neighborhoods shall not be permitted.

Policy 6.2. The City will support and encourage the enforcement of all laws enacted for the purposes of preserving and protecting marine resources, maintaining optimum populations of marine organisms and maintaining the quality of the marine environment for the protection of human health.

Policy 6.8. The riparian resources, biological productivity, and water quality of the City's Coastal Zone creeks shall be maintained, preserved, enhanced, and, where feasible, restored.

Policy 6.9. The City shall support the programs, plans, and policies of all governmental agencies, including those of the Regional Water Quality Control Board with respect to best management practices for Santa Barbara's watersheds and urban areas.

Policy 6.10. The City shall require a setback buffer for native vegetation between the top of the bank and any proposed project. This setback will vary depending upon the conditions of the site and the environmental impact of the proposed project.

Policy 6.11. Channelizations, dams, or other substantial alterations of rivers and streams shall incorporate the best mitigation measures feasible, and be limited to (1) Necessary water supply projects; (2) Flood control projects where no other method for protecting existing structures in the flood plain is feasible and where such protection is necessary for public safety or to protect existing development; or (3) Developments where the primary function is the improvement of fish and wildlife habitat.

Policy 6.14. Development adjacent to the Andree Clark Bird Refuge shall be designed and constructed in such a manner as to be compatible in terms of building location, character and intensity. Furthermore, new development in the area shall protect, and, where feasible, enhance the sensitive habitat of the Andree Clark Bird Refuge, specifically addressing issues of drainage, traffic, noise and aesthetics.

Policy 9.1. The existing views to, from, and along the ocean and scenic coastal areas shall be protected, preserved, and enhanced. This may be accomplished by one or more of the following: (1) Acquisition of land for parks and open space; (2) Requiring view easements or corridors in new development; (3) Specific development restrictions such as additional height limits, building orientation, and setback requirements for new development; or (4) Developing a system to evaluate view impairment of new development in the review process.

Policy 9.3. All new development in the coastal zone shall provide underground utilities and the undergrounding of existing overhead utilities shall be considered high priority.

Policy 9.8. The City shall seek to preserve the unique scenic and aesthetic quality of Highway 101.