



# Stakeholder Work Group Meeting 4

City of Santa Barbara

October 7, 2022





# How the Webinar will work

1. Roll Call
2. Overview of Project
3. Summary of Tasks Completed Since Last Work Group Meeting
  - Administrative Draft ODS (Title 25)
4. Meeting Overview
  - Introduction to Title 25
5. Next Work Group Meeting
  - Meeting 5: Continue Review of Title 25
6. Questions and Public Comments (At the end of Presentation)

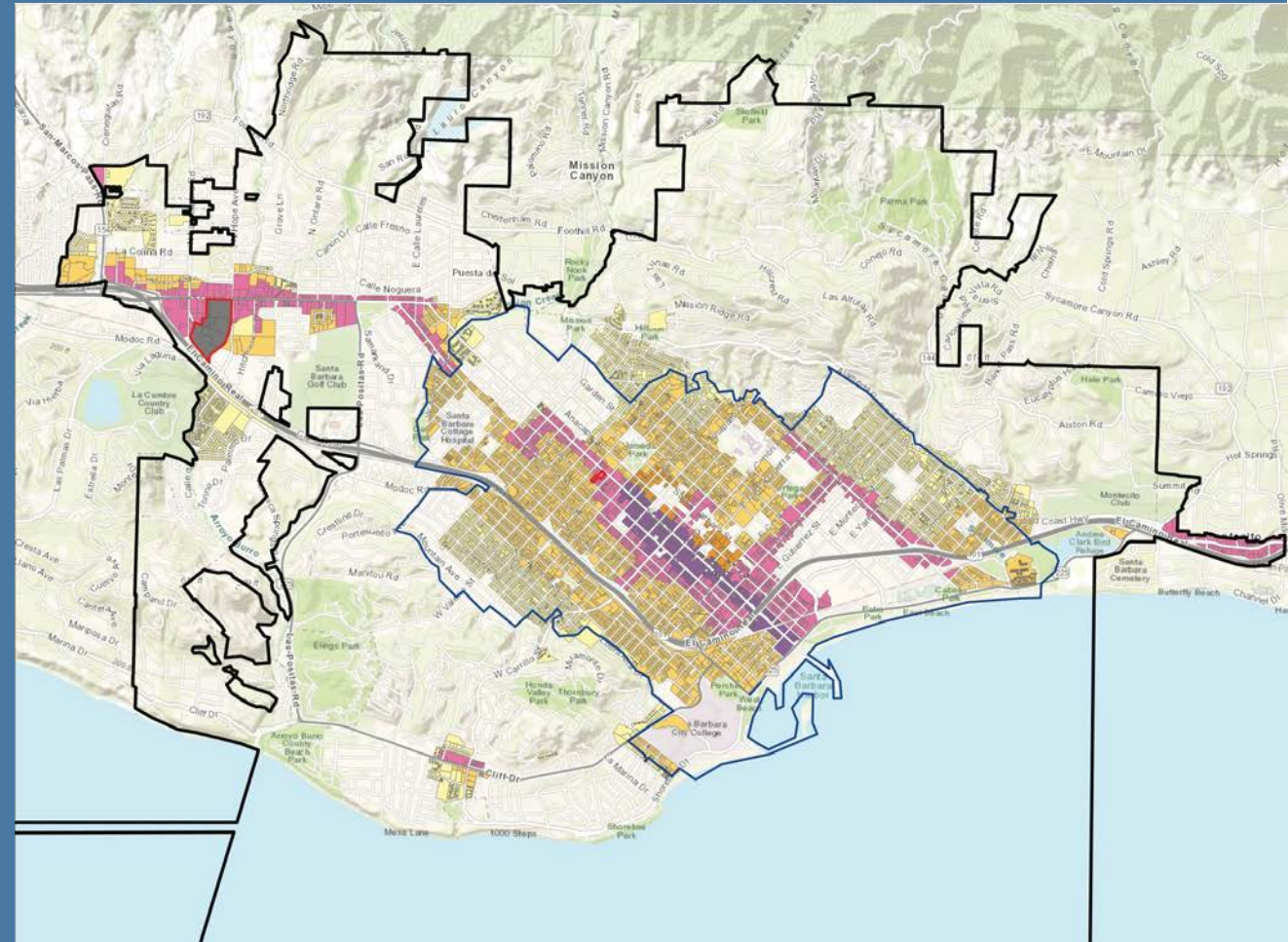
# Overview of Project

## Why are we doing this?

- Develop objective design standards for multi-unit and mixed-use projects to increase housing production
- Provide a more predictable and efficient process that results in quality design in line with community expectations

Key Change since last Work Group meeting:

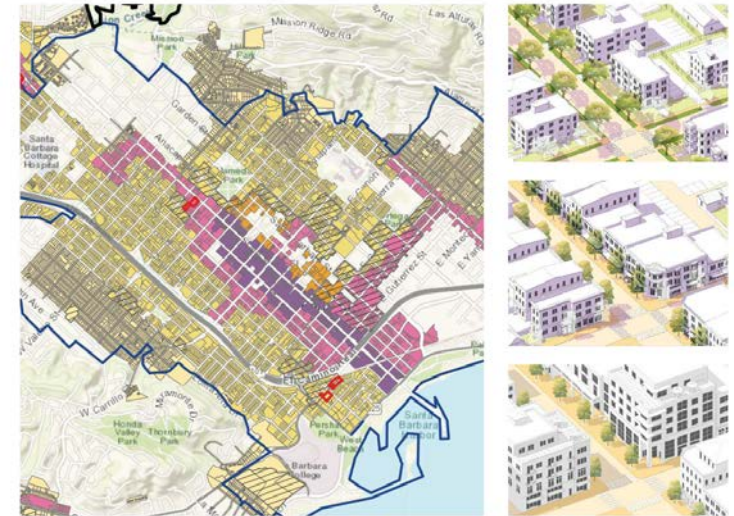
- R-2 zoned parcels added to the project



# Summary of Tasks Completed: Administrative Draft ODS

## Title 25

- Administrative Draft standards
- Zone Map



## Title 25: Objective Design and Development Standards

Draft  
Prepared for:  
Santa Barbara, California  
August 2022



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# Guide for using Title 25

## Quick Code Guide

The following graphic is intended as a summary guide. Please refer to Santa Barbara's permit procedures and application standards Chapter 30.205 (Common Procedures) for all necessary information.

1 Determine your Maximum Zoning Envelope<sup>1</sup>

<b>Identify your zone</b> , see Chapter 3 (Zones)	a. Apply building placement standards	Subsection 3 of the zone
	b. Apply building form and height standards	Subsection 5 of the zone
	c. Select your building type(s)	Subsection 4 of the zone
	d. Select from allowed uses	Refer to the underlying zone for the allowed uses and standards.
	e. Apply parking standards	Subsection 7 of the zone
	f. Select your private frontage type	Subsection 8 of the zone
<b>Design your building</b> , see Chapter 6 (Specific to Building Types)	a. Select your building type	Subsections 3 of the zone
	b. Select your detailed massing type	Subsections 3 and 7 of the building type
	c. Apply the standards	Subsections 1, 2, 4-7 of the building type

<sup>1</sup>Developments that propose multiple design sites shall apply this process for each design site.

2 Connect Ground Floor to Adjacent Streetscape

Subsections 1-4 of the private frontage type	a. Select your private frontage type(s)	Subsection 8 of the zone
<b>Design your private frontage(s)</b> , see Chapter 7 (Specific to Private Frontage Types)	b. Apply the standards	Subsections 1-4 of the private frontage type

3 Design your Building

<b>Select your architectural style</b> , see Chapter 8 (Specific to Architectural Design)	Based on your selected detailed massing type, select your architectural style and apply the standards	Subsections 1-16 of the architectural style
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## Quick Code Guide (Continued)

4 Apply Signage (If Allowed)

<b>Design your signage type(s)</b> , see Chapter 22.28 (Signs)	a. Select your signage type	Chapter 22.28
	b. Apply the standards	Subsections 1-4 of the signage type

5 Proceed to Approval Process

<b>If relief from the standards is requested</b> , see Section 25.11.030 (Exceptions to Standards)	Identify the scenario(s) that apply to your project to be eligible for the exceptions to the standard(s)	Section 25.11.030 (Exceptions to Standards)
<b>Identify your approval procedure</b> , see Chapter 11 (Exceptions)	Comply with the procedure standards	Section 25.11.020 (Exceptions to Standards)

# Ch 3 Palette of 5 Zones and standards

House-Scale Buildings  
Lower intensity

Block-Scale Buildings  
Higher intensity

Table 25.03.010.A: Zones Overview

← Less Urban

Neighborhood.Small 25.03.020



Neighborhood.Medium 25.03.030



Table 25.03.010.A: Zones Overview (Continued)

Main Street.Medium 25.03.040



Neighborhood.Large 25.03.050



Table 25.03.010.A: Zones Overview (Continued)

Main Street.Large 25.03.060



# Ch 3 Zone Standards

## 25.03.030 Neighborhood Medium (N.M)



General note: the illustrations above are intended to provide a brief overview of the zone and are descriptive in nature.

**A. Intent**  
A walkable neighborhood environment with small-to-medium footprint, moderate-intensity housing choices, supporting and within short walking distance of neighborhood-serving retail, food, and services.

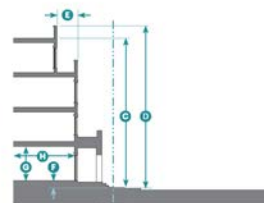
**B. Sub-Zones**  
N.M-Open (N.M-O). The open-subzone allows additional uses within the same form and character of the base zone.

The following are generally appropriate form elements in the zone:

House-Scale Buildings: Carriage House, House, Duplex Side-by-Side, Duplex Stacked, Cottage Court, Fourplex, Neighborhood Townhouse, Neighborhood Courtyard, Pocket Neighborhood, and Multiplex	Small Front Setbacks Small Interior Side Setbacks Up to 4 Stories Frontage Types: Porch Projecting, Porch Engaged, Dooryard, and Stoop Shopfront and Terrace in Open Sub-Zone
Primarily Detached Buildings Small to Medium Main Building Footprint	

## 25.03.030 Neighborhood Medium (N.M)

## Zones



**Key**  
--- ROW Design Site Line  
--- Building Setback Line

### C. Building Types and Design Site Size

Allowed Building Types	Design Site Width (ft)	Design Site Depth (ft)	Standards
<b>House-Scale</b>			
Carriage House <sup>1</sup>	N/A	N/A	25.06.040
Duplex Side-by-Side	50' min.	110' min.	25.06.050
Duplex Stacked	50' min.	100' min.	25.06.050
Cottage Court	90' min.	120' min.	25.06.070
Fourplex	50' min.	110' min.	25.06.080
Neighborhood Townhouse	18' min. <sup>2</sup>	100' min.	25.06.090
Neighborhood Courtyard	70' min.	150' min.	25.06.100
Pocket Neighborhood	150' min., 300' max.	250' min., 500' max.	25.06.110
Multiplex	75' min.	110' min.	25.06.120

**Block-Scale**  
None  
Each design site shall have only one main building type.

Each Design Site is limited in the total square feet of non-residential uses in the N.M-O Sub-Zone. See [25.03.030 \(Zone Map\)](#) for locations.

<sup>1</sup>Design sites at least 150' wide and 100' deep are required to include one space per Chapter 19 (Specific to Civic Spaces).

<sup>2</sup>The Carriage House is not a main building type.

<sup>3</sup>Represents one townhouse.

### D. Building Form

Height	Standards
<b>Main Building<sup>1</sup></b>	
Stories	4 max.
To Highest Eave/Parapet	42' max.
Overall	45' max.
10' min. stepback for 4th story, or for new building adjacent to historic building	
<b>Ground Floor Finish Level</b>	
Residential	6' min. <sup>2</sup>
Non-Residential	6' max.
<b>Ground Floor Ceiling</b>	
Residential	9' min.
Non-Residential	12' min. <sup>3</sup>
<b>Accessory Structures<sup>4</sup></b>	1' max.
<b>Footprint</b>	
Max. Design Site Coverage (Building Types)	
Depth, Ground-Floor Space	
Cottage Court	12' min. <sup>5</sup>
All Building Types	25' min. <sup>5</sup>

<sup>1</sup>See Sections 25.03.070 (Additional Heights and Massing Requirements) and 25.03.080 (Solar Access Height Limitations).

<sup>2</sup>Common entries may be set at grade in compliance with local and federal accessibility standards.

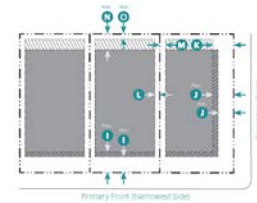
<sup>3</sup>In compliance with Section 30.140.020 (Accessory Buildings).

<sup>4</sup>For habitable/occupiable space only.

<sup>5</sup>For habitable/occupiable space only.

## Zones

## 25.03.030 Neighborhood Medium (N.M)



**Key**  
--- ROW Design Site Line  
--- Building Setback Line  
--- Facade Zone

### E. Building Placement

Setback (Distance from ROW Design Site Line)	Standards
<b>Primary Front (Facade Zone)<sup>1</sup></b>	10' min.; 15' max.
<b>Secondary Front (Facade Zone)</b>	
Main Building <sup>1</sup>	10' min.; 15' max.
Accessory Structure(s)	15' min.
<b>Interior Side</b>	
Main Building	6' min.
Accessory Structure(s)	5' min.
<b>Rear</b>	
Main Building	10' min.
Accessory Structure(s)	5' min.

An additional 10' building setback is required where adjacent to a commercial or manufacturing zone.

See 25.03.060 (Additional Height and Massing Requirements) when adjacent to R-2, R-M, R-MH, or N.M.Zones.

Design sites with slopes a 10% shall comply with Section 25.05.050 (Sloped Parcels).

<sup>1</sup>In Open Sub-zone, 0' or 10' min.

<sup>2</sup>In Open Sub-zone, 0' or 10' min.

<sup>3</sup>In Open Sub-zone, 0' or 10' min.

<sup>4</sup>In Open Sub-zone, 0' or 10' min.

<sup>5</sup>In Open Sub-zone, 0' or 10' min.

<sup>6</sup>In Open Sub-zone, 0' or 10' min.

<sup>7</sup>In Open Sub-zone, 0' or 10' min.

<sup>8</sup>In Open Sub-zone, 0' or 10' min.

<sup>9</sup>In Open Sub-zone, 0' or 10' min.

<sup>10</sup>In Open Sub-zone, 0' or 10' min.

<sup>11</sup>In Open Sub-zone, 0' or 10' min.

<sup>12</sup>In Open Sub-zone, 0' or 10' min.

<sup>13</sup>In Open Sub-zone, 0' or 10' min.

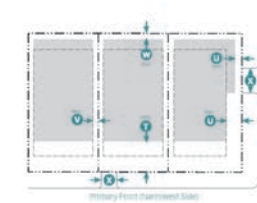
<sup>14</sup>In Open Sub-zone, 0' or 10' min.

<sup>15</sup>In Open Sub-zone, 0' or 10' min.

<sup>16</sup>In Open Sub-zone, 0' or 10' min.

## 25.03.030 Neighborhood Medium (N.M)

## Zones



**Key**  
--- ROW Design Site Line  
--- Building Setback Line  
--- Parking Area

### G. Parking

Use Type	Use Type	Vehicle Spaces <sup>1</sup>	Bicycle Spaces <sup>2</sup>
<b>Residential Uses</b>			
Studio or 1 Bedroom		1 min. per unit <sup>3</sup>	1 min. per unit
3 or More Bedrooms		2 min. per unit <sup>3</sup>	1 min. per unit
<b>Non-Residential Uses per Building<sup>4</sup></b>			
See Chapter 30.175 (Parking Regulations)			
<b>Setback (Distance from ROW Design Site Line)</b>			
Primary Front		35' min.	
Secondary Front		25' min., ≤ 75' from Primary Front	
Interior Side		5' min.	
Rear		5' min.	
<b>Driveway<sup>5</sup></b>			
One-Way		8' min., 12' max. on design sites > 100' wide	
Two-Way		8' min., 12' max. on design sites > 100' wide	
<b>Curb Cut/Width</b>			
		8' min., 12' max. on design sites > 100' wide	

Curb cut width along alley may exceed 12'.

Parking spaces may be grouped with those on adjacent design sites and may be detached from design sites within the same block, in compliance with parking setbacks and access standards.

Driveways may be shared between adjacent design sites but shall not exceed maximum allowed width.

Front access not allowed on corner design sites.

Bicycles may be parked anywhere on design site, in compliance with pedestrian and vehicular access standards.

Driveways may be shared between adjacent design sites but shall not exceed maximum allowed width.

Front access not allowed on corner design sites.

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Front access not allowed on corner design sites.

Bicycles may be parked anywhere on design site, in compliance with pedestrian and vehicular access standards.

Driveways may be shared between adjacent design sites but shall not exceed maximum allowed width.

Front access not allowed on corner design sites.

Uses are as allowed by underlying zone



# Ch 3 Additional Height and Massing Requirements

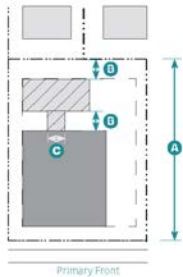
Zones

25.03.070: Additional Height and Massing Requirements

## 25.03.070 Additional Height and Massing Requirements

### A. Specific to Parcels at Least 200 Feet Deep or Wide: Transition to House-Scale Building Size.

1. Within 50 feet of where the parcel abuts the R-7.5, RS-1A, RS-6, RS-15, R-2, N.S, or N.M zone, the following is required:
  - (a) Incorporate one of the following house-scale building types on the parcel with or without design site line. See Figure 1 (Transition to House-Scale Building Size):
    - (1) Duplex Side-by-Side (25.06.050);
    - (2) Duplex Stacked (25.06.060); or
    - (3) Fourplex (25.06.080).
  - (b) The House-Scale building is allowed to be attached to or detached from the proposed Block-Scale building. If attached, the attachment is not to exceed a breezeway or conditional space up to 12 feet wide.
  - (c) Pedestrian and vehicle access and parking shall be provided to the additional building(s). The access is allowed to be incorporated with the access and parking for the building on the front portion of the parcel.
  - (d) A private frontage type shall be incorporated into the design of the house-scale building using the frontage types allowed in the N.S or N.M zone.



**Figure 25.03.070.1:**  
Transition to House-Scale Building Size

- Existing Adjacent Building(s) in R-2, R-M, R-MH, N.S, or N.M Zones
- New House-Scale Transition Building
- New or Modified Block-Scale Building
- A Required Parcel Depth: 200' min.
- B Required Min. Setback of the Zone
- C 12' max. Width

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### B. Specific to Parcels Less than 200 Feet Deep or Wide: Transition to Adjacent Building Size.

1. Within 30 feet of the side or rear property line, the new building massing shall not exceed 30 feet in height and a maximum footprint length of the largest adjacent building. This massing allows for multiple volumes of this or smaller size. Behind the 30 foot height/massing, the building is allowed up to the maximum height allowed (45 feet). See Figure 2 (Transition to Adjacent Building Size).

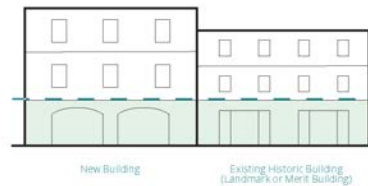


**Figure 25.03.070.2:**  
Transition to Adjacent Building Size

- A New Building (Max. Height Allowed by Zone) (e.g., 4 stories)
- B Longest Dimension along Adjacent Side or Rear Property Line
- C Required Transition Area: 30' min.
- D Required Min. Setback
- E New Building Transition to Existing Building's Height and Length (e.g., 2 stories)
- F 15' min. Separation

### C. Specific to Parcels on Same Side of Block as Designated City Landmark or City Structure of Merit.

1. When at least one listed Landmark building or Structure of Merit ("Landmark or Merit Building") is on the same block as the new building, the front setback is required to be within five feet of the smallest front setback for a Landmark or Merit Building.
2. Main building entries are required to face the street and be combined with an allowed frontage type in the zone. See Chapter 7 (Specific to Private Frontage Types).
3. Building facades must include the minimum number of openings required by Chapter 8 (Specific to Architectural Design) for the selected architectural style.
4. Upper story stepback of 10 feet required on new building where adjacent to Landmark or Merit Building.
5. New building required to match height of ground floor expression line or entablature on adjacent designated Landmark or Merit Building. See Figure 3 (Required Ground Floor Height Alignment).



**Figure 25.03.070.3:**  
Required Ground Floor Height Alignment

- Ground Floor Expression Line
- Ground Floor

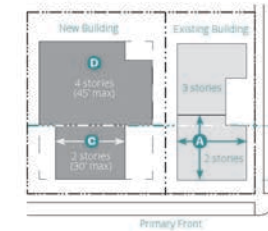
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6. New building to match horizontal length of massing, height, and number of stories of adjacent designated Landmark or Merit Building within 30 feet measured from the front of the building. See Figure 4 (Historic Scale Component).

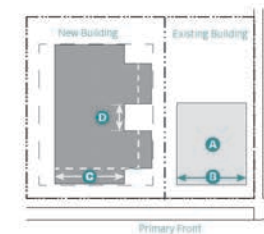


**Figure 25.03.070.4:**  
Historic Scale Component

- A Existing 2-story Building Footprint
- B Historic Scale Component Area
- C Existing 2-story Building Footprint within Historic Scale Component Area
- D New Building Allowed to Max. Zone Height and Min. Setbacks

### D. Specific to Parcels Adjacent to Existing Building not Built to Maximum Allowed Height.

1. Upper story stepback of 10 feet required on new building above top story of adjacent building. Where the adjacent building is single-story, the stepback is required on the 3rd story.
2. New building to match horizontal length of massing of adjacent building within 10 percent measured along front of the building. See Figure 4 (Adjacent to Building Not Built to Maximum Allowed Height).



**Figure 25.03.070.5:**  
Adjacent to Building Not Built to Maximum Allowed Height

- A Existing Building
- B Existing Massing Length Measured along Adjacent Street
- C New Facade(s) Allowed up to within 10% of Adjacent Facade
- D 15' min. separation

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# Ch 5 General Standards

## Chapter 5: General Design Site Standards

### Sections:

25.05.010	Purpose
25.05.020	Screening
25.05.030	Landscaping and Lighting
25.05.040	Parking and Loading
25.05.050	Sloped Parcels
25.05.060	Public Frontages
25.05.070	Privacy
25.05.080	Rooftop Decks

### 25.05.010 Purpose

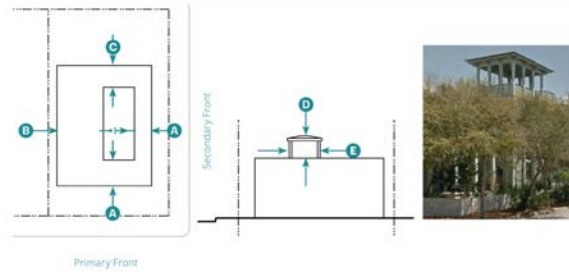
This Chapter provides standards to ensure that new development accomplishes the following:

- A. Makes a positive contribution to the development pattern of the area;
- B. New or altered structures are compatible with the design and use of existing structures on neighboring properties;
- C. Respects the existing conditions of neighboring properties; and
- D. Does not adversely affect neighboring properties, with "adversely affect" meaning to impact in a substantial, negative manner the habitability of these properties.

### 25.05.080 Rooftop Decks

- A. **Intent.** These standards are designed to provide outdoor space on top of a building in all zones of this Title. The standards are coordinated with the different sizes and heights of buildings allowed in each zone as well as the adjacent zones.
- B. **Standards**
  1. **General**
    - (a) Only one Rooftop Deck on each building is allowed to be enclosed.
    - (b) Materials shall be consistent with the main building.
    - (c) Exterior access is allowed in compliance with UBC and UFC standards.
  2. **Deck Placement**
    - (a) Rooftop Decks shall be located on uppermost story of main building, not including cupolas or towers.
    - (b) If across the street from R-1 and R-2 zones, Figure 1 (Rooftop Deck Placement and Elements).

Figure 25.05.080.1: Rooftop Deck Placement and Elements



#### Deck Placement and size: If across the street from R-1 and R-2 zones

- A** 15' min. primary front setback
- B** 10' min. interior side or secondary front setback
- C** 10' min. rear setback
- D** 10 feet tall maximum, measured from floor-to-ceiling
- E** Interior space size: N.S, N.M Zones = 15'x20' max.; MS-M, N.L, MS.L Zones = 30'x50' max.

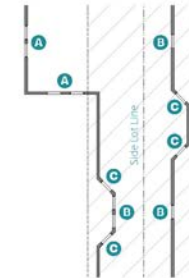
#### Elements

- Pergola, trellis, permanent shade devices
- Fabric awnings and shade devices are not allowed.

### 25.05.070 Privacy

- A. **Intent.** These standards are designed to provide privacy between primary living spaces of buildings on each interior side of a design site line in neighborhood zones (N.M and N.L). Windows and balconies along the interior side of a building within 10 feet of an interior side design site line in N.M and N.L zones are subject to these standards.
- B. **Standards**
  1. Primary living spaces adjoining a interior side setback shall orient principal/main windows/glazed openings toward the front and rear of the building.
  2. Windows and balconies within 10 feet of and oriented to an interior design site setback:
    - (a) Shall have a minimum sill height of five feet unless the window is placed at an angle of at least 30 degrees, measured perpendicular to the adjacent interior side design site line.

Figure 25.05.070.1: Sill Height Standards along Interior Design Site Line



- Design Site Line
- .... Sideyard Setback Line
- Area Within 6' of Lot Line
- A** Principal Window
- B** 44" min. Sill Height
- C** No Limitation on Sill Heights

# Ch 6 Standards coordinated to Building Size

## Building Scale

### Block-Scale

buildings  
For Town  
Centers and  
Neighborhood  
Main Streets



Opticos Design 2021

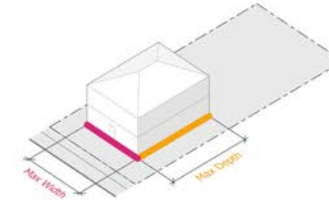
### House-Scale

buildings for  
Neighborhoods  
of varying  
intensities

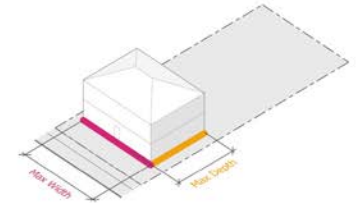
Figure 25.06.020.1 Example of House-Scale and Block-Scale Buildings

#### House-Scale Buildings

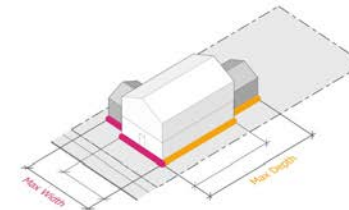
Main body only



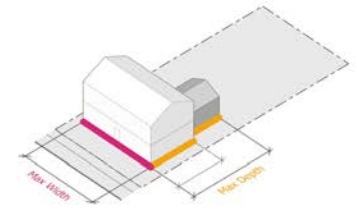
Main body only



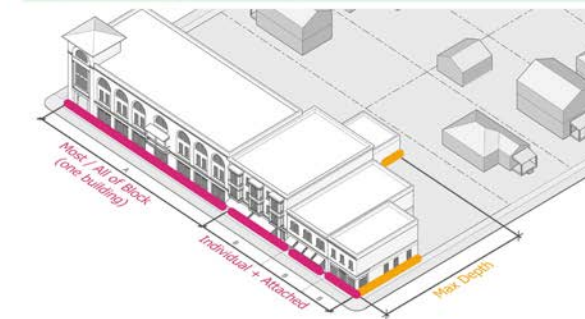
Main body with side and rear wings



Main body with rear wing

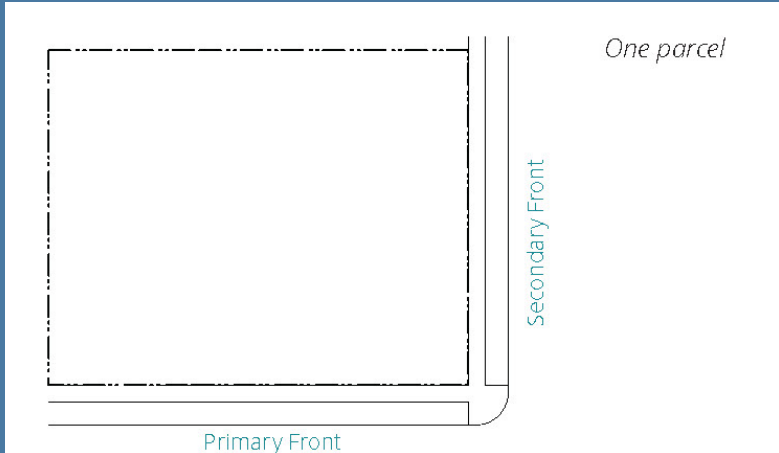


#### Block-Scale Buildings

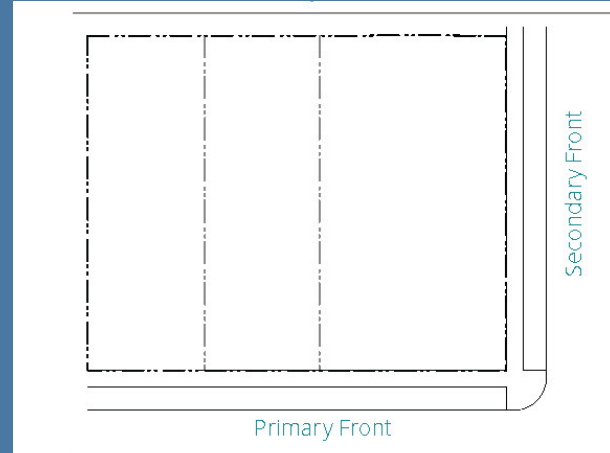


# Ch 6 Standards for multiple buildings on large lots

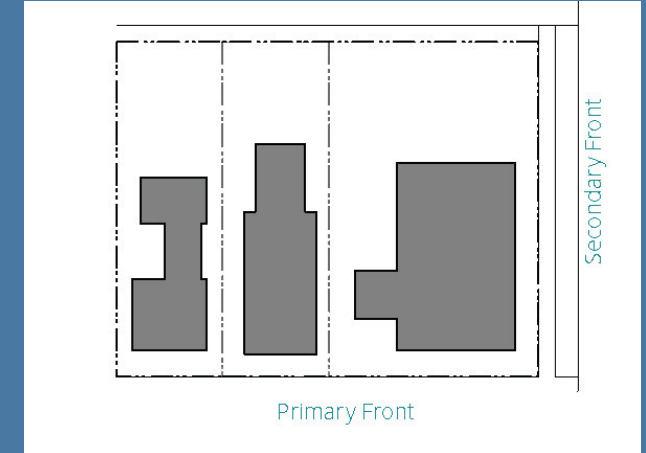
Lot exceeds size of any allowed building in zone



Design sites are applied to generate individual buildings (except in MS.L zone)



Individual buildings are designed per the standards



Design sites can be recorded as new lots or discarded having served their purpose; Recording design sites as new lot is allowed if per the City's min. lot size and subdivision standards

# Ch 6 Building type standards


**Table 25.06.030.A: Building Types Overview**

	Specific Standards	Zones			
		N.M	MS.M	N.L	MS.L
<b>House Scale</b>					
Carriage House	25.06.040	P	P	X	X
Duplex Side-by-Side	25.06.050	P	P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>
Duplex Stacked	25.06.060	P	P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>
Cottage Court	25.06.070	P	X	X	X
Fourplex	25.06.080	P	P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>
Neighborhood Townhouse	25.06.090	P	X	X	X
Neighborhood Courtyard	25.06.100	P	X	X	X
Pocket Neighborhood	25.06.110	X	X	X	X
Multiplex	25.06.120	P	P <sup>2</sup>	P	X
<b>Block Scale</b>					
Core Townhouse	25.06.130	X	P <sup>2</sup>	P	X
Core Courtyard	25.06.140	X	X	P	P
Main Street Building	25.06.150	X	P	X	P

<sup>1</sup> Required in the rear 50 feet of parcels at least 200 feet deep that abut the RS-7.5, RS-1A, RS-6, RS-15, or RZ Zone.  
<sup>2</sup> Only on Secondary Fronts

**Key** P = Allowed X = Not Allowed

25.06.120 Multiplex



**A. Description**  
 A medium-to-large-sized, detached, House-Scale Building that consists of up to 18 side-by-side and/or stacked units, typically with one shared entry. The type is scaled to fit within moderate-intensity neighborhoods.  
 Synonym: Mansion Apartment

**B. Number of Units**

	N.M	MS.S	N.L
Units per Building	12 max.	12 max.	18 max.
Main Buildings per Design Site	1 max.		

**C. Building Size and Massing**

Height	N.M; MS.M	N.L
Stories	3.5 max.	4.5 max.

**Main Body<sup>1</sup>**

Width	60' max.	80' max.	A
Depth	60' max.	100' max.	B

**Wings<sup>1</sup>**

Width	24' max.	C
Depth <td>40' max.</td> <td>D </td>	40' max.	D

Separation between Wings: 10' min. up to 2 stories  
 15' min. for 3rd/4th stories

Offset from Main Body: 5' min. if 2 or more stories  
 Facade along Primary Front: 0' min. if 1 story  
 Secondary Front, or Civic Space

Facades shall be designed in compliance with Chapter 8 (Specific to Architectural Design).  
<sup>1</sup>In compliance with Subsection E of the zone.

**D. Pedestrian Access**  
 Main Entrance Location: Primary Front  
 Units located in the main body shall be accessed by a common entry along the Primary Front.

**E. Vehicle Access and Parking**  
 Driveway and parking location shall comply with standards in Subsection G of the zone.  
 Parking may be covered, uncovered, or in a garage.

**F. Open Yard**  
 Common or private open yard is not required.

General Note: Photos on this page are illustrative, not regulatory.

25.06.120 Multiplex



**Key**

- ROW Design Site Line
- Building
- Building Setback Line

**C. Building Size and Massing**

**D. Pedestrian Access**

**E. Vehicle Access and Parking**

**F. Open Yard**

25.06.120 Multiplex

**G. Main Body Massing Composition**  
 Select from the allowed massing proportions and apply the standards to the main body width in compliance with Chapter 8 (Specific to Architectural Design) and the following standards.

**Gable L (2/3 + 1/3)**

This massing type is a simple rectangular form that is longer than it is deep. The roof is sloped and may be either hipped or gabled.

Number of Bays	Flexible	A
Main Body Width	Max. allowed by Subsection 3 of this building type	B

**Gable L (2/3 + 1/3)**

This massing type divides the facade into three equal parts, 1 part projecting and 2/3 projecting towards front property line. The roof is sloped with a gable at the projecting 1/3.

Number of Bays	3-6 bays	A
Main Body Width	Max. allowed by Subsection 3 of this building type	B
Massing Proportions	2/3 1/3	C

**Gable L (2/5 + 3/5)**

This massing type divides the facade into five equal parts, with two parts projecting and three parts set back to create a shallow forecourt. The roof is sloped with gables at the projecting two parts.

Number of Bays	5 bays	A
Main Body Width	Max. allowed by Subsection 3 of this building type	B
Massing Proportions	2/5 3/5	C

25.06.120 Multiplex

**G. Main Body Massing Composition (continued)**

**Center Gable (1/3 + 1/3 + 1/3)**

This massing type divides the facade into three equal parts, with the middle third projecting. The roof is sloped and may be either hipped or gabled.

Number of Bays	3-6 bays	A
Main Body Width	Max. allowed by Subsection 3 of this building type	B
Massing Proportions	1/3 each	C

**Twin Gable**

This massing type divides the facade into three parts, with the middle part set back slightly to create a shallow open yard. The roof is sloped and may be either hipped or gabled.

Number of Bays	3-6 bays	A
Main Body Width	Max. allowed by Subsection 3 of this building type	B

# Ch 7 Frontage type standards

**Table 25.07.030.A: Private Frontage Types Overview**

Private Frontage Type	Specific Standards	Zones			
		N.M	MS.M	N.L	MS.L
Porch Projecting	25.07.040	P	P <sup>1</sup>	P	X
Porch Engaged	25.07.050	P	P <sup>1</sup>	P	X
Dooryard	25.07.060	P	P <sup>1</sup>	P	X
Scoop	25.07.070	P	P <sup>1</sup>	P	P <sup>1</sup>
Forecourt	25.07.080	X	P	P	P
Maker Shopfront	25.07.090	X	O	X	O
Shopfront	25.07.100	O	P	O	P
Terrace	25.07.110	O	P	P	P
Gallery	25.07.120	X	P	X	P
Gateway/Zaguan	25.07.130	X	P	X	P
Arcade	25.07.140	X	P	X	P

<sup>1</sup> Only on secondary front street and at least 60 feet from the primary front design site lines.

Specific to Private Frontage Types

## 25.07.060 Dooryard



Example of a Dooryard



Example of a Dooryard



Example of a Dooryard

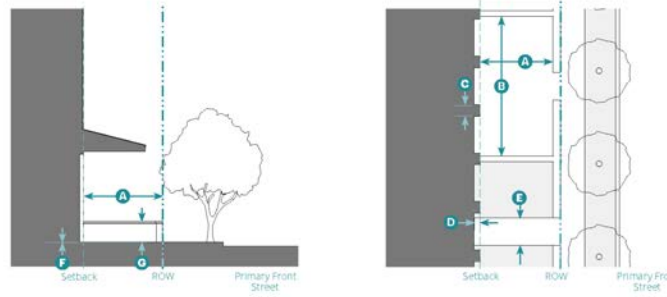
### A. Description

The main facade of the building is set back from the front design site line, which is defined by a low wall or hedge, creating a small private area between the sidewalk and the facade. Each Dooryard is separated from adjacent Dooryards. The Dooryard may be raised or at grade.

General Note: Photos on this page are illustrative, not regulatory.

Specific to Private Frontage Types

25.07.060 Dooryard



### Key

--- ROW/ Design Site Line    - - - - - Setback Line

### B. Size

Depth, Clear	6' min.	<b>A</b>
Length	15' min.	<b>B</b>
Distance between Glazing	4' max.	<b>C</b>
Depth of Recessed Entries	3' max.	<b>D</b>
Pedestrian Access	3' wide min.	<b>E</b>
Finish Level above Sidewalk	12" max. <sup>1</sup>	<b>F</b>
Height of Dooryard Fence/Wall above Finish Level	36" max.	<b>G</b>

<sup>1</sup> Common entries may be set at grade per local and federal accessibility standards.

### C. Miscellaneous

As allowed by the zone, for live/work, retail, service, and restaurant uses, the Shopfront Frontage Type (25.07.100) may be applied.

Each Dooryard shall provide access to only one ground floor entry.

The Dooryard is allowed to encroach into the primary front and secondary front setbacks in compliance with Subsection F of the zone.

Ramps are required to be integrated along the side of the building to connect with the Dooryard.

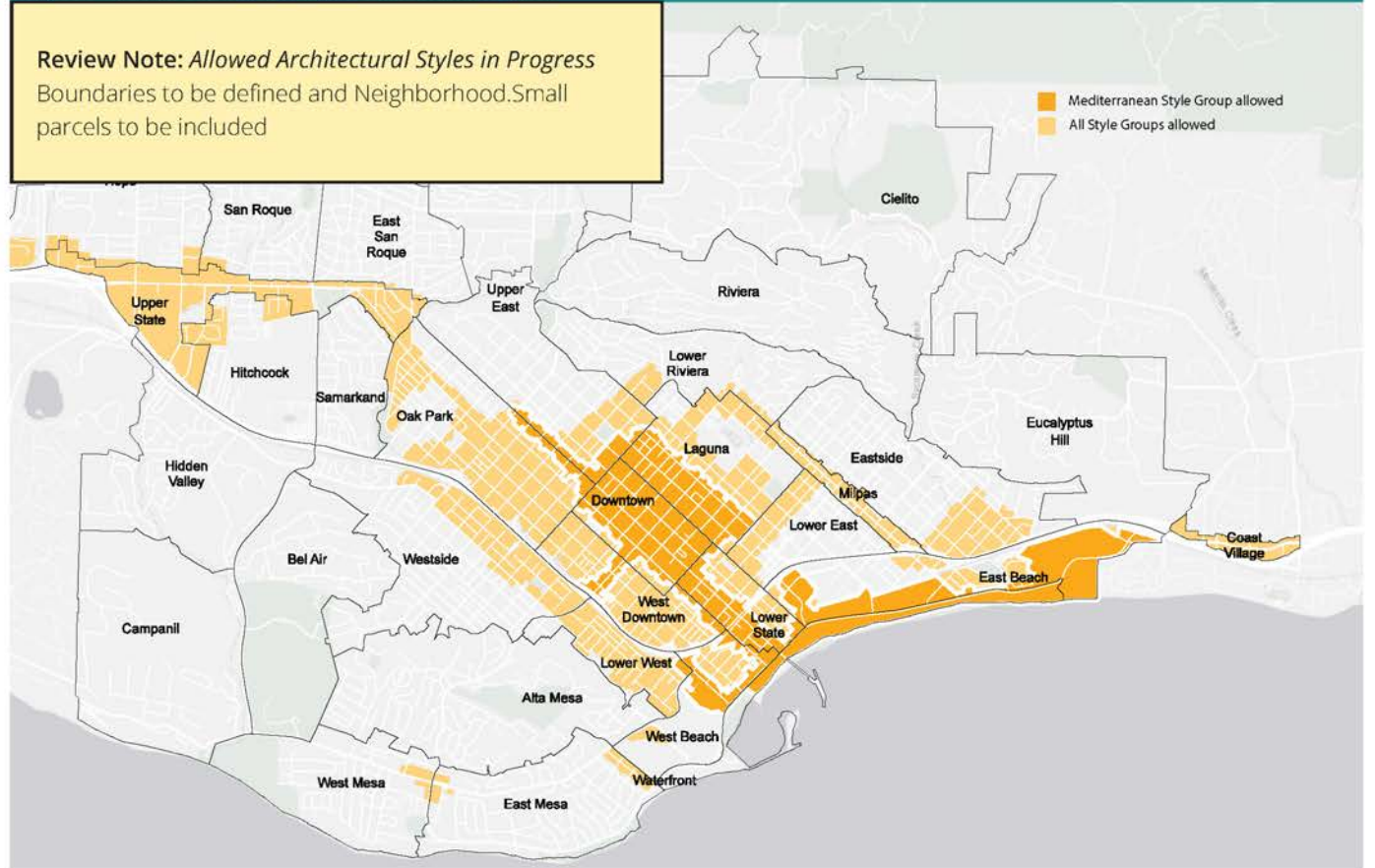
The Dooryard shall be designed in compliance with the standards in Chapter 8 (Specific to Architectural Design) for the selected architectural style.

# Ch 8 Architectural Design

## Architectural Style Standards

- 3 style groups
- 6 styles
- In EPV only the Mediterranean style group allowed
- Elsewhere, all style groups allowed

Figure 25.08.020.A Allowed Architectural Styles



# Ch 8 Architectural Design

25.08.040.3: Corner Element

Specific to Architectural Design

Table 25.08.050.A: Architectural Styles Overview  
Craftsman Style Group

**Craftsman Sub-Style**



**Typical Characteristics**

Low-pitched roofs with deep eaves and exposed rafter tails  
Horizontally proportioned openings made from ganged vertical windows  
Emphasis on natural materials, including wood shingles  
Asymmetrical composition with wall plane broken by projecting gable ends  
Wall plane broken by projecting and/or recessed elements

**Applicable Standards**

- Wall
- Building Roof
- Rake
- Eave
- Parapet
- Windows
- Bay Windows
- Dormers
- Entry Doors
- Porches/Columns/Pilasters
- Balconies
- Storefronts
- Materials

**Cottage Sub-Style**



**Typical Characteristics**

Asymmetrical massing with front-facing gables  
Steeply pitched shingle roof with low eaves; minimal projection at eave and rake  
Windows with evenly-spaced divided lites  
Stucco walls with or without half-timbering  
Mix of arched and square openings

**Applicable Standards**

- Wall
- Building Roof
- Rake
- Eave
- Parapet
- Windows
- Bay Windows
- Dormers
- Entry Doors
- Porches/Columns/Pilasters
- Balconies
- Storefronts
- Materials

Specific to Architectural Design

25.08.040.3: Corner Element

Table 25.08.050.A: Architectural Styles Overview (Continued)  
Mediterranean Style Group

**Spanish Revival Sub-Style**



**Typical Characteristics**

Low-pitched gabled or hipped roofs, often stepped and with open eaves  
Red cap-and-pan, terracotta clay roof tile installed with a scattered field pattern, random mortar lifts, and selectively placed booster tile  
Flat, rectilinear wall plane with vertically proportioned punched openings without trim  
Stucco as primary facade material with stucco or wood attached elements, and decorative tile at surrounds/stairs  
Details display influence of Spanish and Moorish architecture  
Simple eave and cornice details  
Ornamental elements, such as chimneys, vents, and gutters

**Applicable Standards**

- Wall
- Building Roof
- Rake
- Parapet
- Eave
- Parapet
- Windows
- Bay Windows
- Dormers
- Entry Doors
- Porches/Columns/Pilasters
- Balconies
- Storefronts
- Arcades
- Trellises
- Materials and Colors

**Italian Mediterranean Sub-Style**



**Typical Characteristics**

Low-pitched hipped roofs clad in red tile with boxed eaves, often bracketed  
Flat, rectilinear wall plane with vertically proportioned punched openings without trim  
Stucco as primary facade material with stucco, wood, or metal attached elements  
Formal and/or symmetrical composition of doors and windows  
Use of classical orders, including columns and pilasters, to accentuate entrances and openings

**Applicable Standards**

- Wall
- Building Roof
- Rake
- Eave
- Parapet
- Windows
- Bay Windows
- Dormers
- Entry Doors
- Porches/Columns/Pilasters
- Balconies
- Storefronts
- Arcades
- Trellises
- Materials and Colors

25.08.040.3: Corner Element

Specific to Architectural Design

Table 25.08.050.A: Architectural Styles Overview (Continued)  
Contemporary Style Group

**Contemporary Sub-Style**



**Typical Characteristics**

Long, low-sloped roof forms with simple eaves with deep overhangs  
Asymmetrical facade compositions with square and horizontal openings often made from ganged vertical windows  
Mix of exterior materials to differentiate massing forms, with prevalent natural materials including wood siding  
Horizontally proportioned balconies and terraces with minimalist vertical supports

**Applicable Standards**

- Wall
- Building Roof
- Rake
- Eave
- Parapet
- Windows
- Bay Windows
- Dormers
- Entry Doors
- Porches/Columns/Pilasters
- Balconies
- Storefronts
- Materials

**Industrial Sub-Style**



**Typical Characteristics**

Low- and medium-pitched roofs with shallow eaves  
Simple gable roof forms  
Horizontally proportioned opening made from ganged vertical windows  
Simple and regular rhythm of openings  
Metal roofing and cladding

**Applicable Standards**

- Wall
- Building Roof
- Rake
- Eave
- Parapet
- Windows
- Bay Windows
- Dormers
- Entry Doors
- Porches/Columns/Pilasters
- Balconies
- Storefronts
- Materials



# Ch 8 Architectural Design

Specific to Architectural Design

25.08.050: Contemporary Style Group



## B.1. Typical Characteristics: Contemporary

Long, low-sloped roof forms with simple eaves with deep overhangs

Asymmetrical facade compositions with square and horizontal openings often made from ganged vertical windows

Mix of exterior materials to differentiate massing forms, with prevalent natural materials including wood siding

Horizontally proportioned balconies and terraces with minimalist vertical supports

## B.2. Typical Characteristics: Industrial

Low- and medium-pitched roofs with shallow eaves

Simple gable roof forms

Horizontally proportioned opening made from ganged vertical windows

Simple and regular rhythm of openings

Metal roofing and cladding

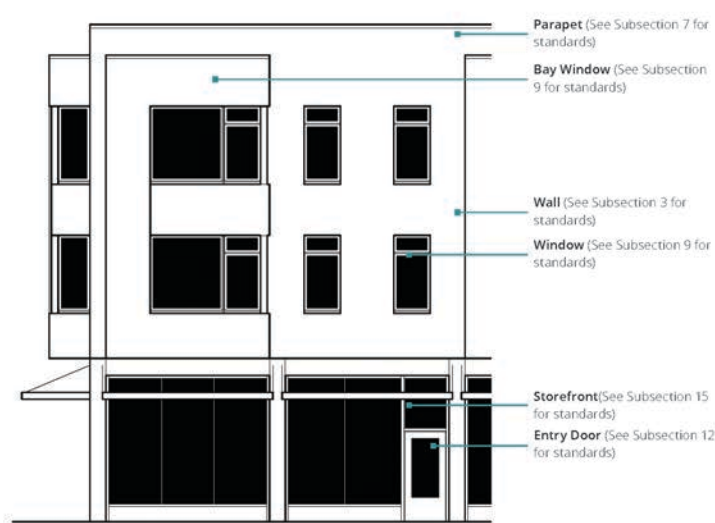
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25.08.050: Contemporary Style Group

Specific to Architectural Design

## Elements of Contemporary Style



Example Building Elevation: Contemporary

### C.1. Wall: Contemporary

#### Base

No base is required for this style.

*Note: The image above is intended to provide a reference for architectural elements and is illustrative, not regulatory. It is not an exhaustive list of applicable standards.*

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Specific to Architectural Design

25.08.050: Contemporary Style Group

## Elements of Industrial Style



Example Building Elevation: Industrial

### C.2. Wall: Industrial

#### Trim <sup>1</sup>

Width 3" min. **A**

<sup>1</sup>Trim not required on buildings or portions of buildings where stucco, masonry, or stone is the primary wall material.

#### Base

Height 10" min.; 1/2 story max. **B**

*Note: The image above is intended to provide a reference for architectural elements and is illustrative, not regulatory. It is not an exhaustive list of applicable standards.*

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# Ch 8 Architectural Design

## Contemporary and Industrial Styles

### Building Roofs

25.08.000 Contemporary Style Group

Specific to Architectural Design

Shed Roof Elevation

Projecting Rake Section

D. Building Roof: All		
Building Roof Standards	Sloped Roof	Flat Roof
<b>Roof Form</b>		
Type	Shed, Gable	Flat
Pitch	2:12 min.	N/A
	8:12 max.	

E.1. Rake: Contemporary		
Standards	Flush Profile	Projecting Profile
Horizontal Projection	No min.; 2" max.	2'0" min.; No max.

See Subsection 7 (Eave) for height standards.

E.2. Rake: Industrial		
Standards	Flush Profile	Projecting Profile
Horizontal Projection	No min.; 2" max.	6" min.; 12" max.

See Subsection 7 (Eave) for height standards.

Key: A = Applicable, N/A = Not Applicable

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### Eaves

Specific to Architectural Design

25.08.000 Contemporary Style Group

Flush Eave Section Contemporary

Flush Eave Section Industrial

Projecting Eave Section Contemporary

Projecting Eave Section Industrial

E.1. Eave: Contemporary		
Standards	Open	Closed
<b>Height</b>		
Fascia	6" min.	6" min.
<b>Horizontal Projection*</b>		
Overall	36" min.; No max.	N/A

\* Horizontal projection includes gutter.

E.2. Eave: Industrial		
Standards	Open	Closed
<b>Height</b>		
Fascia	6" min.	6" min.
<b>Horizontal Projection*</b>		
Overall	1'0" min.; No max.	N/A

\* Horizontal projection includes gutter.

Key: A = Applicable, N/A = Not Applicable

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### Parapets

25.08.000 Contemporary Style Group

Specific to Architectural Design

Parapet Section: Contemporary

Parapet Section: Contemporary

G.1. Parapet: Contemporary	
<b>Height</b>	
Projection	0" min.; 6" max.
<b>Horizontal Projection</b>	
Overall	0" min.; 3" max.

Key: A = Applicable, N/A = Not Applicable

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Specific to Architectural Design

25.08.000 Contemporary Style Group

Parapet Section: Industrial

Parapet Section: Industrial

G.2. Parapet: Industrial	
<b>Height</b>	
Projection	0" min.; 6" max.
<b>Horizontal Projection</b>	
Overall	0" min.; 3" max.
<b>Crenellation</b>	
Parapet shall be crenellated.	
Crenel Height	1'0" min.
Width	2'0" min.
Crenel may not occur at building corner or end bays.	

Key: A = Applicable, N/A = Not Applicable

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# Ch 9 Signage

Table 25.09.030.A: Sign Types Overview

Sign Type	Specific Standards	Zones			
		N.M	MS.M	N.L	MS.L
Yard/Porch Sign	25.09.040	P	X	X	X
Projecting Sign	25.09.050	O	P	X	P
Awning Sign	25.09.060	O	P	X	P
Wall Sign	25.09.070	O	P	O	P
Painted Wall Sign	25.09.080	O	P	O	X
Window Sign	25.09.090	O	P	O	P
Sidewalk Sign	25.09.100	O	P	O	P
Directory Sign	25.09.110	P	P	P	P
Changeable Copy Sign	25.09.120	X	P	X	P

Specific to Signage Types

## 25.09.050 Projecting Sign



Example of a Projecting Sign



Example of a Projecting Sign



Examples of a Projecting Sign

### A. Description

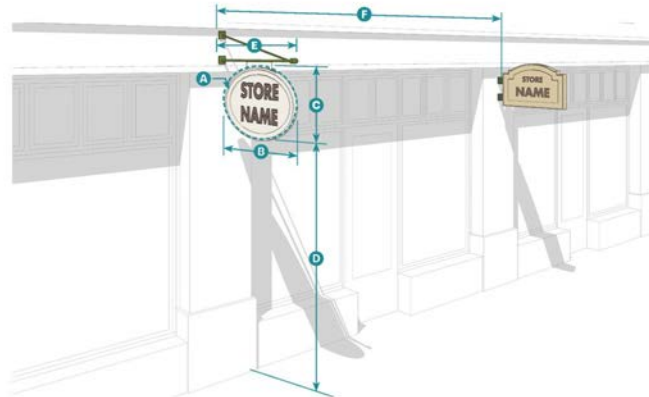
This sign is mounted perpendicular to a building's facade, by decorative brackets that may allow the sign to swing. This type is pedestrian scaled and intended to be read along the sidewalk.

Synonyms: Blade Sign, Bracket Sign

General Note: Photos on this page are illustrative, not regulatory.

Specific to Signage Types

25.09.050: Projecting Sign



### B. Sign Size

Signable Area	6 sf per side, max.; 12 sf total, max.	A
Width	36" max.	B
Height	36" max.	C
Thickness	4" max.	
Lettering Height	12" max.; 10" max. in EPV	

### C. Location

Clear Height	8' min.	D
Projection	4' max.	E
Distance between Signs	10' min.	F

### D. Miscellaneous

See 25.09.130 (Additional Requirements) for prohibited materials and Awning design requirements.

# Ch 10 Civic Spaces

	Specific Standards	Zone			
		N.M	MS.M	N.L	MS.L
Plaza	25.10.040	X	P	X	P
Pocket Park	25.10.050	P	X	P	X
Paseo	25.10.060	P	P	P	P
Community Garden	25.10.070	P	X	P	X
Playground	25.10.080	P	P	P	P

25.10.040

## 25.10.040 Plaza



### A. Description

A community-wide focal point primarily for civic purposes and commercial activities.

### B. General Character

Formal, urban

Hardscaped and planted areas in formal patterns

Spatially defined by buildings and tree-lined streets

### C. Size and Location

Size: 50' x 50' min.

Street required on one of the Plaza's sides.

Facades on design sites attached to or across a street shall "front" on to the Plaza

10% min. landscaping in the ground or as potted plants

Colors, materials of outdoor furniture, and barriers shall be in conformity with the City's Standard Street Right-of-Way and Sidewalk Outdoor Dining Regulations.

### D. Uses

Uses as allowed by the Zone

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25.10.060

## 25.10.060 Paseo



### A. Description

A pedestrian pathway that extends from the public sidewalk into a civic space and/or across the block to another public sidewalk. The pathway is lined by non-residential shopfronts and/or residential ground floors and pedestrian entries as required by the zone.

### B. General Character

Formal, urban

10% minimum landscape in the ground or as potted plants

Spatially defined by building frontages

Required entrance transition, through an entry arch, accent paving, or signage

### C. Size and Location

Size: 20' overall; 12' clear min.

Ground floor facades shall be in compliance with facade zone in Subsection 5 and frontages allowed in Subsection 8 of the zone.

Pedestrians shall be separated from adjacent vehicular activity by any combination of at least two of the following: walls up to 30 inches tall, landscaping, street furniture, curbside parking.

All improvements accessible to the public are required to be in compliance with Section 22.44.080 (Improvement Standards).

Areas within the public Right-of-Way proposed for outdoor dining are required to be in compliance with Chapter 9.95 (Use of City Sidewalks and Rights-of-Way for Dining Purposes).

### D. Uses

Uses as allowed by the Zone

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# Ch 11 Exceptions to Standards

## Chapter 11: Exceptions

### Sections:

25.11.010	Purpose
25.11.020	Exceptions to Standards

### 25.11.010 Purpose

This Chapter is intended to establish procedures for applications eligible for reviewing applications under this Title.

### 25.11.020 Exceptions to Standards

- A. **Purpose.** This Section is intended to allow for minor deviations from certain standards in this FBC for specific situations because of the prescriptive nature of the standards.
- B. **Applicability.** This Section applies to developments subject to this Subsection 3 (Procedures). The Review Authority may grant an Exception for only the standards identified as follows:
- Design sites less than 10% slope. See Table B (Exceptions to Standards for Design Sites Less Than 10% Slopes).
  - Design sites over 10% slope. See Table C (Exceptions to Standards for Design Sites Over 10% Slopes).
- C. **Application Requirements.** Exception requests shall be reviewed and processed as follows:
- If the development for which an Exception is requested is being processed consistent with this Section, the review procedure shall be the same as for the main project application; or
  - If the development for which an Exception is requested is not being processed consistent with this Section, the procedures in Chapter 30.245 (Minor Zoning Exceptions) shall apply to the Exception request.
  - Exception requests shall be accompanied by a written request by the applicant explaining the need for the exception and identifying all existing site conditions or features that prevent compliance with the standard.
  - If the Exception request is for a reduction in the required number of parking spaces, the applicant shall submit a parking demand analysis prepared by a qualified professional.
  - Depending on the unique characteristics and dimensions on an individual parcel, it is possible that the full development potential of the zone may not be achievable even after applying the allowed Exceptions in this Section.

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Exceptions

25.11.020

Table 25.11.020.B: Exceptions to Standards for Design Sites Less Than 10% Slopes

Administrative Relief Type	Required Findings	Allowed Administrative Relief	Reference to Standard
<b>1. Design Site Dimensions</b>			
a. <b>Depth or Width</b> Decrease in the minimum required or maximum allowed	<ol style="list-style-type: none"> <li>An existing Historic building/feature, tree, rock outcrop, and/or utility infrastructure prevents compliance with the standard; or</li> <li>An existing or new design site can be developed consistent with the intent of the zone as described in Subsection 1 (Intent) of the zone.</li> </ol>	Up to 10% of the standard	Subsection C (Building Types and Design Site Size) of the zone
<b>2. Building Setbacks</b>			
a. <b>Primary and Secondary Front Streets, Interior Side, or Rear</b> Increase or decrease in the minimum to maximum required setback for a main building and/or wing(s)	<ol style="list-style-type: none"> <li>Rear Setback; The existing lot is 80' or less in depth, preventing compliance with the rear setback standard; or</li> <li>The Exception allows an addition to a nonconforming building to continue the plane of the existing exterior building wall; or</li> <li>Other circumstances consistent with general findings.</li> </ol>	Up to 25% of the standard	Subsection E (Building Placement) of the zone
b. <b>Primary and Secondary Front Streets, Interior Side, or Rear</b> Increase in height or volume to existing nonconforming building in the setbacks	<ol style="list-style-type: none"> <li>Alterations do not result in an overall roof pitch greater than a four-inch rise over 12-inch run.</li> </ol>	Up to 42 inches in height in the setback	30.165.040 (Alterations to Nonconforming Development) Nonconforming Development
c. <b>Facade within Facade Zone</b> Reduction of the minimum amount of facade required within or abutting the facade zone	<ol style="list-style-type: none"> <li>The horizontal unbuilt area resulting from this exception is landscaped per the standards in Section 25.05.030 (Landscaping and Lighting).</li> </ol>	Up to 25% of the standard	Subsection E (Building Placement) of the zone

Standards for private frontage apply [See Chapter 7 (Specific to Private Frontage Types)], and any exception shall not preclude the application of a private frontage type.

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# Ch 12 Definitions and Measurement Methods

**Review Note: Terms under Definitions**  
Definitions will ultimately be incorporated into Title 30.

## Chapter 12: Definitions

### Sections:

25.12.010	Purpose
25.12.020	Definitions
25.12.030	Sign Definitions
25.12.040	Landscaping Definitions
25.12.050	Measurement Methods

### 25.12.010 Purpose

This Chapter provides definitions for specialized terms and phrases used in this FBC. All other applicable definitions in Chapter 30.300 (Definitions) of Title 30 (Santa Barbara Zoning Code) apply.

### 25.12.020 Definitions

#### A. Definitions

**Abutting.** Having a common boundary, except that lots/design sites having no common boundary other than a common corner shall not be considered abutting.

**Access or Service Drive.** See "Driveway".

**Accessory Structure (syn. Accessory Building).** A structure physically detached from, secondary and incidental to, and commonly associated with a primary structure or use on the same site. Accessory structures are associated with both residential and nonresidential uses. Types and standards for Accessory Buildings are found in Section 30.140.020 (Accessory Buildings).

1. **Accessory Structure, Major (Major Accessory Structure).** An accessory structure with a footprint greater than 120 square feet.
2. **Accessory Structure, Minor (Minor Accessory Structure).** An accessory structure with a footprint of 120 square feet or less.

**Addition.** New construction that increases the net floor area of a structure.

**Adjacent.** See "Abutting".

**Advisory Agency.** See SBMC 27.02.010 (Advisory Agency).

**Affordable to Low-Income or Very-Low-Income Households.** Being of a condition in which sales prices or rental rates for a housing development conform to the current affordable sales price and affordable rental rates in the "City of Santa Barbara Affordable Housing Policies and Procedures Manual", established by resolution of the City Council.

**Affordable Housing.** Rental or ownership housing in which tenants or owners do not pay more than a specified percentage of their gross monthly income on housing costs, as defined in the "City of Santa Barbara Affordable Housing Policies and Procedures Manual". Deed-Restricted Affordable Housing includes a period of affordability which is recorded as a covenant on the property.

**Alley.** A public or private way that is primarily used for vehicular access to the back or side of properties. Alleys typically do not meet standard requirements for City streets, which include curbs, gutters, sidewalks, or similar improvements. Typically, alleys are separated from adjacent parcels by a lot line. An alley may have an official name and may be shown on the official street map of the City of Santa Barbara.

**Allowed Use.** Uses that are allowed by right and are not subject to the conditions of approval, mandatory review periods, or expiration periods as required for discretionary land use permits.

**Alter (syn. Remodel).** An alteration may include both interior and exterior changes and rearrangement of the physical parts of a building, structure or site development that does not result in an increase of floor area. Also called a remodel.

**Ancillary Structure (syn. Ancillary Building).** See "Accessory Structure."

**Apartment, Micro-Unit.** A dwelling unit in a multi-unit building, consisting of not more than one habitable room, excluding the kitchen or kitchenette and sanitary facilities, of a total floor area of not more than 400 net square feet.

**Applicant.** Any person, firm, partnership, association, joint venture, corporation, or any other entity or combination of entities, or state or local government agency applying for a permit.

**Architectural Feature.** Exterior building element intended to provide ornamentation to the building massing including, but not limited to: eaves, cornices, bay windows, window and door surrounds, light fixtures, canopies, and balconies.

**Attached Building or Structure.** Any building or structure which is structurally a part of or has a common wall and/or continuous roof with a main building or structure, except where such connection is a breezeway or walkway incidental to and not a necessary part of the construction of the main building. See 30.140.030 (Building Attachment).

**Average Slope.** The result of dividing the length of a slope by the difference in elevation at the top and bottom of the slope. See Sections 30.15.030 (Determining Average Slope).

**Awning.** An architectural projection that provides weather protection, identity, or decoration. An awning is typically constructed of canvas, metal, wood, or roofing materials on a supporting framework that projects from and is wholly supported by the exterior wall of the structure to which it is attached.



# Next Work Group Meeting

**Meeting 1:** Introduction to the Project

**Meeting 2:** Existing Conditions Summary

**Meeting 3:** Design Standards Framework Approach

**Meeting 4:** Draft Design Standards: Introduction to Title 25 (Admin Draft ODS)

**Meeting 5:** Draft Design Standards: Topics TBD

**Meeting 6:** Draft Design Standards: Topics TBD

Additional Meetings possible if desired by Work Group

# Work Group Comments

How can the Work Group comment on the Admin Draft?  
*Google Spread Sheet to be shared by City Staff*

SBA ODS Admin Draft Work Group Comments						
Public Comments					City Staff	
Name of Member	Section Name	Section Number	Page	Comment	Response	Action
John Smith	Purpose	X-01.10	7	Check typo in Building Types		No Change Needed ODI to address
Zone Map						
Chapter 1 - Introduction						
Chapter 2 - Establishment of Zones						
Chapter 3 - Zones						
Chapter 4 - Specific to Uses						
Chapter 5 - General Design Site Standards						



# Questions and Public Comments

## How to Make An Oral Public Comment

- To indicate that you would like to make a public comment, click the “Raise / Lower Your Hand” icon in the Control Panel
- The Organizer will notify you when it is your turn to speak
- You will have **two minutes** to speak



Indicates a “Raised Hand”



# Adjourn Meeting

**Questions:** Rosie Dyste, *Project Planner*  
[SBDS@SantaBarbaraCA.gov](mailto:SBDS@SantaBarbaraCA.gov)

**Webpage:** <https://www.santabarbaraca.gov/sbds>

**Thank You!**



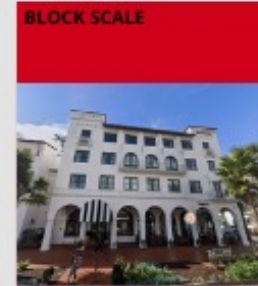
# Reference



# Style by Building Form (Scale)

	Style Group 1			Style Group 2			Style Group 3	Style Group 4		
	Italianate	Craftsman	American Colonial Revival	Adobe	Spanish Colonial Revival	Mission Revival	Italian Mediterranean	English Vernacular / Tudor	Contemporary	Industrial
House Scale: SM to MD	•	•	•		•	•	•	•	•	•
House Scale: LG	•	•	•	•	•	•	•	•	•	•
Block Scale		•			•	•	•		•	•

## BUILDING FORM SPECTRUM



# Style by Footprint

House Scale  
Small  
+  
Medium

SM MD

	Style Group 1			Style Group 2				Style Group 3	Style Group 4	
	Italianate	Craftsman	American Colonial Revival	Adobe	Spanish Colonial Revival	Mission Revival	Italian Mediterranean	English Vernacular / Tudor	Contemporary	Industrial
SM MD	●	●								
SM MD		●	●	●	●			●		
SM MD	●			●	●					
SM MD	●									
SM MD		●								
SM MD						●	●			
SM MD							●			
SM MD	●									
SM MD										
SM MD				●						

● = common occurrence of style.

Note: Observations provide overview and are not representative of all existing neighborhood styles.

# Style by Neighborhood

	Style Group 1			Style Group 2			Style Group 3	Style Group 4	
	Italianate	Craftsman	American Colonial Revival	Adobe	Spanish Colonial Revival	Mission Revival	Italian Mediterranean	English Vernacular / Tudor	Contemporary
Coast Village		●			●		●		●
Downtown	●	●	●	●	●	●			
East Beach			●		●				●
East Mesa					●	●		●	
Eastside		●	●		●		●		
Hitchcock							●		
Laguna		●			●			●	
Lower East		●			●				●
Lower Riviera		●	●		●	●			
Lower State	●	●			●	●		●	●
Lower West		●	●		●	●	●	●	
Milpas		●	●	●	●	●	●		●
Oak Park	●	●	●		●		●		
Upper East		●	●		●	●	●		
Upper State		●	●		●	●		●	
West Beach					●	●			●
West Downtown	●	●	●		●	●			
West Mesa		●	●		●	●		●	
Westside		●	●		●	●	●	●	

● = common occurrence of style; ● = outlier occurrence of style.

Note: Observations provide overview and are not representative of all existing neighborhood styles.

Common ● = common occurrence of style:



Outlier ● = outlier occurrence of style.

