



COMMUNITY DEVELOPMENT DEPARTMENT

DRAFT OBJECTIVE DESIGN AND DEVELOPMENT

STANDARDS

Planning Commission Meeting July 6, 2023

Purpose of Meeting

- Introduce staff team and project consultant
- Provide overview of the Objective Design and Development Standards (ODDS)
- Consider questions for future hearing(s)

BACKGROUND

Why Objective Design Standards for Housing?

- State laws increasingly require objective design review
- Zoning standards alone do not achieve the desired building form
- New standards needed to address features important to neighborhood character and design



Project Initiation

- Grant awarded in 2021
 - Contract awarded to Opticos Design
 - Urban designers and architects known for missing middle housing and form-based coding
- “Founded on the belief that walkable places are critical for healthy, resilient, and equitable communities.”*



Objective Design Standards Goals



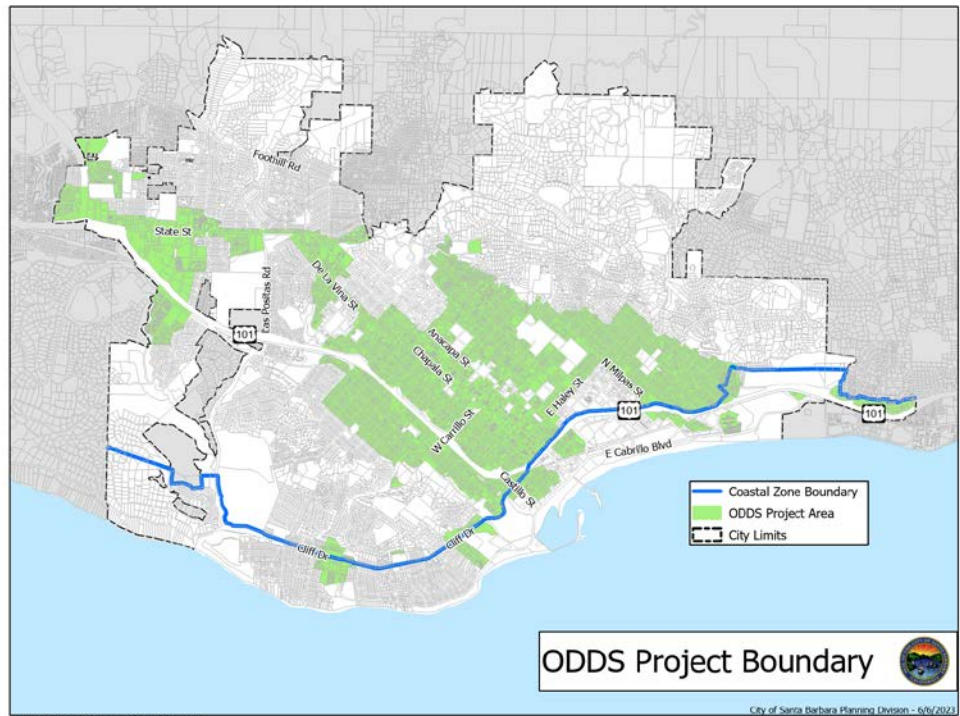
- Increase Predictability
- Promote a Livable City
- Respect the Context
- Create a Visual Language

Relationship to Housing Element

- Draft Housing Element Policy 1.5 and Program HE-7
 - *Establish citywide objective design and development standards for multi-unit housing, coupled with alternatives to conventional zoning regulations, to accommodate infill development in existing neighborhoods.*

ODDS Project Area

All parcels zoned for 2+ units



Major Milestones

2021

- Grant Awarded
- Request for Proposals
- Opticos Selected
- Work Group Formed

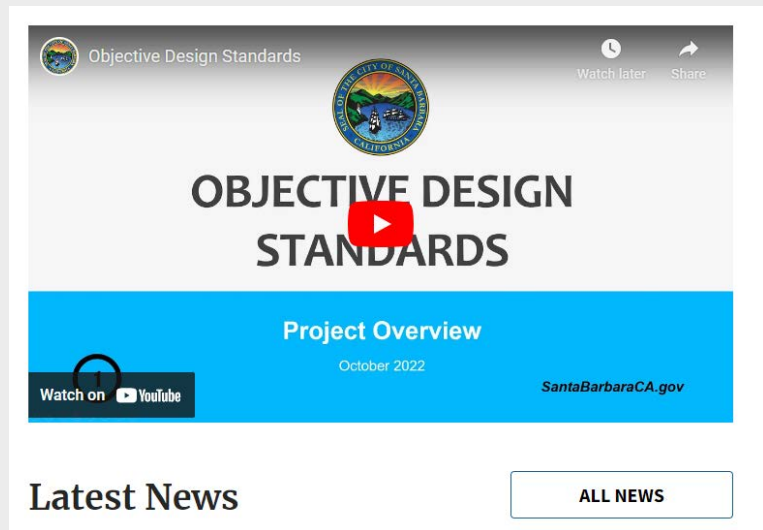
2022

- Existing Conditions Memo
- ABR/HLC Meetings
- Admin Draft ODDS
- Community Engagement

2023

- ABR/HLC Meetings
- Public Review Draft ODDS
- Adoption Hearings
- Community Engagement

Community Engagement



- Website: SantaBarbaraCA.gov/SBDS
 - Video
 - Fact Sheet
 - News
 - Events
 - Announcements

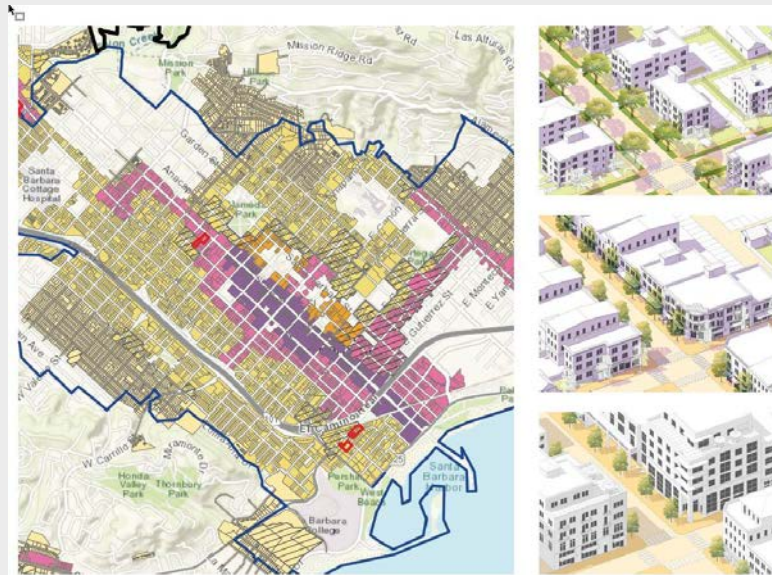
Community Engagement

- Meetings
 - Work Group (x6)
 - Historic Landmarks Commission (x2)
 - Architectural Board of Review (x2)
 - American Institute of Architects Advocacy Group (local chapter)



Admin Draft (Oct 2022)

- Over 1,000 comments from:
 - Public
 - Work Group
 - HLC/ABR
 - Staff



Title 25: Objective Design and
Development Standards

Substantive Revisions to the Admin Draft

Consolidated and
removed chapters

Inserted local photos

Clarified applicability

Revised zone map
and drafted styles
map

Added and removed
building types

Calibrated
development
standards to align
with existing City
standards

Visual Preferences Survey Summary

- Favored house-scale buildings
- Preferred larger buildings in Spanish Colonial Revival style
- Resulted in replacing Building Types

25.06.130 Core Townhouse



25.04.100 Side Court



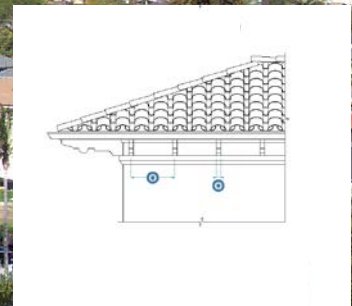
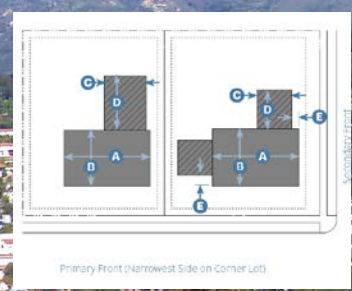
Side Court, Example 1 (image source: Google)

Architectural Styles Input

- Three style groups with two substyles each
- Styles mapped across the project area
 - Landmark Districts, Historic Districts (existing and potential)
 - Specific areas design guidelines



OPTICOS PRESENTATION



Introduction to ODDS Overview

City of Santa Barbara

July 6, 2023





Topics

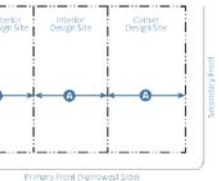
- 1. What are Objective Standards?**
- 2. Where will the Standards apply?**
- 3. How were the Standards Prepared?**
- 4. Overview of the ODDS Standards**

What are Objective Design Standards?

“Standards that involve no personal or subjective judgment by a public official”

Source: California Govt Code 65658.5(a)(1)(8)

Neighborhood Large (NLD)



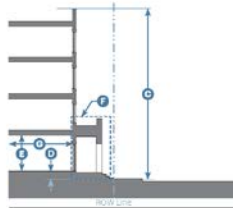
7' Design Size Line

Building Types and Design Site Size			
Building	Design Site		Standards
	Width ^A	Depth ^D	
Scale			
Side-by-Side	50' min.	110' min.	25.04.050
Stacked	50' min.	110' min.	25.04.060
Court	50' min.	120' min.	25.04.070
Multiplex	50' min.	110' min.	25.04.080
Court	50' min.	110' min.	25.04.090
Court	50' min.	150' min.	25.04.100
Court	70' min.	150' min.	25.04.110

Design site shall have only one main building type.

Santa Barbara Objective Design and Development Standards

Public Review Draft - 3



Key

--- ROW Line

C. Building Form	
Height	
Main Building¹	
Stories	4 max.
Overall	45' max.
Ground Floor Finish Level	
Residential	6' min. ²
Nonresidential	6' max.
Ground Floor Ceiling	
Residential	9' min.
Nonresidential	12' min.
Private Frontage	See Subsection
Design Site Coverage	
Max. Building	See standards in Chapter 4 (E
Footprint	Types)
Depth, Ground-Floor Space	
Cottage Court	12' min. ³
All Building Types	25' min. ³

¹See Section 25.03.030 (Additional Massing and the

Requirements) and 30.140.170 (Solar Access Height

Limitations).

²Common entries may be set at grade in compliance

with local and federal accessibility standards.

³For occupiable space only.

Intent of these Objective Standards

Pedestrian-oriented development

Buildings that produce more housing, including Missing Middle Housing

Buildings that fit well with existing development



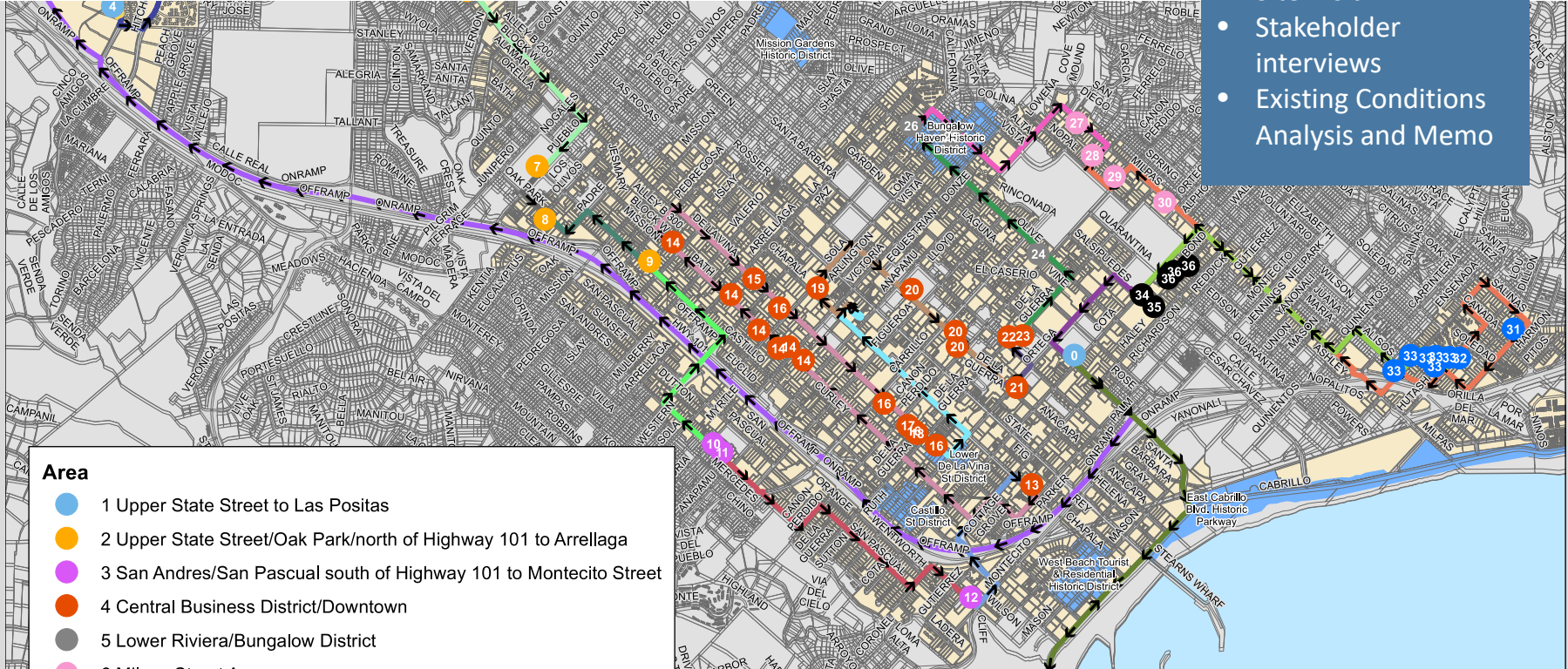
How were the Standards Prepared?

A Form-based approach that uses existing and intended physical character as the inputs for new standards



Research & Analysis: Project Area

- Site Visit
- Stakeholder interviews
- Existing Conditions Analysis and Memo



Area	
●	1 Upper State Street to Las Positas
●	2 Upper State Street/Oak Park/north of Highway 101 to Arrellaga
●	3 San Andres/San Pascual south of Highway 101 to Montecito Street
●	4 Central Business District/Downtown
●	5 Lower Riviera/Bungalow District

Existing Conditions Analysis

- Zoning envelope max
- Lot widths, depths

Required Setbacks (min.)

- **Front** =
 - 10' for 1st and 2nd stories
 - 20' above 2nd story
 - 10' parking covered or uncovered
 - 20' parking covered street-facing
- **Interior (Residential)** =
 - 8' for 1st and 2nd stories
 - 10' above 2nd story
 - 6' parking covered or uncovered

R-MH Zone	
Lot and Building	
Existing Lot Area	11,375 sf; 0.26 acres
Max. Lot Coverage	NO max.
Max. Height	45'
Parking	
Min. Required Spaces per AUD	1 space per unit for studio, 1bd, and 2bd; 2 spaces per 3+ bd
Yield	
Max. Density Allowed	27 du/acre
Max. Units Possible	7

R-MH Zone		
	Zone Standards	Approved Project
Lot and Building		
Max. Height	45'	22'-6" / 2 stories
Parking		
Min. Parking Spaces per AUD	7 units (1 space per unit for 2bd)	7
Density		
Max. Density Allowed	27 du/acre	-
Max. Units Possible	7	7
Density Achieved	-	27 du/acre

Existing Conditions Analysis

- Streetscape
- Buildings per lot
- Scale: House-scale or Block-scale
- Building types

Chapter 3 – Existing Physical Character Chapter 3 – Existing Physical Character

Key Findings, Cont'd

Public Realm, Cont'd

Summary by Neighborhood
The following table summarizes observations of the following public realm characteristics across the 10 neighborhoods, with the project area highlighted. Topographic, coverage types, orientations, and sidewalk dimensions.

	Topography		Coverage Types			Orientation			Sidewalk	
	Flat	Slope 10% or less	Roofless	Partial	Partial	Partial	Partial	Partial	Partial	Partial
Coast Village	●	●	●	●	●	●	●	●	●	●
Downtown	●	●	●	●	●	●	●	●	●	●
East Beach	●	●	●	●	●	●	●	●	●	●
East Mesa	●	●	●	●	●	●	●	●	●	●
Eastside	●	●	●	●	●	●	●	●	●	●
Midtown	●	●	●	●	●	●	●	●	●	●
Lagoon	●	●	●	●	●	●	●	●	●	●
Lower East	●	●	●	●	●	●	●	●	●	●
Lower Mesa	●	●	●	●	●	●	●	●	●	●
Lower State	●	●	●	●	●	●	●	●	●	●
Lower West	●	●	●	●	●	●	●	●	●	●
Mesa	●	●	●	●	●	●	●	●	●	●
Old Park	●	●	●	●	●	●	●	●	●	●
Upper East	●	●	●	●	●	●	●	●	●	●
Upper State	●	●	●	●	●	●	●	●	●	●
West Beach	●	●	●	●	●	●	●	●	●	●
West Downtown	●	●	●	●	●	●	●	●	●	●
West Mesa	●	●	●	●	●	●	●	●	●	●
Westside	●	●	●	●	●	●	●	●	●	●

Key
● Rare occurrences
● Some occurrences
● Common occurrences

No clear findings were observed, or building entry on side facade, typically including landscaping.

Final Draft – January 16, 2022

Final Draft – January 16, 2022

Chapter 3 – Existing Physical Character

Chapter 3 – Existing Physical Character

Key Findings, Cont'd

Private Realm, Cont'd

Number of Buildings on the Lot
The number of buildings, not including detached garages, are identified as well as the range and prevailing situation.

Building Types and Sizes
The types of buildings (e.g., Multi-story, Courtyard Building) as well as their scale (block or house-scale, width, length, and number of stories) are identified.

House-Scale Buildings
Buildings that are the size of a house, typically ranging in footprint from as small as 25 feet up to 75 feet overall, including wings, and up to 2.5 stories high. 5 refers to a building's attic story located entirely within the volume of a pitched roof.

Block-Scale Buildings
Buildings that are individually as large as most or all of a block or when arranged together along a street, appear as long as most or all of a block.



Block-scale: 3-story mixed-use building with podium parking accessed via secondary front street



Block-scale: 2- and 3-story courtyard building

Chapter 3 – Existing P



Block-scale: 4-story multi-unit large building



House-scale: 2-story multiple-unit building with parking behind, accessed via front driveway



House-scale: 2-story townhouse with surface parking located in the rear and accessed via front driveway



House-scale: 1-story house

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Chapter 3 – Existing Physical Character 39

Existing Conditions Analysis

- Ground floor frontages
- Architectural styles
- Style Groups

Chapter 3 – Architectural Style

Style by Neighborhood

Overview

This table summarizes the styles observed in Santa Barbara neighborhood.

Expression of Style
Neighborhood styles are expressed as a series of patterns with how the style is expressed across Santa Barbara are noted as "common," "rare" styles that were assigned a common group to the building or neighborhood are labeled "unique."

Expression of style:

- Common
 - Unique
- Note: Overlapping provide overview and are not representative of all neighborhoods and architectural styles.

Neighborhood	Style Group 1		Style Group 2	
	Spanish Colonial Revival	American Colonial Revival	Spanish Colonial Revival	American Colonial Revival
Coast Village	●	●	●	●
Downtown	●	●	●	●
East Beach	●	●	●	●
East Mesa	●	●	●	●
Eastside	●	●	●	●
Hillbrook	●	●	●	●
Laguna	●	●	●	●
Lower East	●	●	●	●
Lower State	●	●	●	●
Lower West	●	●	●	●
Lower West	●	●	●	●
Mesa	●	●	●	●
Oak Park	●	●	●	●
Upper East	●	●	●	●
Upper State	●	●	●	●
West Beach	●	●	●	●
West Downtown	●	●	●	●
West Mesa	●	●	●	●
Westside	●	●	●	●

Chapter 3 – Architectural Style

Neighborhood	Style Group 1		Style Group 2		Style Group 3
	Spanish Colonial Revival	American Colonial Revival	Spanish Colonial Revival	American Colonial Revival	
Downtown	●	●	●	●	●
East Beach	●	●	●	●	●
East Mesa	●	●	●	●	●
Eastside	●	●	●	●	●
Hillbrook	●	●	●	●	●
Laguna	●	●	●	●	●
Lower East	●	●	●	●	●
Lower State	●	●	●	●	●
Lower West	●	●	●	●	●
Mesa	●	●	●	●	●
Oak Park	●	●	●	●	●
Upper East	●	●	●	●	●
Upper State	●	●	●	●	●
West Beach	●	●	●	●	●
West Downtown	●	●	●	●	●
West Mesa	●	●	●	●	●
Westside	●	●	●	●	●

Chapter 3 – Architectural Style

Upper State

Observation Summary

A commercial area with some residential uses in multi-unit buildings. Buildings vary from House Scale Medium to Block Scale. A notable pattern includes storefronts in the Spanish, Italian, and Mission styles and a limited material palette for Contemporary style buildings.

Observed Styles

- American Colonial Revival
- Contemporary
- Craftsman
- Italian Mediterranean
- Mission Revival
- Spanish Colonial Revival



Italian Mediterranean Style



Italian Mediterranean Style



Italian Mediterranean Style



Italian Mediterranean Style



Mission Revival Style



Spanish Colonial Revival Style



Spanish Colonial Revival Style



Contemporary Style



Contemporary Style

Note: Observations provide overview and are not representative of all existing neighborhood styles.

Chapter 3 – Architectural Style

Lower State

Observation Summary

A commercial center with a diverse range of uses, including commercial, hospitality, and industrial buildings vary from House Scale Small to Block Scale. A few notable patterns include the regular rhythm of structural bays for block scale buildings in the Spanish, Italian, and Mission styles, and the use of smooth stucco and exposed concrete for Contemporary style buildings.

Observed Styles

- Industrial
- Italian Mediterranean
- Italianate
- Contemporary
- Craftsman
- Spanish Colonial Revival
- Mission Revival



Craftsman Style



Contemporary Style



Spanish Colonial Revival Style



Italian Mediterranean Style



Italian Mediterranean Style (Dutler)



Contemporary Style



Industrial Style (Dutler)



Italian Mediterranean Style



Italian Mediterranean Style

Note: Observations provide overview and are not representative of all existing neighborhood styles.

Existing Building Scale and Transitions

Block-Scale

buildings
For Town
Centers and
Neighborhood
Main Streets



House-Scale

buildings for
Neighborhoods
of varying
intensities

Palette of 5 Zones and standards

House-Scale Buildings
Lower intensity

Block-Scale Buildings
Higher intensity



Neighborhood
Medium



Neighborhood
Large



Mixed Use
Corridor

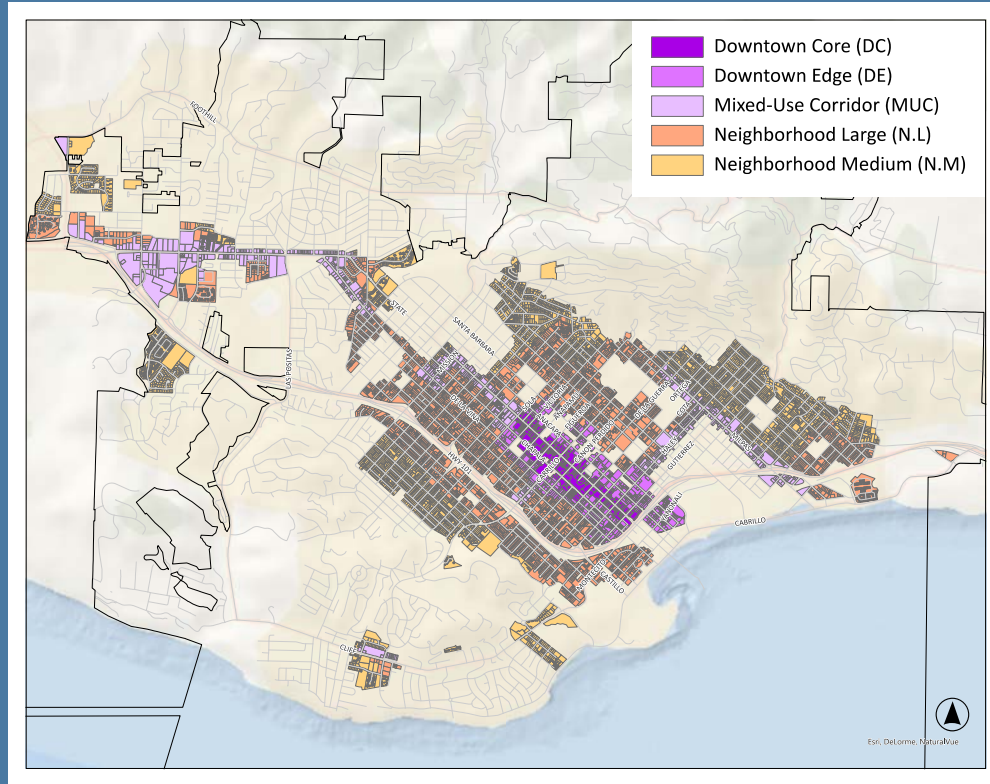


Downtown
Edge



Downtown
Core

Objective Standards zone map





Note: The illustrations above are intended to provide a brief overview of the zone and are descriptive. In no

nt:	
able district of medium-to-large footprint, high-intensity mixed-use buildings using choices, supporting retail, food, and services	
Following are allowed form elements in the zone:	
Scale Buildings: Side Court, In-Courtyard	Up to 4 Stories without Community Benefit Project; Up to 6 stories with Community Benefit Project
Scale Buildings: Large Multiplex, Large Courtyard	
ly Attached Buildings	Frontage Types: Forecourt and Gateway, Dooryard and Stoop on Secondary Front, Maker Shopfront, Shopfront, Terrace, Gallery, and Arcade on Ground Floor Commercial Frontages
nts-Large Main Building	
int	
o Small Front Setbacks	
o Small Interior Setbacks	

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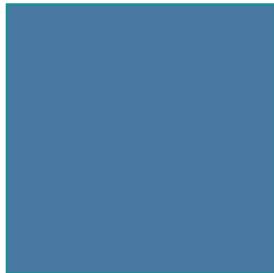
Santa Barbara Objective Design and Development

Overview of the ODDS Standards

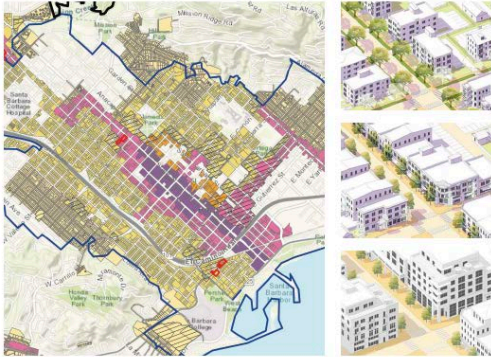
SECTION

4

10 Chapters of objective design and development standards



Title 25: Objective Design and Development Standards



Title 25: Objective Design and
Development Standards



- Ch 1 Introduction
- Ch 2 Zones

- Ch 3 Site Design Standards
- Ch 4 Building Types
- Ch 5 Frontages
- Ch 6 Architectural Design
- Ch 7 Large Site Standards
- Ch 8 Community Open Space

- Ch 9 Exceptions
- Ch 10 Definitions

Ch 3: Site Design Standards

25.03.000

General Site Design Standards

25.03.030 Additional Massing and Height Requirements

A. Specific to Parcels Adjacent to House-Scale Buildings

- The standards in this subsection apply to any lot where a new block-scale building is proposed adjacent to a lot developed with an existing building meeting all of the criteria listed below. See Figure 1 (Transition to House-Scale Building Size).
- The existing building is 30 feet or less in height and:
 - The existing building is 80 feet or less in width or length.
- Within 20 feet of the shared interior property line:
 - The new building height shall not exceed 30 feet.
 - If the existing building is located within 30 feet of the front lot line, new building volumes shall be no longer than the footprint length of the longest existing facade within 30 feet of the shared property line. This massing standard allows for multiple volumes of this or smaller size, separated by a minimum of 15 feet.



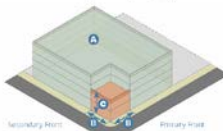
Primary Front

Figure 25.03.030.1: Transition to House-Scale Building Size

- New Building (Max. Height) followed by zone—(e.g., 4-story)
- Required Min. Side Setback
- Required Transition Area: 20' min.
- Existing Building Height and length dimension along adjacent interior property line
- New building massing not to exceed existing building's height and length
- 15' min. Separation Between Volumes

B. Specific to Corner Parcels

- Within 30 feet of a corner, measured along both of the intersecting street rights of way and extending to a 30-foot depth from each right of way, new buildings shall not exceed 30 feet in height. See Figure 2 (Height Limit at Corners).



Secondary Front

Primary Front

Figure 25.03.030.2: Height Limit at Corners

- New Building (Max. Height) allowed by zone—(e.g., 4-story)
- 30' x 30' Area at Corner
- Height Limit: 30' max.

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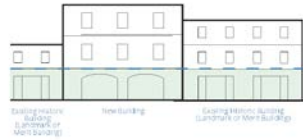
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General Site Design Standards

25.03.030

C. Specific to Parcels Adjoining a Historic Resource

- The standards in this subsection apply to any lot where a new building is proposed adjacent to a historic resource, pursuant to the definition of a historic resource in Title 30 of the Santa Barbara Municipal Code.
- When at least one historic resource building is within 20 feet of the shared lot line:
 - The front setback shall be the minimum front setback of the zone or equal to the smallest front setback of the historic resource, whichever is greater. At no point shall the front setback exceed 20', regardless of the setback of the historic resource.
 - New facades along a primary or secondary front shall have a ground floor expression line or entablature at the same height as the ground floor expression line or entablature of the adjacent historic resource. The top of the expression line or entablature shall be used for the purpose of determining the height. Where two historic resources abut the side of the resource with the taller expression line applies. See Figure 3 (Required Ground Floor Height Alignment).
 - Within the Historic Scale Component Area, measured as the first 20 feet back from the front facade of the historic resource and the first 20 feet inward from the shared interior lot line, the new building volumes shall not exceed the height, width, and length of the adjacent historic resource or 30 feet, whichever is greater, in compliance with the zone standards. See Figure 4 (Historic Scale Component Area).



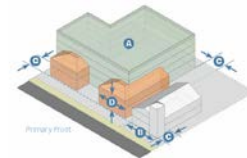
Existing Historic Building (Minimum or Most Severe)

New Building

Existing Historic Building (Length or New Building)

Figure 25.03.030.3: Required Ground Floor Height Alignment

- Ground Floor Expression Line
- Ground Floor



Primary Front

Figure 25.03.030.4: Historic Scale Component Area

- New Building Aligned to Max. Zone Height and Min. Setbacks
- Existing 1- to 2-story Historic Resource Facades along primary front
- Historic Scale Component Area
- New building not allowed to exceed existing historic resource width, length, and overall height within Historic Scale Component Area.

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Ch 4: Building Types

25.06.030 Allowed Building Types

Table A (Building Types Overview) provides an overview of the allowed building types in each zone. The names of the building types are not intended to limit uses within a building type. For example, a Large Multiplex may have nonresidential uses within it as allowed by the zone.

Table 25.06.030.A: Building Types Overview

Specific Standards	Zones					
	N.M	N.L	MUC	DE	DC	
House Scale						
Duplex Side-by-Side	25.06.050	A	A	--	--	--
Duplex Stacked	25.06.060	A	A	--	--	--
Cottage Court	25.06.070	A	A	--	--	--
Medium Multiplex	25.06.080	A	A	--	--	--
Multiple Buildings		A	A	--	--	--
Side Court		--	A	--	--	--
Medium Courtyard	25.06.100	--	A	A	--	--
Block Scale						
Large Multiplex	25.06.120	--	A	A	A	--
Large Courtyard	25.06.140	--	--	A	A	A
Downtown Building	25.06.150	--	--	--	--	A
Key	A = Allowed		-- = Not Allowed			

25.04.080 Medium Multiplex



Example of Medium Multiplex



Example of Medium Multiplex



Example of Medium Multiplex

A. Description

A small to medium-sized, detached, House Scale building that consists of three to four stacked units, typically with one shared entry or individual entries along the front. The type has the appearance of a single-unit house and is scaled to fit within low to moderate density neighborhoods.

Synonyms: Triplex/Quadruplex

B. Number of Units¹

Units per Building 3 min.-4 max.

Main Buildings per Design Site 1 max.

¹As allowed by General Plan maximum density.

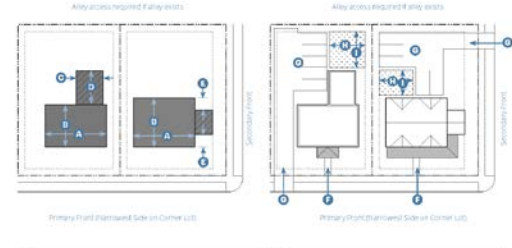
Massing Types	
Shaped Roof Box	Section 25.04.150.B.1
Shaped Roof Bar	Section 25.04.150.B.2
Shaped Roof L	Section 25.04.150.B.3
Shaped Roof Forecourt	Section 25.04.150.B.5

General Note: Photos on this page are illustrative, not regulatory.

Building Types

Building Types

25.04.080 Medium Multiplex



Key

- RDW Design Site Line
- Building Setback Line
- Building
- Wing

C. Building Site and Massing

Height 25 max.

Stairs 45 max.

Main Body 45 max.

Wings 15 max.

Depth 20 max.

Separation between Wings 10 min.

Offset from Main Body Scale 5 min. if 2 stairs.

plane along primary front, secondary front, or community open space.

0 min. if 1 story.

0 min. if 1 story.

0 min. if 1 story.

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0 min. if 1 story.

Key

- RDW Design Site Line
- Building Setback Line
- Frontage
- Common Open Yard

D. Pedestrian Access

Main Entrance Location Primary Front

Each unit may have an individual entry.

Each unit may have an individual entry.

Each unit may have an individual entry.

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Ch 5: Frontage Types

25.07.030 Allowed Private Frontage Types

Table A (Allowed Private Frontage Types) provides a summary of the allowed private frontage types in each zone. See referenced Section(s) for standards. The frontages allowed by zone are coordinated with the building types allowed in each zone.

Table 25.07.030.A: Allowed Private Frontage Types

Private Frontage Type	Specific Standards	Zones				
		N.M	N.L	MUC	DE	DC
Porch Projecting	25.07.040	A	A	--	--	--
Porch Recessed	25.07.050	A	A	--	--	--
Dooryard	25.07.060	A	A	A	A ¹	--
Stoop	25.07.070	A	A	A	A ¹	A
Forecourt	25.07.080	--	--	A	A	A
Maker Shopfront	25.07.090	--	--	A ²	A ²	A ²
Shopfront	25.07.100	--	A ²	A ²	A ²	A ²
Terrace	25.07.110	--	A ²	A	A ²	A ²
Gallery	25.07.120	--	--	--	A ²	A ²
Gateway	25.07.130	--	--	--	A	A
Arcade	25.07.140	--	--	--	A ²	A ²

Key A = Allowed -- = Not Allowed

¹ Only on secondary front street and at least 60 feet from the primary front design site lines.

² Only for Ground Floor Commercial Frontages

25.05.050 Porch Recessed



Example of a Recessed Porch (Courtesy of Google Maps)



Example of a Recessed Porch



Example of a Recessed Porch

A. Description

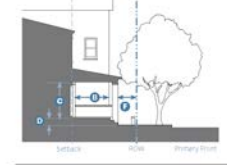
A portion of the main facade of the building is set back from the front design site line to create an area for a covered structure that projects from the facade that is set back. The Porch is one or two stories and has at least two adjacent sides that are engaged to the building, while the other one or two sides are open.

General Note: Photos on this page are illustrative, not regulatory.

Frontage

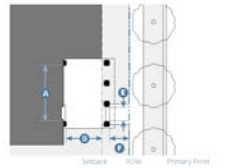
25.05.050 Porch Recessed

Frontage



Key

-- ROW Design Site Line --- Setback Line



B. Required Elements

Width, Clear	8' min. ¹ , 50% Facade ² length, max.	A
Depth, Clear	6' min.; 10' max.	B
Height, Clear	8' min.	C
Stories	2 stories max.	D
Finish Level above Sidewalk	12" max. ± 4" max.	E
Pedestrian Access	3' wide min.	F
Distance between Porch Columns and ROW/Design Site Line	5' min.	F

¹ Reduce to 6' min. when applied to Cottage Court Building Type

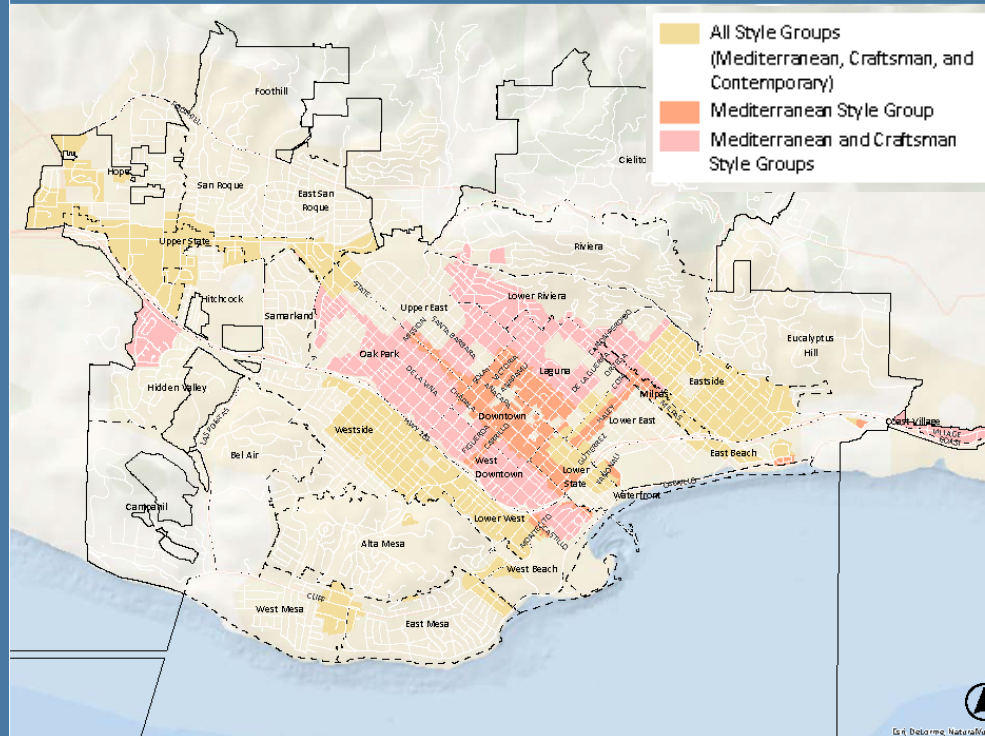
² Common entries may be set at grade per local and federal accessibility standards.

C. Additional Requirements

Porch shall be open on at least one side and have a roof. Pedestrian access allowed at the front or end side of Porch.

Ch 6: Architectural Design

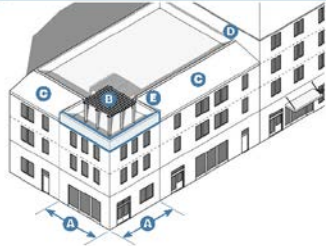
Figure 25.06.040.1 Allowed Architectural Styles



Ch 6: Architectural Design

- Massing and Façade Composition
- Roofs
- Materials

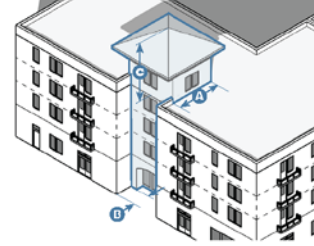
Figure 25.06.050.2 Example of Parapet Roofs



- A** Allowed length of flat roof parapet along each primary or secondary front elevation
- B** Rooftop deck
- C** Sloped roof parapet
- D** Sloped roof parapet adjoining side wall
- E** Flat roof parapet returning to link with sloped roof parapet

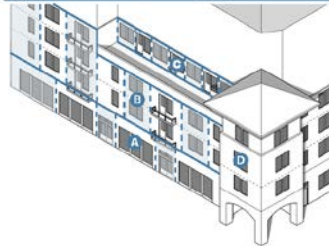
Note: The images are illustrative, not regulatory.

Figure 25.06.050.5 Example of Tower Element



Note: The images are illustrative, not regulatory.

Figure 25.06.050.3 Example of Bay Composition



- A** Bay Composition: Base (Secondary front facade)
- B** Bay Composition: Middle (Secondary front facade)
- C** Stepped-back facade plane may have different bay composition from foremost facade plane
- D** Tower element is treated independently

Note: The images are illustrative, not regulatory.

Figure 25.06.050.4 Example of Massing Features by Elevation Length



- A** Up to 80' long
- B** Up to 120' long
- C** Up to 160' long
- D** Over 160' long
- 1** First Massing Feature
- 2** Second Massing Feature
- 3** Third Massing Feature

Note: The images are illustrative, not regulatory.

Ch 6: Architectural Design: 3 Style Groups

Craftsman

25.06.060 Craftsman Style Group



6.1 Typical Characteristics: Craftsman

Roofing of low pitch or half-pitch or less
Low-pitched roofs with deep eaves and exposed rafters, often with horizontal proportioned openings made from gabled vertical windows
Bright work on natural appearing materials, including composite wood or angles
Asymmetrical composition with walls often broken by projecting gables and
Walls often broken by projecting and/or recessed elements

6.2 Typical Characteristics: Cottage

Roofing of low pitch or half-pitch or less
Asymmetrical housing with front facing gables
Simply gabled single roof with low eaves, minimal projection above and side
Windows with evenly spaced double leaf
Stucco walls with or without half-timbering
Mix of architectural styles and features through its identity
Segmented arches, windows

Mediterranean

25.06.070 Mediterranean Style Group



6.1 Typical Characteristics: Spanish Colonial Revival

Low-pitched gable or cross gabled roofs, often steep and with simple eave and cornice details
Red clay and tan terra cotta clay roof tile installed with a traditional half-pitched wooden rafter, tile, and decorative glazed finish tile
Flat, rectilinear wall plane with symmetrical or asymmetrical composition of vertically proportioned punched openings, arched tops
Formal and/or symmetrical composition of doors and windows
Stucco as primary facade material and used to veed attached elements, and decorative tile at horizontal details
Architectural details and materials display influence of Spanish and Moorish architecture

6.2 Typical Characteristics: Italian Mediterranean

Low-pitched gabled roofs that sit low for walls above eaves, often bracketed
Flat, rectilinear wall plane with vertically proportioned punched openings, arched tops
Stucco as primary facade material with stucco, wood or metal attached elements
Formal and/or symmetrical composition of doors and windows
Use of classical orders, including columns and pilasters, to articulate entrances and openings

Contemporary

25.06.080 Contemporary Style Group



6.1 Typical Characteristics: Contemporary

Simple, minimalist housing schemes
Linked parking and parking of missing forms, delineated by changes in materials, colors, and finishes
Linear arrangement and simple punched openings
Big windows, awnings, balconies, and terraces used to break down facade and volume

6.2 Typical Characteristics: Industrial

Low- and medium-pitched or flat roofs with shallow eave or parapets
Simple gable roof forms
Horizontally proportioned openings made from gabled vertical windows
Metal roofing and cladding

Ch 6: Architectural Design

25.08.060 Craftsman Style Group

25.08.060 Craftsman Style Group



A. Description and Applicability of Style Group

Craftsman Sub-Style
The Craftsman style emerged in the American west and was inspired by the English Arts and Crafts movement. The Craftsman bungalow house was prevalent from the 1900's to the 1940's. Since that time, it has adapted to multi-unit and mixed-use projects.

Cottage Sub-Style
Prevalent in the early 20th century, the Cottage style, like Craftsman, was influenced by the English Arts and Crafts movement and is evolving for residential modes. In Santa Barbara, the Cottage style encompasses a range of primarily Northern European-american expressions. Windows, bay windows, balconies, porches, and materials are based on elements used in these traditions.

Applicability by Zone
Allowed in the following zones: Neighborhood Medium (N.M.)

25.08.060 Architectural Design

Architectural Design

25.08.060 Craftsman Style Group

Architectural Design

A. Typical Characteristics: Craftsman
Low-pitched roofs with deep eaves and exposed rafter tails
Horizontally proportioned openings made from ganged vertical windows
Emphasis on natural appearing materials, including composite wood shingles
Asymmetrical composition with wall plane broken by projecting gable ends
Wall plane broken by projecting and/or recessed elements

B. Typical Characteristics: Cottage
Asymmetrical massing with projecting gables
Steeply-pitched gables with low eaves, minimal projection at eave and rafe
Windows with evenly-spaced divided lites
Stucco walls with or without half-timbering
Mix of arched doors and square, though occasionally segmented arched, windows

25.08.060 Santa Barbara Objective Design and Development Standards August 2022

25.08.060 Mediterranean Style Group



A. Description and Applicability of Style Group

Spanish Revival Sub-Style
The Spanish Revival style is a reflection of Santa Barbara's Spanish architectural tradition. The sub-style adheres to simple building materials, the use of traditional Spanish heavy construction, proportions of large roof forms, arched openings, and an emphasis on the interior.

Italian Mediterranean Sub-Style
Inspired by the Italian Renaissance style, a form of building materials, the Italian Mediterranean style is a blend of the symmetrical and formal composition of neoclassical styles, and the use of contrasting planes walls.

Applicability by Zone
Neighborhood Medium (N.M.), Neighborhood Large (N.L.), Mixed-Use Corridor (MUC), Downtown Edge (DE), Downtown Core (DC)

25.08.060 Santa Barbara Objective Design and Development Standards August 2022

Architectural Design

25.08.060 Mediterranean Style Group

Architectural Design

B. Typical Characteristics: Spanish Revival
Classical and classical inspired motifs, often repeated and used simple and concise motifs
Use of simple arch and cornice motifs
Red-tile and blue accents on roof tiles paired with a distressed stucco texture material (M), and especially, plaster finishes
Flat rooflines and gables with symmetry or asymmetrical compositions of vertically proportioned punched openings
Use of classical forms, including columns and pilasters, to articulate windows and openings

B. Typical Characteristics: Italian Mediterranean
Classical and classical inspired motifs, often repeated and used simple and concise motifs
Flat rooflines and gables with symmetry or asymmetrical compositions of vertically proportioned punched openings
Use of classical forms, including columns and pilasters, to articulate windows and openings

25.08.060 Santa Barbara Objective Design and Development Standards August 2022

25.08.080 Contemporary Style Group



A. Description and Applicability of Style Group

Contemporary Sub-Style
Contemporary architecture is a broad term encompassing a wide range of styles. The style focuses on clean geometric lines, neutral color palettes, and a mix of materials. The use of glass and external elements, floors, and walls are a key characteristic.

Industrial Sub-Style
The industrial style often uses simple building forms, but utilizes gabled roof forms, as well as flat roofs. Cheating an entire and historic industrial form through the use of industrial materials, often metal, is permitted.

Applicability by Zone
Allowed in the following zones: Neighborhood Medium (N.M.), Neighborhood Large (N.L.), Mixed-Use Corridor (MUC), Downtown Edge (DE), Downtown Core (DC)

25.08.080 Santa Barbara Objective Design and Development Standards August 2022

Architectural Design

25.08.080 Contemporary Style Group

Architectural Design

B. Typical Characteristics: Contemporary
Clean, minimalist housing volumes
Unconventional and playful grouping forms, defined by changes in height, depth, and finish
Limited ornamentation and simple punched openings
The interior spaces, materials and textures used to be well defined, tactile and volume

B. Typical Characteristics: Industrial
Low and medium pitched or flat roofs with shallow eave or gable
Simple gable roof forms
Horizontally proportioned opening made from ganged vertical windows
Use of industrial forms, including columns and pilasters, to articulate windows and openings

25.08.080 Santa Barbara Objective Design and Development Standards August 2022

Ch 6: Architectural Design

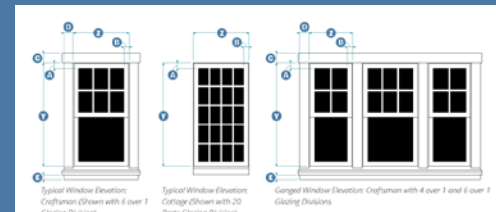
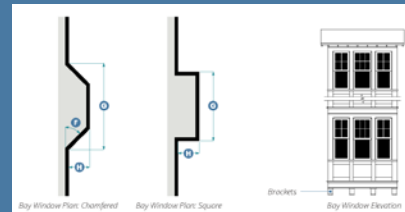
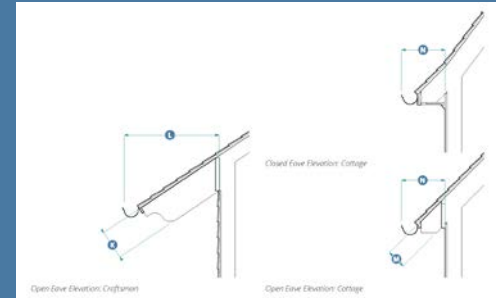
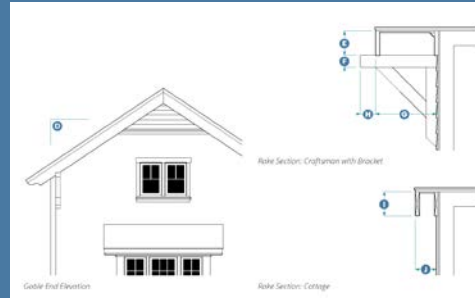
Only the essential elements of each architectural style are regulated

Elements of Craftsman Style



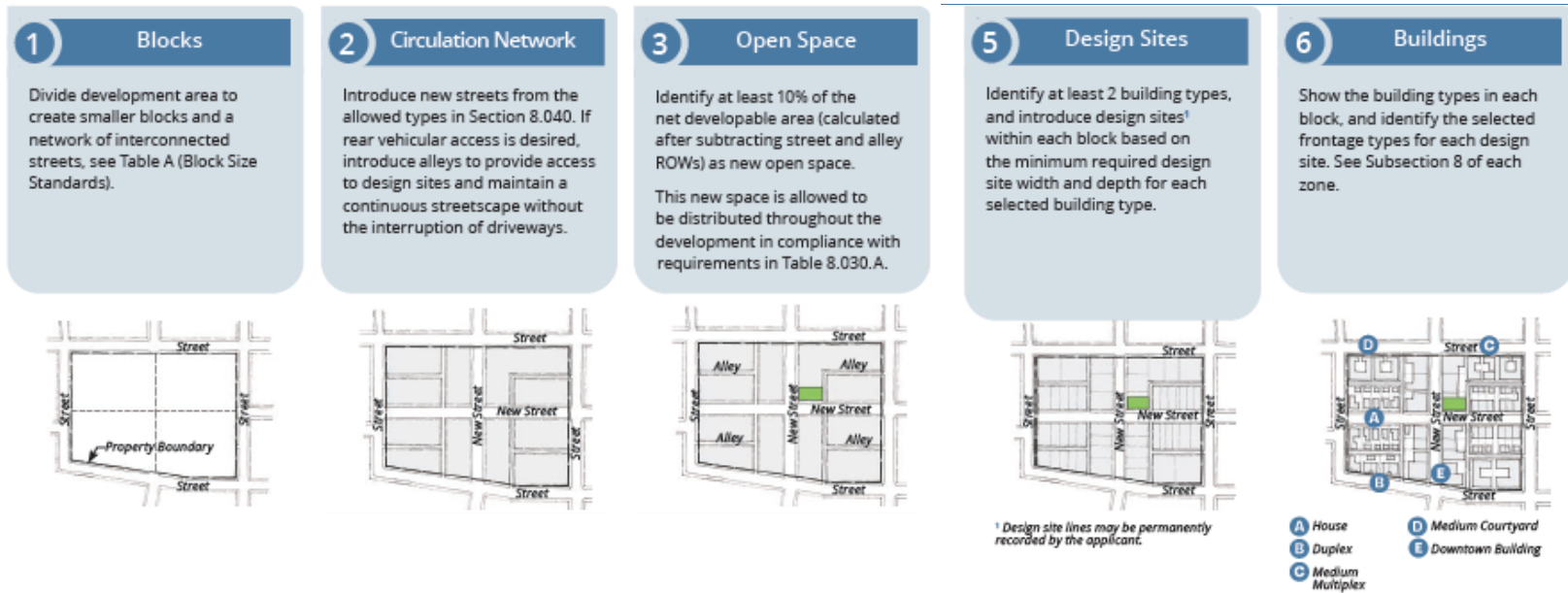
Example Building Elevation: Craftsman

Note: The image above is intended to provide a reference for architectural elements and is illustrative, not regulatory. It is not an exhaustive list of applicable standards.



Ch 7: Large Site Standards

Figure 25.090.020.3: Sustainable Neighborhood Plan Design Process Overview



Ch 8: Community Open Spaces

25.10.030 Overview of Community Open Space Types

A. This Subsection identifies the allowed community open space types and standards for each type. For each community open space type, Subsection A and Subsection C are regulatory, and Subsection B and Subsection D are non-regulatory. Allowed community open space types are identified in Table A (Community Open Space Types Overview).

Table 25.10.030.A: Community Open Space Types Overview					
Specific Standards	Zone				
	N.L.	MS.M	MUC	MS.L	
Pocket Plaza	25.10.040	--	A	--	A
Pocket Park	25.10.050	A	--	A	--
Paseo	25.10.060	A	A	A	A

Key
A = Allowed
-- = Not Allowed

25.10.060 Paseo



A. Description

A pedestrian pathway that extends from the public sidewalk into a community open space and/or across the block to another public sidewalk. The pathway is lined by nonresidential shopfronts and/or residential ground floors and pedestrian entries as required by the zone.

B. General

Part of a network of pedestrian facilities

10% minimum landscape in the ground or as potted plants

Spatially defined by building frontages

Required entrance transition, through an entry arch, accent paving, or signage

C. Size and Location

Size: 20' overall; 12' clear min.

Ground floor facades shall be in compliance with facade zone in Subsection 5 and frontages allowed in Subsection 8 of the zone.

Pedestrians shall be separated from adjacent vehicular activity by any combination of at least two of the following: walls up to 30 inches tall, landscaping, street furniture, curbside parking.

All improvements accessible to the public are required to be in compliance with Section 22.44.080 (Improvements Standards).

Areas within the public Right-of-Way proposed for outdoor dining are required to be in compliance with Chapter 9.95 (Use of City Sidewalks and Rights-of-Way for Dining Purposes).

Colors, materials of outdoor furniture, and barriers shall be in conformity with the City's Standard Street Right-of-Way and Sidewalk Outdoor Dining Regulations.

D. Uses

The use of the Paseo is limited to uses permitted by the zoning district described in Santa Barbara Municipal Code Title 30 (Zoning—Inland).

25.10.050 Pocket Park



A. Description

A small-scale space, serving the community, available for informal activities and social purposes.

B. General

Generally landscaped, with a greater percentage of landscape to hardscape

Spatially defined by streets and adjacent buildings

25% min. landscaping in the ground or as potted plants

C. Size and Location

Size: 25' min. in any direction

Trees: At least 1 per Pocket Park and xx trees per xx sq ft

Street required on one side of the Pocket Park or accessible from a Paseo, or from a Gateway.

Colors, materials of outdoor furniture, and barriers shall be in conformity with the City's Standard Street Right-of-Way and Sidewalk Outdoor Dining Regulations.

D. Uses

The use of the Pocket Park is limited to uses permitted by the zoning district described in Santa Barbara Municipal Code Title 30 (Zoning—Inland).

Ch 9: Exceptions

Exceptions

25.11.020

Table 25.11.020.A: Exceptions to Standards for Design Sites with 10% or Less Slope

Administrative Relief Type	Additional Findings/Criteria	Allowed Administrative Relief	Reference to Standard
1. Design Site Dimensions			
a. Depth or Width Decrease in the minimum required or maximum allowed	i. The critical root zone of a protected tree, utility infrastructure that is not required to be removed, relocated, or undergrounded, or a historic building/feature prevents compliance with the standard.	Up to 10% of the standard	Subsection C (Building Types and Design Site Size) of the zone
	ii. The existing parcel is irregular in shape preventing compliance with the standard.	Up to 25% of the standard	
b. Depth Decrease in the minimum required	i. Design site adjoins an alley at least 20 feet wide along the rear design site line.	Distance equal to the width of the alley	Subsection C (Building Types and Design Site Size) of the zone
2. Building Setbacks			
a. Primary and Secondary Front Streets, Interior Side, or Rear Increase or decrease in the minimum to maximum required setback for a main building and/or wing(s)	i. Rear Setback: The existing lot is 90° or less in depth, preventing compliance with the rear setback standard; or	Up to 25% of the standard	Subsection E (Building Placement) of the zone
	ii. Front Setback: See General Findings (Subsection 25.11.020.C)	Up to 10% of the standard when the required setback is 15' or more.	
	iii. Interior Setback: See General Findings (Subsection 25.11.020.C). This exception shall not be granted if an exception to the privacy standards is also requested.	Up to 20% of the standard when the required setback is less than 15'.	
b. Facade within Facade Zone Reduction of the minimum amount of facade required within or abutting the facade zone	i. See General Findings (Section 25.11.020.C).	Up to 25% of the standard	Subsection E (Building Placement) of the zone
	ii. The horizontal unbuilt area resulting from this exception is landscaped per the standards in Section 25.05.030 (Landscaping and Lighting).		
3. Open Yard			
a. Width and Depth Reduce minimum width or depth	i. See General Findings (Subsection 25.11.020.C)	Up to 10% of the standard	Subsection F of the building type
4. Building Footprint			
a. Size of Main Body or Wing(s) Increase in the allowed width or length	i. See General Findings (Subsection 25.11.020.C); and	Up to 10% of the standard	Subsection C of the building type
	ii. The wing(s) is one-story less in height than the main body; and		
	iii. The building complies with the setbacks of the zone or as allowed to be adjusted by this Section.		



Administrative Relief Type	Additional Findings/Criteria	Allowed Administrative Relief	Reference to Standard
1. Design Site Dimensions			
a. Depth or Width Decrease in the minimum required or maximum allowed	i. The critical root zone of a protected tree, utility infrastructure that is not required to be removed, relocated, or undergrounded, or a historic building/feature prevents compliance with the standard.	Up to 10% of the standard	Subsection C (Building Types and Design Site Size) of the zone
	ii. The existing parcel is irregular in shape preventing compliance with the standard.	Up to 25% of the standard	

May 2023

Santa Barbara Objective Design and Development Standards 205

NEXT STEPS

Questions

1. Do you agree with the proposed maps?
 - Zone names and designations
 - Architectural Styles restrictions

Questions

2. Do the adjacency standards for new infill adjacent to smaller/historic resources (Chap. 3, Section 25.03.030) adequately account for neighborhood compatibility?

Questions

3. Do you agree that ground floor nonresidential should be required in the Downtown Core (State Street from Montecito Street to Sola)?
4. Should open yard be the same as Title 30 or should the ODDS provide more flexibility?

Next Steps

- Work Group Meeting
- Coordinate with other Title 30 Amendments
- Return to Planning Commission for recommendation to City Council on:
 - Zoning Ordinance Amendment
 - Local Coastal Program Amendment